

Sec. 6.7. I35, Interstate 35 Corridor Overlay

6.7.1 Boundary

The I-35 Corridor Overlay zoning district applies to the entire length of the Interstate within the City limits. The I-35 Corridor Overlay zoning district is defined as the land including:

- A. Tracts of land that abut or adjoin a public street or an intersection with I-35;
- B. Tracts of land that are developed used, managed, or marketed as a group that includes a tract of land that abuts or adjoins a public or private access street or an intersection with I-35; or

COMMENTARY: *The interior portion of a shopping center with pad sites is an example of land that lies within I-35 without abutting the highway.*

- C. Tracts of land that shares parking space with a tract of land that abuts or adjoins a public or private access street or an intersection with I-35.



6.7.2 Sub-Districts

The I-35 Corridor Overlay zoning district is divided into four sub-districts. If a property falls within more than one sub-district, the more restrictive sub-district standards apply, regardless of how much land area is in the less

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restrictive sub-district. Each sub-district must comply with the general requirements listed in this Section and the sub-district requirements. Where the Overlay zoning district requirements conflict with the base zoning requirements, the I-35 Overlay District standards apply. See the I-35 Corridor Overlay zoning district map. Those sub-districts are:

A. Civic Sub-District

The boundary extends from the south side of Bellaire North Drive and



approximately 1,000 south to the north side of Bellaire North 2nd Addition.

B. Industrial Sub-District

The boundary extends from the northern city limits, approximately 1,100 feet south of Enterprise Road on the west of I-35 and 560 feet north of Nugent Avenue on the east. It is interrupted by city entry sub-districts, with



stricter standards, at the north outer loop and NE H.K. Dodgen Loop.

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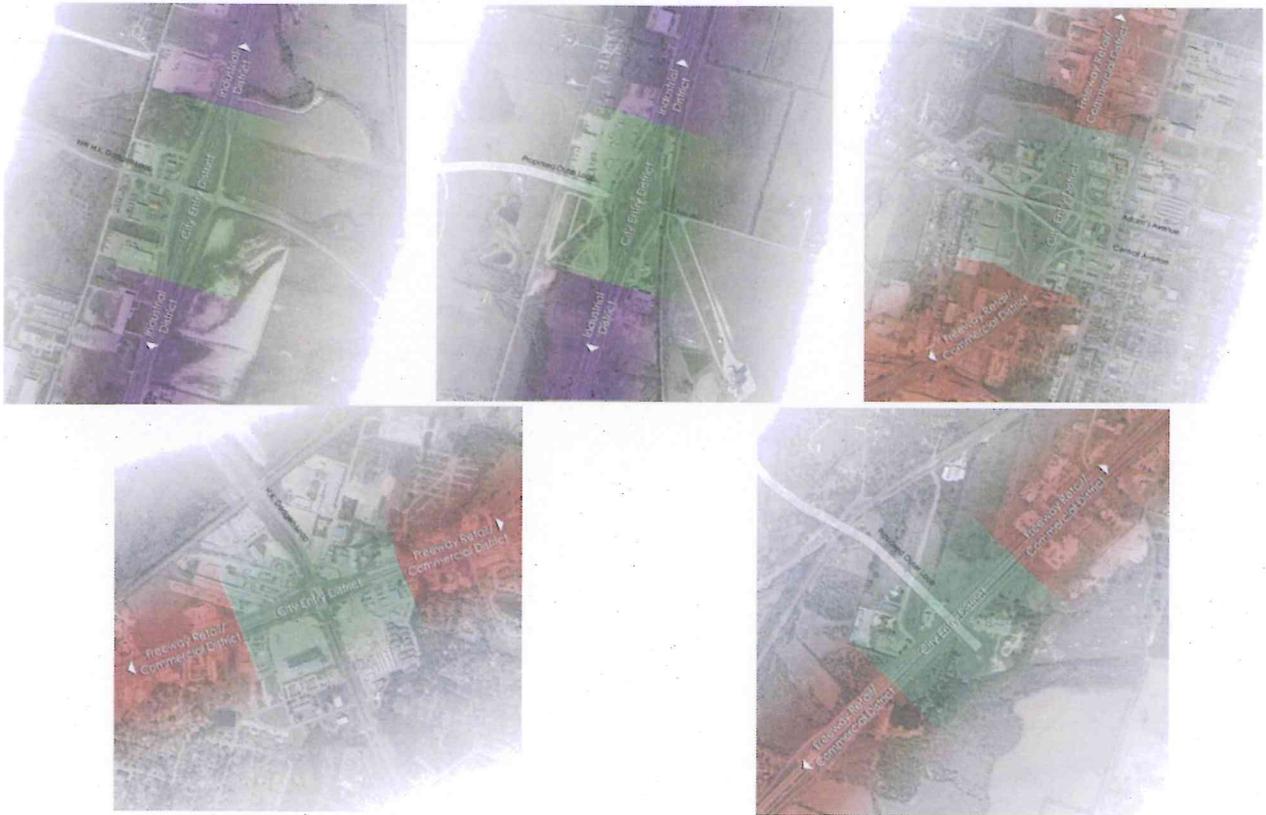
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C. Freeway Retail/Commercial Sub-District

The boundary extends from south of Enterprise Avenue to the Leon River, the south City limits. It is interrupted by City Entry sub-districts at Adams Avenue, H.K. Dodgen Loop and the South outer loop.

D. City Entry Sub-District

There are five City Entry sub-districts located at major street locations that access industrial areas, the Central Area, the hospital areas, shopping centers and future retail nodes.



6.7.3 Applicability

The provisions of I-35 Corridor Overlay zoning district apply to development types in the table below. Improvements to existing buildings are cumulative within a 15-year period when determining which of the following provisions apply. A development type not shown in the table below is not subject to the requirements of the I-35 Corridor Overlay zoning district.

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Development Type	Site Plan Review	Tree Preservation	Parking	Screening and Wall Standards	Architectural Design	Landscape	Signs	Lighting	Utilities
New construction	✓	✓	✓	✓	✓	✓	✓	✓	✓
Increase in gross floor area of 50% or more or modifications with a cost equal to or greater than 50% of the assessed value of improvements per the current tax roll	✓	✓	✓	✓	✓	✓	✓	✓	✓
Increase in gross floor area of 25%-49% or modifications with a cost equal to 25%-49% of the assessed value of improvements per the current tax roll	✓	✓	✓	✓		✓		✓	
Increase in gross floor area of 10%-24% or modifications with a cost equal to 10%-24% of the assessed value of improvements per the current tax roll	✓	✓		✓		✓			

6.7.4 Design Review

The City must review and approve a site development plan prior to construction for all developments within the I-35 Corridor Overlay zoning district as required by this Section.

A. Design Review Process

1. This Section establishes a design review process to ensure that all development within the I-35 Corridor Overlay District meets requirements set forth in these design standards. The review covers site planning, architecture, landscaping, exterior lighting and exterior signage, as well as any changes, additions or renovations to any development on the site.
2. The design review process is divided into four steps:
 - a. Design Orientation;

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- b. Conceptual Design Review;
 - c. Preliminary Design Review; and
 - d. Construction Documents Review.
3. Formal submittals for design review must be provided at each of the steps in the design review process listed above. Official approvals must be obtained in writing for each of these steps.
 4. All requests for design review approvals must be submitted in writing to the City.
 5. The applicant must provide all required submittals to the City in a single package that includes the following information:
 - a. Property owner's name, mailing address, business telephone and home telephone numbers;
 - b. Lot number (location of proposed construction);
 - c. Name, address and phone number of architect or owner's representative;
 - d. Scale, north arrow, preferably at a scale of 1"=100' or smaller; and
 - e. Architectural plans at a scale ¼ " = 1' or smaller.
 6. Questions, meetings and informal and partial submittals are encouraged to promote early communication and resolution of issues. Verbal responses are unofficial and are subject to change in written response. Only written approvals from the City are official.

B. Submittal Requirements

Any and all of the information on the plans required below may be combined to reduce the number of sheet submittals, as long as all sheet detail is provided.

1. Design Orientation

Before any design begins, an optional design orientation session is recommended between a representative of the City and the property owner, design architect, landscape architect, engineer and/or contractor. This session includes a discussion of the design concept

and design standards for the I-35 Corridor Overlay zoning district, the specific design standards for the particular site and the design review process. This orientation provides valuable information to assist the owner and designers in expediting design review.

2. Conceptual Design

- a. When the initial design for the project is prepared, two conceptual drawings must be submitted to the City for formal review. This review covers conceptual site planning, architecture, landscape areas, and sign location.
- b. The purpose of this conceptual design review is to provide the owner and designer with written assurance that the fundamental designs are acceptable, before requiring plans suitable for City permitting. It also provides a clear list of any issues to be resolved in the Construction Documents Submittal step.

3. Preliminary Design

- a. Two sets of preliminary design plans must be submitted for this review. These plans must include, but are not limited to the following:
 - i. Preliminary Site Plan

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- (A) All property lines, easements, setbacks and buildable area limits;
 - (B) Location of water, sewer and electrical connections and conceptual distribution layout;
 - (C) All buildings, walls, driveways, parking, walks, pools, patios, terraces, signs and any other above grade development;
 - (D) Dimensions between existing and proposed construction and between proposed construction and nearest property lines;
 - (E) Building height reference elevation; and
 - (F) Vicinity map showing relationships of this site to the rest of the I-35 Corridor Overlay zoning district.
- ii. Preliminary Grading
 - (A) Existing and proposed ground level contour concepts; and
 - (B) Slope treatment and drainage concepts.
 - iii. Preliminary Roof Plan
 - (A) Any unusual conditions or construction requirements; and
 - (B) All roof mounted equipment and required screening.
 - iv. Preliminary Building Elevations
 - (A) At least two principal exterior elevations of all proposed buildings (in color);
 - (B) Maximum building heights on each elevation drawing; and
 - (C) Conceptual finish materials, colors and textures under consideration.
 - v. Preliminary Building Sections

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Grade and building height elevations for slopes greater than seven and one-half percent.

vi. Preliminary Landscape Plan

(A) Planting concept, including locations and types of all plant materials; and

(B) Demonstration that plant and wall design along the street frontage meets the streetscape design guideline requirements for the I-35 Corridor Overlay District.

vii. Fence and Wall Plan

(A) Locations, materials, colors and heights in relation to on-site grades; and

(B) Relationships to walls, fences and grades on adjacent parcels.

viii. Sign Plan

(A) Locations in relation to on-site grades; and

(B) Elevations and details of sign graphics with data table of permitted and proposed.

ix. Tree Survey

Location of hardwood trees measuring six inches or greater in diameter, measured at breast height, not including Bois D' Arc, Ashe Junipers, Hackberry, Willow, Cottonwood and Mesquite trees.

4. Construction Documents

- a. When the preliminary design is further refined and the final construction drawings and specifications for the project have been prepared, they must be submitted to the Director of Construction Safety for review and final decision. This review covers all design necessary for construction, including site development, architecture, signage, grading, driveways, parking, walkways, terraces, patios, walls, fences, planter beds, fountains,

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trellises, utilities, architecture, landscaping, walls, pools, mechanical equipment, exterior lighting and exterior signs.

- b.** The purpose of construction documents design review is to provide the owner and designers with written assurance that the final design is acceptable for construction and that any conditions placed on the previous review have been addressed.
- c.** Two sets of final construction plans must be submitted for this review. They must contain, but are not limited to a Final Site Plan showing:
 - i.** Final locations of all structures, terraces, patios, driveways, parking and walk ways;
 - ii.** Dimensions from buildings and paved areas to setbacks and property lines;
 - iii.** Water, sewer and electrical connection points and distribution lines;
 - iv.** Locations of all above-ground mechanical equipment, including electrical transformers, fuel tanks, water tanks, filtration equipment, backflow prevention devices, air-conditioning units and irrigation controllers; and
 - v.** Any other drawings required by the City for construction permitting.
- d.** After the Final Site Plan is approved, an approval letter must be submitted to the owner within 12 working days, giving written assurance the Final Site Plan drawings have been found acceptable for construction. At this time the building plans may be submitted to the City for construction permitting.

6.7.5 General Design Requirements

This Section establishes the site plan review procedure and general design requirements for tree preservation, parking, screening, landscaping, signs, lighting and utilities. All development within the I-35 Corridor Overlay zoning district must comply with these regulations, which supersede all other

regulations. Additional standards and requirements apply for each of the sub-districts.

A. Final Site Plan Review

1. A Final Site Plan must be submitted, reviewed and approved prior to construction for all developments proposed on a tract of land within the I-35 Corridor Overlay zoning district.
2. The Final Site Plan must contain sufficient information demonstrating compliance with all of the applicable requirements of this overlay zoning district and any additional information required by the Planning Director
3. In reviewing the Final Site Plan, the City may consider other factors that may be relevant to a particular application, which may include the following:
 - a. The relationship to neighboring properties;
 - b. The zoning and the uses of nearby properties;
 - c. The extent to which the proposed use would substantially harm the value of nearby properties;
 - d. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the road network influence by the use, or present parking problems in the vicinity of the property;
 - e. The extent to which utilities and services, including, but not limited to, sewer, water service, police and fire protection and are available and adequate to serve the proposed use;
 - f. The conformance of the proposed use to the I-35 Corridor Overlay zoning district, the Comprehensive Plan and other adopted planning policies; and
 - g. The recommendation of the professional staff.

B. Tree Preservation

The purpose for these tree preservation standards is to protect the natural beauty of the city, decrease soil erosion, prevent clear cutting and preserve

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many existing hardwood and canopy trees. Efforts should be made to protect trees on site. All trees over six inches in diameter at breast height (DBH) located within the floodplain plus the area within 300 feet of the floodplain must be protected. A \$100 per caliper-inch fee payable to the Parks Department may be made for trees that cannot be accommodated after the required landscape elements are added. Tree mitigation requirements and fees do not apply to Bois D' Arc, Ashe Junipers, Hackberry, Willow, Cottonwood and Mesquite trees on the site. The tree mitigation requirements do not count toward required landscape in Sec. E below. Tree mitigation requirements are as follows:

1. A tree survey and preservation plan is required with the preliminary site plan submittal. The tree survey must be signed and sealed by a licensed landscape architect, arborist, engineer or land surveyor.
2. The location, diameter, height and common name of all trees with more than a six-inch DBH must be shown on the plan.
3. The removal of protected trees must be replaced on the property by planting new trees, found in the Plant List in subsection F below, that are equal to the total caliper-inches of the removed trees.
4. The City has taken inventory of existing vegetation along the IH 35 Corridor to ensure compliance with this Section.

C. Parking

Parking presents one of the greatest challenges in creating an appealing image for public and private property. Parking may be provided in surface lots, parking structures, beneath buildings or below grade, in whatever combination that meets the needs for spaces required in Sec. 7.4 and the limits on impervious surface areas set forth in this Section.

1. Curb and gutter six inches in height is required around the perimeter of the parking area and all landscaped parking islands.
2. Parking aisles must be designed to be perpendicular to the front of the principal building.
3. Parking to the side and rear of buildings is encouraged and preferred.

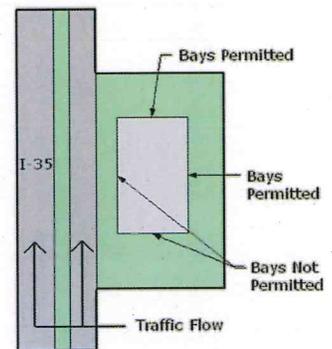
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4. Parking areas must be planned so that vehicles are not required to back out of parking spaces directly into a public or private street.
5. Parking lots must be designed to preserve the maximum amount of existing trees on site as possible.
6. Parking spaces that face and are adjacent to a building must utilize wheel stops.
7. Wheel stops are required adjacent to all landscaped areas.
8. Wheel stops are required adjacent to all sidewalks, except for raised sidewalks at least 6 feet in width (8 feet if parking spaces front both sides).
9. All parking must be landscaped and screened per the standards set forth in subsection E.12 below.
10. No parking is allowed in the landscape buffer.

D. Screening and Wall Standards

1. Storage in connexes, shipping containers and semi-trailers is not permitted. Portable buildings may not be made into permanent structures in any form.
2. All garage and service bays, including but not limited to off-street loading bays and service bays used for vehicle repair and servicing, must be located to the rear of the principal building or on the side of the building that is not visible to the traffic flow on the abutting side of I-35. Such bays may be located on the on-coming traffic flow side of the building at the approval of the Planning Director, but must be screened by a masonry wing wall matching the architectural style and color of the building or an opaque landscape screen containing three-inch caliper hardwood canopy trees, and five-gallon shrubs, as described in the Plant List in subsection F below.
3. No outside storage and display, sales, leasing or operation of merchandise outside of sales areas for dealerships for new trucks, cars, boats and motorcycles, are permitted unless such activity is



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visually screened with a continuous solid screening device from all streets and adjacent property lines of residentially zoned properties or areas shown as a residential use on the Future Land Use and Character Map.

4. Any public utility stations, such as lift stations and electric sub-stations, must be screened from public view with a masonry wall matching the architectural style and color of the building.
5. A masonry wall matching the architectural style and color of the building must be located between properties when a multiple-family or nonresidential use abuts a residential use or zoning district. Such wall must not be less than six feet or more than eight feet in height, and constructed at grade along the abutting property line. The screening wall is not required if a comparable screening wall in satisfactory condition already exists on the abutting property.
6. Except as provided below, the following site elements must not be clearly visible at eye level from any public street right-of-way or any adjoining residential use or located within 100 feet of any public street right-of-way, unless a masonry screening wall matching the architectural style and color of the building is used.

a. Vehicle Loading and Unloading Zones and Service Areas

Screening for vehicle loading and unloading zones must consist of a continuous solid masonry wall to match the color and style of the building, earthen berms or evergreen opaque landscaping a minimum of six feet in height. Landscape screening must be solid and reach a minimum height of six feet within two years of the issue date of the Certificate of Occupancy for the building or change of use.

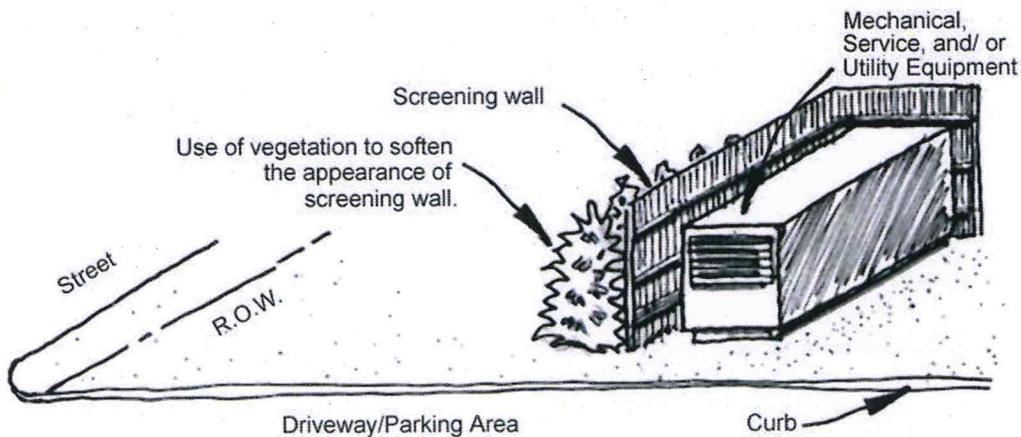
b. Refuse Storage and Compactors

Refuse storage and compactors must be enclosed on three sides by a solid wall of wood or masonry to match the color and style of the building and be a minimum of one foot taller than the equipment being screened. The enclosure must have a minimum eight-foot self-closing gate. The enclosure must be designed to contain all refuse generated on-site between solid waste

collections. The refuse storage and compactors must not be located in required setbacks.

c. Mechanical and Utility Equipment

- i. All ground mounted service equipment such as air conditioners, transformers, trash collection equipment, and other service functions must be located at the rear of buildings, and integrated into the building envelope or enclosed service areas, unless the rear of the building faces I-35, in which case such equipment must be located on the side least visible from a public street right-of-way. Reduce pressure zones are allowed in front of the building if properly landscaped.
- ii. If such equipment is visible from a public street right-of-way, the screening materials must be 100 percent opaque. Screens must incorporate shrubbery with year-round foliage, or a wall, fence, or architectural element of the adjacent building, and be a minimum of one foot taller than the equipment being screened.

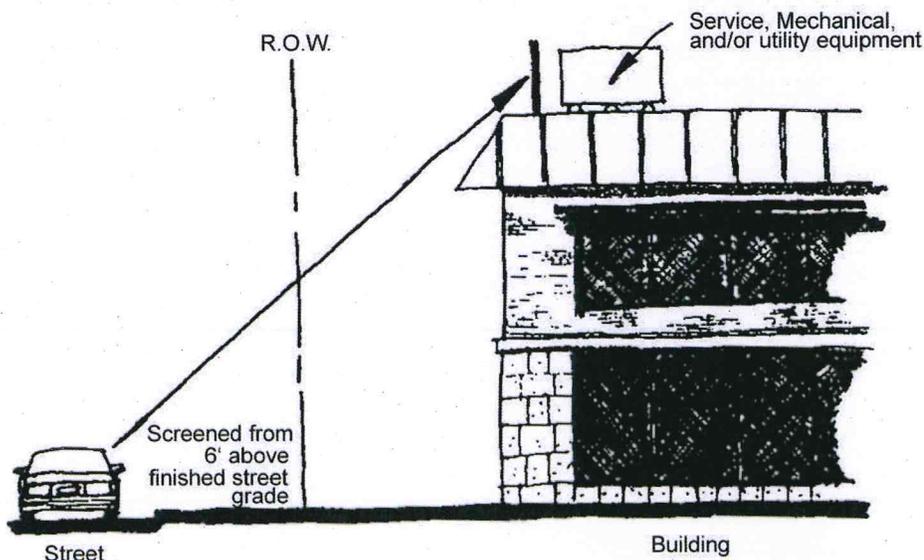


- iii. All roof-mounted equipment must be screened from a vantage point that is six feet above finished street grade with materials that are 100 percent opaque. In all cases,

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screening must be compatible with building color and materials.



E. Landscape

Each site, outside of a City Entry Sub-District, must provide a minimum of the following landscape elements. All required trees, shrubs and groundcovers must be of a species permitted in the Plant List in subsection F below.

1. A total of 15 percent of the total site area must be landscaped with living approved trees, shrubs and groundcovers. Such landscape areas must consist of approved plants and irrigation covering 100 percent of the required landscaped area.
2. All required landscaping must be maintained in good condition after installation. The owner must replace any plant material that becomes diseased, deteriorated or dies within 30 days.
3. Areas not covered by building or pavement must be landscaped.
4. Drainage facilities are not allowed within the landscape area except those that are necessary to convey drainage in the shortest possible route to or from the public street right-of-way. Drainage facilities include detention ponds, water quality ponds, outlet structures,

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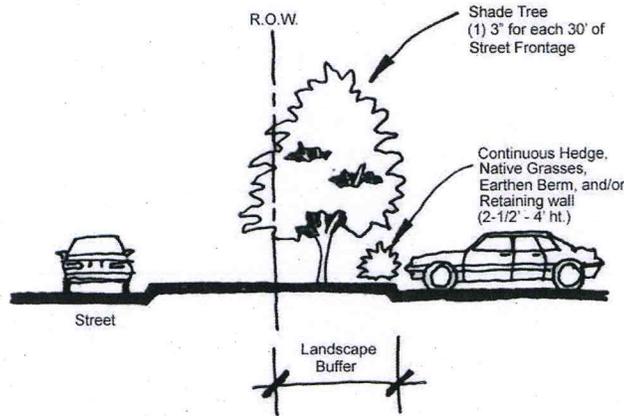
drainage berms or other improvements associated with the drainage improvements. Such drainage facilities must have a natural look with minimum slopes and landscaping.

5. Vegetation must be used to soften the appearance of walls, including those used for screening. This may include either vines trained up the wall or minimum five-gallon shrubs planted a minimum of thirty inches on center.
6. Foundation plantings are required within a planting area a minimum of six feet in width along 70 percent of the length of any façade visible to the public. Foundation planting may count toward the required minimum site landscape area required in paragraph 1 above.
7. All landscape and turf areas must be irrigated and maintained on a regularly scheduled basis.
8. A landscape buffer is required adjacent to any public street right-of-way based on the sub-district's Area Regulations and as follows.
 - a. One minimum three-inch caliper canopy tree, as set forth in the City's Plan List, must be planted for each 30 feet of frontage along public street rights-of-way as measured along the lot lines.
 - b. Required trees must not be planted in a regular interval, but in clusters.
 - c. Substituting four ornamental trees per one canopy tree is allowed under power lines.
 - d. A minimum 60 percent of required trees must be evergreen with year around foliage.
 - e. A minimum 20 percent of the required landscape buffer must have native grass beds or wildflowers.
 - f. Berms not less than 24 inches nor more than 48 inches in height at no more than a four to one slope are required in the landscape buffer, covering a minimum of 50 percent of the buffer area.
9. Any of the following must be screened by a continuous hedge or shrubs, earthen berms, or retaining walls that are two and one-half to four feet in height:

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- a. Parking lot or vehicle use area;
- b. Fuel pumps visible from the direction of traffic flow; or
- c. Vehicle drive-through window facing the street or traffic flow.



- 10. Meandering sidewalks a minimum of five feet in width are required in accordance with City standards within the landscape buffer the entire length of the street frontage in the following locations.
 - a. Along any street in the Civic Sub-District; and
 - b. Along any street that intersects or runs immediately parallel with I-35, if the Trails Master Plan recommends a sidewalk adjacent to the property.
- 11. The width and composition of a sidewalk required in subsection 10 above must be in accordance with the following standards.
 - a. A sidewalk that is a minimum of 10 feet in width is required where the Trails Master Plan shows a Citywide Spine Trail adjacent to the property.
 - b. A sidewalk that is a minimum of eight feet in width is required where the Trails Master Plan shows a Community-Wide Connector Trail adjacent to the property.
 - c. A sidewalk that is a minimum of six feet in width is required where the Trails Master Plan shows a Local Connector Trail adjacent to the property.

[Ord. 2012-4505]

12. Landscaped parking islands are required as follows in all parking lots, but are not required adjacent to industrial truck docks. Parking islands may count toward the required minimum landscape area set forth in the sub-district Area Regulations.

a. Interior Islands

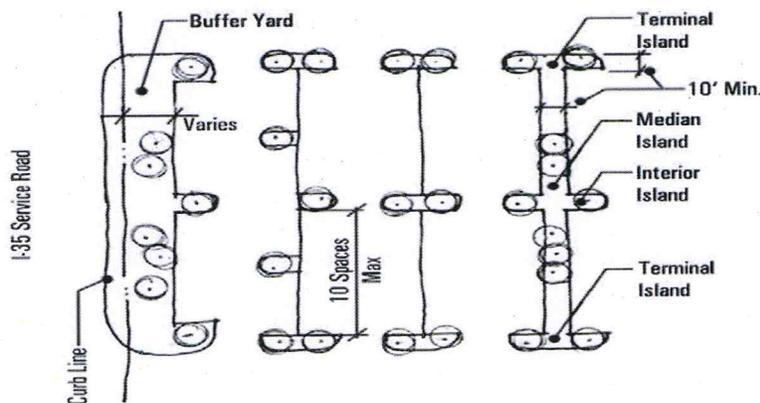
A curbed landscape island must be provided for every 10 parking spaces. Each island must be a minimum of 170 square feet in area and 10 feet in width back-of-curb to back-of-curb. A minimum three-inch caliper tree is required in each island.

b. Terminal Islands

All parking rows must terminate in a curbed landscape island. Each terminal island must be a minimum of 360 square feet in area and contain two minimum three-inch caliper trees.

c. Median Islands

A curbed median island a minimum of 10 feet in width back-of-curb to back-of-curb must be located after every third parking bay and along primary internal access drives. Each median island contain one minimum three-inch caliper tree a minimum of every 30 feet on center.



13. All landscape areas must accent building features, entryways and driveways.
14. Native plants and drought tolerant species are preferable to reduce water requirements.

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F. Plant List

The table below constitutes the list plant species that are eligible to fulfill the tree preservation, screening and landscaping provisions of this Section.

Common Name	Scientific Name
Canopy Trees	
Ash, Green	Fraxinus pennsylvanica
Ash, Texas	Fraxinus texensis
Cypress, Arizona	Cupressus arizonica
Cypress, Bald	Taxodium distichum
Elm, American	Ulmus americana
Elm, Cedar	Ulmus crassifolia
Eve's Necklace	Sophora affinis
Holly, American	Ilex opaca
Laurelcherry, Carolina	Prunus caroliniana
Maple, Bigtooth	Acer grandidentatum
Oak Shumard	Quercus shumardii
Oak, Blackjack	Quercus marilandica
Oak, Bur	Quercus macrocarpa
Oak, Chinquapin	Quercus muhlenbergii
Oak, Durand	Quercus sinuate
Oak, Live	Quercus virginiana
Oak, Post	Quercus stellata
Oak, Red	Quercus texana
Oak, Shumard	Quercus shumardii
Pecan	Carya drummondii
Sycamore	Platanus occidentalis
Walnut, Arizona	Juglans major
Walnut, Eastern	Juglans nigra
Ornamental Trees	
Blackhaw, Rusty	Viburnum rufidulum
Buckeye, Mexican	Ungnadia speciosa
Crabapple	
Crepe Myrtle Cultivars: Basham's Party Pink Biloxi Choctaw Dynamite Miami	Lagerstroemia indica

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Common Name	Scientific Name
Muscogee Natchez Pink Velour Potomac Red Rocket Siren Red Townhouse Tuscarora Wichita	
Chaste Tree	Vitex agnus-castus
Dogwood, Roughleaf	Cornus drummondii
Hawthorn	Crataegus spp.
Holly, Yaupon	Ilex vomitoria
Laurel, Texas Mountain	Sophora secundiflora
Leadtree, Goldenball	Leucaena retusa
Oak, Lacey	Quercus laceyi
Persimmon, Texas	Diospyros texana
Pine, Eldarica	Pinus eldarica
Pistache, Texas	Pistacia texana
Plum, Mexican	Prunus mexicana
Possumhaw Holly	Ilex deciduas
Redbud, Mexican	Cercis canadensis var. mexicana
Redbud, Texas	Cercis canadensis var. texensis
Smoketree, American	Cotinus obovatus
Sumac, Prairie Flameleaf	Rhus lanceolata
Wax Myrtle	Myrica cerifera
Walnut, Texas	Juglans microcarpa
Willow, Desert	Chilopsis linearis
Shrubs	
Abelia Glossy	Abelia grandiflora
Agarita	Berberis trifoliata
Agave, Century Plant	Agave sp.
Althea	Hibiscus syriacus
American Beautyberry	Callicarpa americana
Artemisia	Artemisia 'Powis Castle'
Barbados Cherry	Malpighia glabra
Barberry, Japanese	Berberis thunbergii
Basket Grass (Sacahuista)	Nolina texana

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Common Name	Scientific Name
Black Dalea	Dalea frutescens
Bush Germander	Teucrium fruticans
Butterfly Bush	Buddleja davidii
Butterfly Bush, Woolly	Buddleja marrubiifolia
Coralberry	Symphoricarpos orbiculatus
Cotoneaster	Cotoneaster sp.
Crape Myrtle Cultivars Not Listed in Ornamental Trees Above	Lagerstroemia indica
Esperanza/ Yellow Bells	Tecoma stans
Flame Acanthus	Anisacanthus quadrifidus var.
Holly, Burford	Ilex cornuta 'Burfordii'
Holly, Dwarf Burford	Ilex cornuta 'Burfordii Nana'
Holly, Dwarf Chinese	Ilex cornuta 'Rotunda nana'
Holly, Dwarf Yaupon	Ilex vomitoria 'Nana'
Lantana, Pink	Lantana camara
Lantana, Texas	Lantana horrida
Mistflower, White	Ageratina havanense
Mistflower, BlueBlue Boneset	Eupatorium coelestinum
Mountain Sage	Salvia regla
Nandina (dwarf-types)	Nandina sp
Oleander	Nerium oleander
Palmetto, Dwarf Texas	Sabal minor
Primrose Jasmine	Jasminum mesnyi
Rock Rose	Pavonia lasiopetala
Rose, Belinda's Dream	Rosa ' Belinda's Dream'
Rose, Knock Out	Rosa 'Knock Out'
Rose, Livin' Easy	Rosa 'Livin' Easy'
Rose, Marie Pavie	Rosa ' Marie Pavie'
Rose, Mutabilis	Rosa 'Mutablis'
Rose, Nearly Wild	Rosa ' Nearly Wild'
Rose, Old Blush	Rosa 'Old Blush'
Rosemary	Rosmarinus officinalis
Sage, Texas	Leucophyllum frutescens
Sotol, Texas	Dasyilirion texanum
Sumac, Evergreen	Rhus virens
Sumac, Fragrant (Aromatic)	Rhus aromatica
Turk's Cap	Malvaviscus arboreus

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Common Name	Scientific Name
Wax Myrtle, Dwarf	Myrica pusilla
Wax Myrtle, Southern	Myrica cerifera
Yucca, Paleleaf	Yucca pallida
Yucca, Red	Hesperaloe parviflora
Yucca, Softleaf	Yucca recurvifolia
Yucca, Twistleaf	Yucca rupicola
Groundcover	
Asian Jasmine	Trachelospermum asiaticum
Aztec Grass	Ophiopogon japonicus
Bamboo	Muhlenbergia dumosa Muhly
Big Bluestem	Andropogon gerardii
Bushy Bluestem	Andropogon glomeratus
Carolina Jessamine	Gelsemium sempervirens
Coral Honeysuckle	Lonicera sempervirens
Coral Vine	Antigonon leptopus
Crossvine	Bignonia capreolata
Dwarf Fountain Grass	Pennisetum alopecuroides
English Ivy	Hedera helix
Fig Vine	Ficus pumila
Frogfruit	Phyla incisa
Horseherb	Calyptocarpus vialis
Indian Grass	Sorghastrum nutans
Inland Seoats	Chasmanthium latifolium
Japanese Honeysuckle	Lonicera japonica
Lady Banksia Rose	Rosa banksiae
Leadwort Plumbago	Ceratostigma plumbaginoides
Liriope	Liriope muscari
Little Bluestem	Schizachyrium scoparium
Mexican Feathergrass (Wiregrass)	Stipa tenuissima
Monkey Grass (Mondo Grass)	Ophiopogon japonicus
Muhly, Big	Muhlenbergia lindheimeri
Muhly, Deer	Muhlenbergia rigens
Muhly, Gulf	Muhlenbergia capillaris
Muhly, Seep	Muhlenbergia reverchonii
Oregano	Origanum vulgare
Passion Vine	Passiflora incarnata
Periwinkle, Littleleaf	Vinca minor

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Common Name	Scientific Name
Pigeonberry	Rivina humilis
Purple Heart	Secresea pallida
Santolina (Lavender Cotton)	Santolina chamaecyparissus
Sedge, Berkeley	Carex tumulicola
Sedge, Meadow	Carex perdentata
Sedge, Texas	Carex texensis
Sedum (Stonecrop)	Sedum nuttallianum
Sideoats Grama	Bouteloua curtipendula
Silver Pony-foot	Dichondra argentea
Sweet Autumn Clematis	Clematis paniculata
Switch Grass	Punica virgatum
Trumpet Vine	Campsis radicans
Virginia Creeper	Parthenocissus quinquefolia
Wild Rye	Elymus canadensis
Wooly Stemodia	Stemodia lanata or tomentosa

G. Signs

The sign standards in this Section apply to all Sub-Districts in the I-35 Corridor Overlay.

1. Permitted Sign Types

The table below establishes the sign types and standards that are permitted.

Use	Sign Type	Max. Number of Sign Faces	Max. Height	Max. Area (per sign face)	Min. Setback (from property line)	Min. Spacing Between Signs
All Permitted Uses	Wall Sign	1 per public façade (max. 2)	NA (no projection above building)	10% of façade face or 300 sq ft max (whichever is greater)	NA	NA

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Use	Sign Type	Max. Number of Sign Faces	Max. Height	Max. Area (per sign face)	Min. Setback (from property line)	Min. Spacing Between Signs
All Permitted Uses	Window Sign	NA	NA	20% of window area	NA	NA
All Permitted Uses	Monument Sign	2	8'	50 sq ft	0'	25'
All Permitted Uses	Pylon Sign	2	25'	200 sq ft	10'	50'
Travel Related Uses (Fuel Sales, Overnight Accommodations, and Restaurant Uses)	Pylon Sign	2	40'	300 sq ft	15'	100'
Multi-Tenant Site	Monument Sign	2	10'	65 sq ft	0'	25'
Multi-Tenant Site	Pylon Sign	2	40'	400 sq ft	15'	300'

2. Maximum Signs per Site

All sites are permitted one freestanding sign (monument or pylon) per site unless they are part of a development requiring multi-tenant signs.

3. Multi-Tenant Sign Provisions

- a. Developments containing three or more businesses, whether in single or multiple buildings, must share freestanding sign structures for advertisement of multiple businesses within the development. This provision applies to businesses located on the same lot upon which the sign is located as well as to businesses located on different lots within the development.
- b. Multi-tenant sites are permitted a maximum of one freestanding sign (monument or pylon) per 300 feet of frontage on the I-35 Frontage Road. Both individual business freestanding signs and

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multi-tenant signs count towards the total for the entire development. Signs must comply with the following standards:

- i. Multi-tenant pylon signs must be oriented to the I-35 Frontage Roads, not to side streets.
- ii. Multi-tenant monument signs may be used at primary entranceways (spacing permitting) on streets not directly fronting I-35.
- iii. Businesses may not advertise on both multi-tenant pylon signs and individual single-site pylon signs;
- iv. One monument sign is permitted per individual business advertised on multi-tenant signs.

4. Freestanding Sign Materials

Freestanding signs must be finished in the same primary masonry building material.

5. Sign Illumination

Monument signs may be externally lit. All other illuminated signs must be internally lit.

6. Pylon Sign Provisions

All pylon signs in the I-35 Overlay Corridor must have a minimum height to width ratio of 1:.15 for the support structure or base.

7. Prohibited Sign Types

The following sign types are prohibited in the I-35 Corridor Overlay.

- a. Roof Sign;
- b. Banner or Pole Banner;
- c. Fence Sign;
- d. Inflatable Device;
- e. Message Board; and
- f. Pole Sign.

[Ord. 2012-4507]

H. On Premises Lighting

The purpose of these lighting regulations is to permit reasonable uses of outdoor lighting for nighttime safety, utility, security and enjoyment while preserving the ambiance of the night. By minimizing glare and obtrusive light that is misdirected, excessive or unnecessary, energy and resources are conserved and the natural environment is protected from the damaging effects of night lighting.

1. Directional Control

- a. All luminaires of 1,800 or more lumens must be full-cutoff as installed. For luminaires under 1,800 the bulb must be frosted glass or installed behind a translucent cover. Floodlights must be aimed no higher than 45 degrees below horizontal. This can be accomplished by the use of full-cutoff fixture design, shielding, visors, louvers or other devices.
- b. Exterior lighting must have soft, indirect illumination concealed behind landscaping or placed in outdoor lighting fixtures that do not produce direct glare. Lighting must be focused and provide the minimum amount of illumination required for safety.
- c. On-site lighting design must be used to identify and illuminate entries, walks and parking areas. Site lighting used for building illumination must be down wall washing only. No flood lighting or up lighting is permitted.
- d. Security lighting must be designed to avoid glare, and must direct light toward the building or storage area instead of away.

2. Reasonableness of Intensity

- a. The maximum allowable total lumens generated on each parcel are 80,000 lumens per net acre with full-cutoff lighting. Parcels less than one net acre are allowed full-cutoff lumens in a portion equal to the parcel's portion of a net acre.
- b. Lights mounted on the underside of a roof 15 or more feet from any edge of the roof count one-quarter toward the limit. Lights on the underside of a roof less than 15 feet from the edge of the roof count one-half toward total lumens.

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- c. Exterior lighting must have soft, indirect illumination concealed behind landscaping or placed in outdoor lighting fixtures that do not produce direct glare.
- d. Lighting must be focused and provide the minimum amount of illumination required for safety.
- e. Outdoor lighting fixtures must be a maximum of 30 feet in height. All light fixtures located within 50 feet of any residential use must not exceed 15 feet in height.
- f. Lighting that flashes, blinks or moves in any way is not allowed.
- g. Mercury vapor lighting is not allowed.

3. Light Trespass

- a. The maximum illumination at five feet inside an adjacent residential parcel or public street right-of-way, or beyond, from light emitted from an artificial light source is 0.1 horizontal foot-candles and 0.1 vertical foot-candles. Such illumination at 10 feet inside an adjacent nonresidential parcel or on a public roadway, or beyond, must not exceed 0.1 horizontal foot-candles or 0.1 vertical foot-candles.
- b. No line of sight to a bulb is permitted five feet or more beyond a residential property line or public street right-of-way by an observer viewing from a position that is level with or higher than the ground below the fixture. Compliance is achieved with fixture shielding, directional control designed into the fixture, fixture location, fixture height, fixture aim or a combination of these factors.

4. Sign Lighting

All illuminated signs must be lighted internally or lighted by top-mounted lights pointed downward. A sign may not be illuminated with fixtures that are unshielded from upward transmission of light. On-site signs must be turned off upon closing if closing occurs after 10:30p.m. Lights that flash, pulse, rotate, move or simulate motion are not permitted.

5. Temporary Lighting

The temporary use of low wattage or low voltage lighting for public festivals, celebrations and the observance of holidays are exempt from regulation except where they create a hazard or nuisance from glare. Light trespass requirements remain in effect. Permits are required for commercial activities such as carnivals and are valid for up to seven consecutive days. Where possible lighting should be full-cutoff.

6. All-Night Lighting

Lighting at places of business or public venues, except for security, must be turned off no later than one hour after closing. The lights of vacant parking lots must not remain lighted except for illuminating entryways by the fixtures closest to building entrances.

7. Lighting Exemptions

The following uses or features are exempt from the standards of this Section unless otherwise noted:

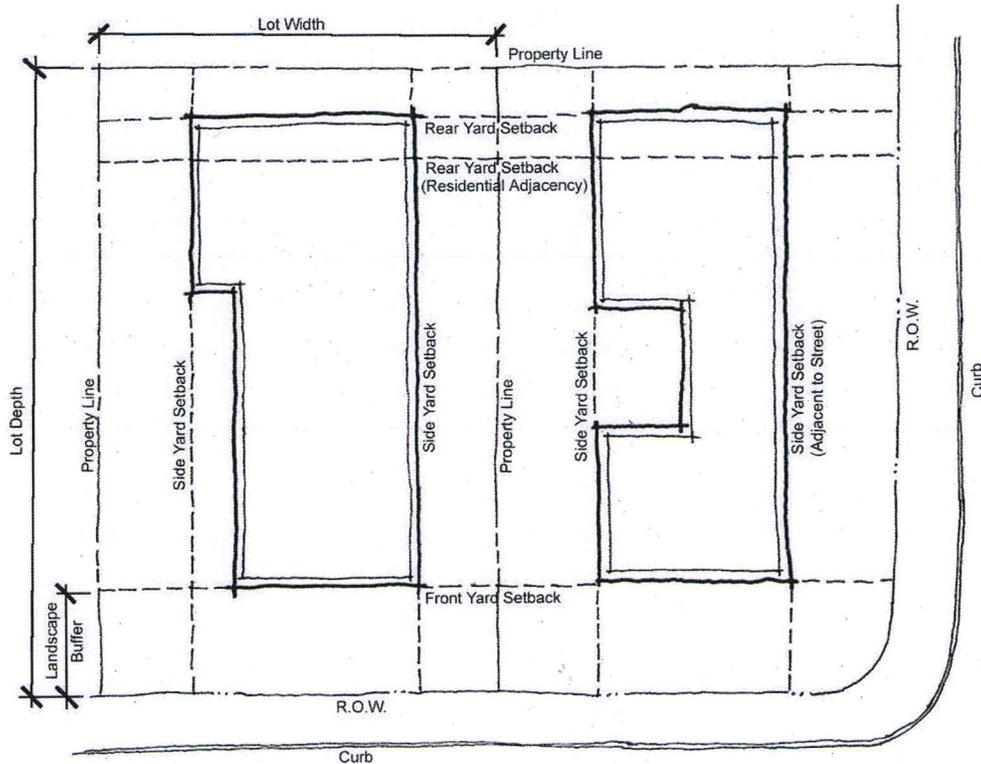
- a. Swimming pools and other water features, monuments, historic structures, or flags;
- b. Stairs and ramps, as required by the Building Code;
- c. Signs must meet the requirements in Sec. 7.5.3I of this UDC, but all signs are recommended to be fully shielded;
- d. Holiday and temporary lighting must meet the requirements in Sec. 7.5.8 of this UDC;
- e. Sports lighting is exempt from the lumens per net acre limitations as to the playing field only, but full-cutoff fixture design is required and light trespass requirements apply; and
- f. Low voltage landscape lighting, but such lighting should be shielded in such a way as to eliminate glare and light trespass.

I. Utilities

All electric, telephone and cable television wires and cables from the property line to all structures being served on the site must be located underground.

6.7.6 Dimensional Illustration

The following illustration depicts the typical setbacks, landscape buffer, lot depth and lot width that each sub-district requires in this overlay zoning district.



6.7.7 Civic Sub-District

The Civic Sub-District provides a location for important buildings and services that are essentially noncommercial or non-profit in nature and that often serve as community landmarks, gathering places and settings for social interaction. This sub-district is meant to be a destination for events, performances, festivals and other activities related to civic and cultural arts.

A. Permitted and Conditional Uses

The following use table establishes uses allowed by right or by Conditional Use Permit in accordance with Sec. 3.5 in the Civic Sub-District. Unless otherwise regulated in the standards for this overlay zoning district, permitted uses are governed by the standards of this UDC for the underlying base zoning district. Uses not listed are prohibited.

Article 6: Special Purpose and Overlay Zoning Districts

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Use	Permitted by Right or Permitted Subject to Limitations	Conditional Use	Standards
Residential			
Convent or monastery	✓		
Single-family attached dwelling		✓	5.3.5
Single-family detached dwelling		✓	
Nonresidential			
Art gallery or museum	✓		
Accessory building	✓		
Day camp for children		✓	
Community center	✓		
Mortuary or funeral home		✓	
Park or playground	✓		
Place of worship	✓		
Pre-school	✓		5.3.11
School, elementary or secondary (public or private)		✓	
Swimming pool (private)	✓		

B. Dimensional Standards

Dimensional standards for the base zoning districts as found in Sec. 4.5 of this UDC apply except that the following regulations supersede such requirements for properties in the Civic Sub-District. Nonconforming lots of record that are smaller than the minimum required lot area may be developed but all requirements of the I-35 Corridor Overlay District apply.

Regulation	Measurement
Min. Lot Area	12,500 sf.
Min. Lot Width	80 ft.
Min. Lot Depth	80 ft.
Min. Front Yard Setback	25 ft.
Min. Side Yard Setback	10 ft.
Min. Side Yard Setback at Street	25 ft.
Min. Rear Yard Setback	10 ft. (20 ft. adjacent to residential)
Min. Landscape	15% of lot area
Min. Landscape Buffer	25 ft. front and adjacent to public street
Max. Building Coverage	10 ft. rear (20 ft. adjacent to residential)
Maxi. FAR	10 ft. side
Max. Building Height	60%

C. Landscape

The following landscape requirements are required in addition to those requirements described in Sec. 6.7.5E, Landscape, above.

1. An additional 10 percent of vegetation is required above the general landscaping requirements in landscape buffer areas.
2. In addition to those trees already required ornamental trees must be used in the landscape buffer. One, minimum two-inch caliper, ornamental tree must be planted for each 30 feet of frontage along public street rights-of-way as measured along the lot lines.

6.7.8 Industrial Sub-District

The industry component of Temple’s economy has been and should continue to be a major factor in the City’s growth and employment. These Industrial Sub-District standards will keep the City’s industrial base strong and growing while protecting the City’s image and enhancing the I-35 Corridor.

A. Permitted Uses

Permitted uses are governed by the uses permitted in the use table in Sec. 5.1 of this UDC for the underlying zoning district. Unless otherwise regulated in the standards for this overlay district, permitted uses are governed by the standards of this Zoning Ordinance for the underlying base zoning district.

B. Prohibited and Conditional Uses

Notwithstanding such uses being permitted in the underlying base zoning district according to the use table in Sec. 5.1, the following uses are prohibited or require a Conditional Use Permit in accordance with Sec. 3.5.

Use	Prohibited Use	Conditional Use	Standards
Residential			
All Residential Uses listed in the use table in Sec. 5.1 except as follows:		✓	5.3.1 through 5.3.7
Multiple-family dwelling (apartment)		✓	5.3.3
Recreational vehicle park	✓		
Nonresidential			
Animal feed lot	✓		
Animal shelter (public or		✓	

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Use	Prohibited Use	Conditional Use	Standards
private)			
Auto storage or auto auction	✓		
Boat sales or repair		✓	
Bottling works		✓	
Building material sales		✓	
Car wash		✓	
Child care facility	✓		
Contractor storage and equipment yard		✓	
Correctional facility	✓		
Day camp for children	✓		
Drag strip or commercial racing	✓		
Flea market (outdoors)	✓		
Greenhouse or nursery (retail)		✓	
Hatchery, fish or shrimp, fish farm	✓		
Hatchery, poultry	✓		
Heavy machinery sales, storage and repair		✓	
Industrial Uses listed in the use table in Sec. 5.1		✓	
Kennel		✓	
Live stock auction	✓		
Major vehicle repair		✓	5.3.22
Milk depot, dairy or ice cream plant		✓	
Minor vehicle servicing		✓	5.3.23
Motorcycle or scooter sales and repair		✓	
Open storage of furniture, appliances or machinery	✓		
Paint shop		✓	
Sexually oriented business	✓		
Shooting range (outdoor)	✓		
Stable, residential or noncommercial	✓		
Trailer, recreational vehicle, portable building or HUD-Code manufactured home sales or rental		✓	
Transitional or emergency shelter	✓		
Upholstery shop		✓	
Veterinarian hospital (kennels)		✓	
Wrecking or salvage yard	✓		5.3.24

[Ord. 2012-4505]

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C. Dimensional Standards

Dimensional standards for the base zoning districts as found in Sec. 4.5 of this UDC apply except that the following regulations supersede such requirements for properties in the Industrial Sub-District. Nonconforming lots of record that are smaller than the minimum required lot area may be developed but all requirements of the I-35 Corridor Overlay District apply.

Regulation	Measurement
Min. Lot Area	1 acre
Min. Lot Width	160 ft.
Min. Lot Depth	160 ft.
Min. Front Yard Setback	50 ft.
Min. Side Yard Setback	20 ft.
Min. Side Yard Setback at Street	50 ft.
Min. Rear Yard Setback	20 ft. (30 ft. adjacent to residential)
Min. Landscape	10% of lot area
Min. Landscape Buffer	35 ft. front and adjacent to public street 10 ft. rear (20 ft. adjacent to residential) 10 ft. side
Max. Building Coverage	50%
Max. FAR	1 to 1
Max. Building Height	42 ft. including mechanical and roof structure

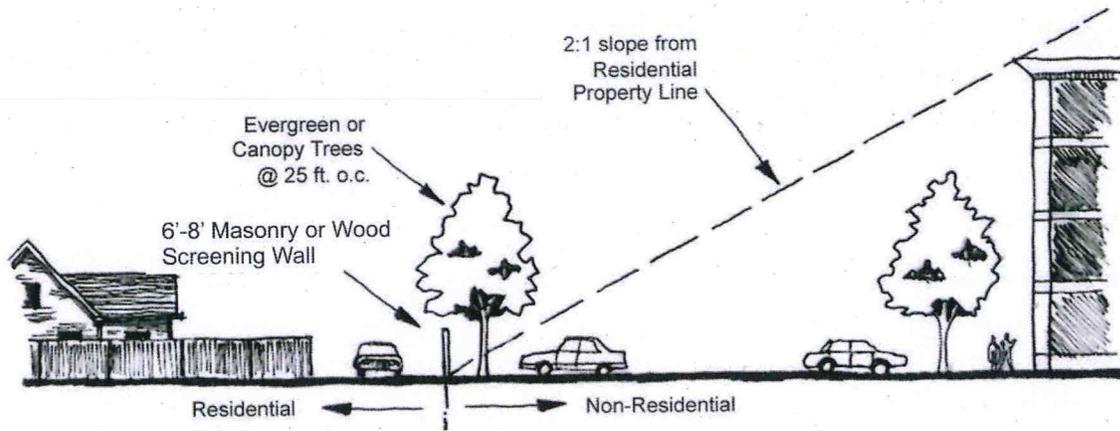
D. Architectural Design

1. Site Development

- a. The location and placement of buildings on individual sites must reflect consideration for roadway access, the preservation of major existing natural vegetation, visual impact and the relationship to surrounding developments.
- b. In order to preserve privacy of residential properties when located adjacent to nonresidential uses in a non-mixed use setting, the building must fit within a 2:1 slope from the residential property line, regardless if distance is greater than that listed in the Dimensions Standards table above.

Article 6: Special Purpose and Overlay Zoning Districts

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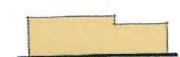
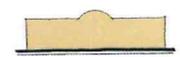
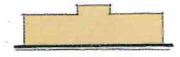
2. Exterior Appearance of Buildings and Structures

- a. All buildings must be architecturally finished on all sides with same materials, detailing and features, with a higher level of finish on the primary facades.
- b. Building entrances must be articulated six feet and defined to present a strong entry presence. All buildings must be designed to incorporate no less than one of the following architectural elements. Buildings over 50,000 square feet must include a minimum of two of the following elements. Buildings over 100,000 square feet must include a minimum of three of the following elements.

- i. Canopies, awnings or porticos;
- ii. Overhangs;
- iii. Recesses or projections;
- iv. Arcades;
- v. Peaked roof forms;
- vi. Arches;
- vii. Outdoor patios;
- viii. Display windows;
- ix. Architectural details (such as tile work or moldings)

Possible Building Plans

Possible Building Elevations



Article 6: Special Purpose and Overlay Zoning Districts

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integrated into building façade;

- x. Articulated ground floor levels or base;
 - xi. Articulated cornice line;
 - xii. Integrated planters or wing walls that incorporate landscape and sitting areas;
 - xiii. Offsets, reveals or projecting rib used to express architectural or structural bay; or
 - xiv. Accent materials.
- c.** Building design must incorporate a basic level of architectural variety. All industrial buildings with facades greater than 250 feet in length, visible from a public street right-of-way, must have wall plane projections or recesses that are a minimum of six feet deep. Projections and recesses must be at least 25 percent of the length of the façade on those sides facing a public street. No uninterrupted length of facade may exceed 200 feet in length.

3. Building Materials and Colors

- a.** Conceptual facade plans, color palette and sample boards must be submitted with the Preliminary Site Plan application. Final facade plan and sample boards must be submitted with final site plan application for all nonresidential uses.
- b.** The color of all structures must be generally earth-tone in hue. The Planning Director may approve accent colors that are not earth tone, but may not approve a façade that displays more than 10 percent of non-earth tone colors. No façade may display neon or florescent colors.
- c.** The designer may select a variety of exterior materials for use as the dominant material on the facades of a building, but the number of materials on a single building must be limited to no more than three materials in order to achieve a clean design style.
- d.** Windows must not be glazed or re-glazed with mirrored or reflective glass.

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- e. Maintenance and durability of materials must be considered as important qualities for every element of the design. Special care must be taken to specify the use of vandal resistant building components.
- f. The following is a list of approved building materials and accent materials per façade (not to exceed 20 percent of materials used). The Planning Director may approve materials not listed below.

Primary Materials: Max. 100%, Min. 80%	Accent Materials: Max. 20%
Architectural metal	Cast stone
Stone	Wood
Brick	Glass block
Stucco	Tile
Color integrated split face block	Granite
Painted tilt wall	Marble
Smooth insulated wall panel	Textured or patterned concrete
	All primary materials (other than material used to achieve the min. 80%)

6.7.9 Freeway Retail / Commercial Sub-District

The freeway retail and commercial locations in Temple have been and should continue to be a major factor in the City’s growth and employment efforts. These standards will continue to attract new commercial activity to the City and enhance the City’s image as a desirable place to live, work and shop on the I-35 Corridor.

A. Permitted Uses

Permitted uses are governed by the uses permitted in the use table in Sec. 5.1 of this UDC for the underlying zoning district. Unless otherwise regulated in the standards for this overlay district, permitted uses are governed by the standards of this Zoning Ordinance for the underlying base zoning district.

B. Prohibited and Conditional Uses

Notwithstanding such uses being permitted in the underlying base zoning district according to the use table in Sec. 5.1, the following uses are prohibited or require a Conditional Use Permit in accordance with Sec. 3.5.

Use	Prohibited Use	Conditional Use	Standards
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Sec. 6.7. I35, Interstate 35 Corridor Overlay

Use	Prohibited Use	Conditional Use	Standards
Residential			
All Residential Uses listed in the use table in Sec. 5.1 except as follows:	✓		
Multiple-family dwelling (apartment)		✓	5.3.3
Recreational vehicle park	✓		
Nonresidential			
Animal feed lot	✓		
Animal shelter (public or private)		✓	
Auto storage or auto auction	✓		
Boat sales or repair		✓	
Bottling works	✓		
Building material sales	✓		
Car wash		✓	
Child care facility		✓	5.3.9 and 5.3.10
Contractor storage and equipment yard	✓		
Correctional facility	✓		
Day camp for children	✓		
Drag strip or commercial racing	✓		
Flea market (outdoors)	✓		
Greenhouse or nursery (retail)		✓	
Hatchery, fish or shrimp, fish farm	✓		
Hatchery, poultry	✓		
Heavy machinery sales, storage and repair	✓		
Industrial Uses listed in the use table in Sec. 5.1	✓		
Kennel	✓		
Live stock auction	✓		
Major vehicle repair		✓	5.3.22
Milk depot, dairy or ice cream plant	✓		
Minor vehicle servicing		✓	5.3.23
Open storage of furniture, appliances or machinery	✓		
Paint shop		✓	
Sexually oriented business	✓		
Shooting range (outdoor)	✓		
Stable, residential or noncommercial	✓		
Trailer, recreational vehicle, portable building or HUD-	✓		

Article 6: Special Purpose and Overlay Zoning Districts

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Use	Prohibited Use	Conditional Use	Standards
Code manufactured home sales or rental			
Transitional or emergency shelter	✓		
Upholstery shop		✓	
Veterinarian hospital (kennels)		✓	
Wrecking or salvage yard [Ord. 2012-4505]	✓		5.3.24

C. Dimensional Standards

Dimensional standards for the base zoning districts as found in Sec. 4.5 of this UDC apply except that the following regulations supersede such requirements for properties in the Freeway Retail / Commercial Sub-District. Nonconforming lots of record that are smaller than the minimum required lot area may be developed but all requirements of the I-35 Corridor Overlay District apply.

Regulation	Measurement
Min. Lot Area	12,500 sf.
Min. Lot Width	80 ft.
Min. Lot Depth	80 ft.
Min. Front Yard Setback	25 ft.
Min. Side Yard Setback	20 ft.
Min. Side Yard Setback at Street	25 ft.
Min. Rear Yard Setback	10 ft. (20 ft. adjacent to residential)
Min. Landscape	15% of lot area
Min. Landscape Buffer	25 ft. front and adjacent to public street 10 ft. rear (20 ft. adjacent to residential) 10 ft. interior side 20 ft. street side
Max. Building Coverage	50%
Max. FAR	4 to 1
Max. Building Height	6 stories or 100 ft. including mechanical and roof structure

D. Architectural Design

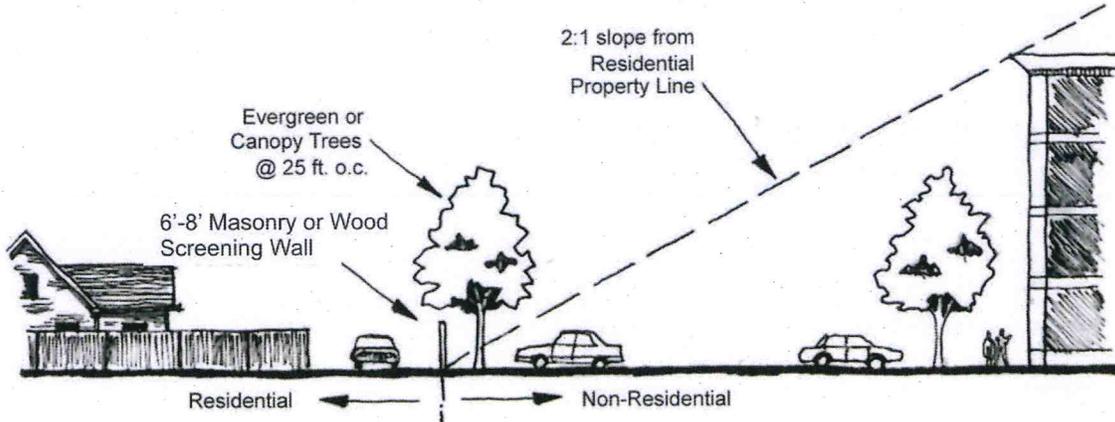
1. Site Development

- a. Development must be sited as to maximize street presence.
- b. The location and placement of buildings on individual sites must reflect consideration for roadway access, the preservation of major existing natural vegetation, visual impact and the relationship to surrounding developments.

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- c. In order to preserve privacy of residential properties when located adjacent to nonresidential uses in a non-mixed use setting, the building must fit within a 2:1 slope from the residential property line, regardless if distance is greater than that listed in the Dimensional Standards table above.



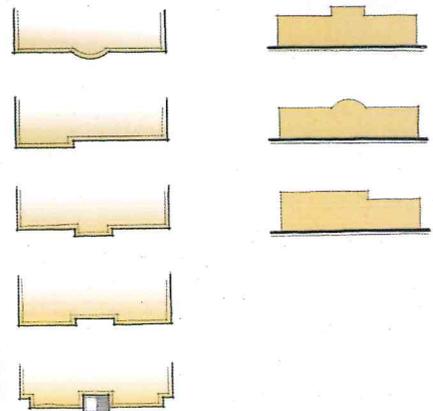
2. Exterior Appearance of Buildings and Structures

- a. All buildings, including accessory buildings, must be architecturally finished on all sides with the same materials, detailing and features, with a higher level of finish on the primary facades.
- b. As an alternative for facades that are not visible from a public street, a single row of trees may be planted along the building or in the landscape buffer on offset 30-foot centers in a minimum 10-foot landscape edge, where 50 percent of the trees are canopy evergreen trees. In this case, the architectural finish must match the remainder of the building in color only.

- c. Building entrances must be articulated and defined to present a strong entry presence. Such entries must be inset or offset from the front building plane by at least six feet. All buildings must be designed to incorporate no less

Possible Building Plans

Possible Building Elevations



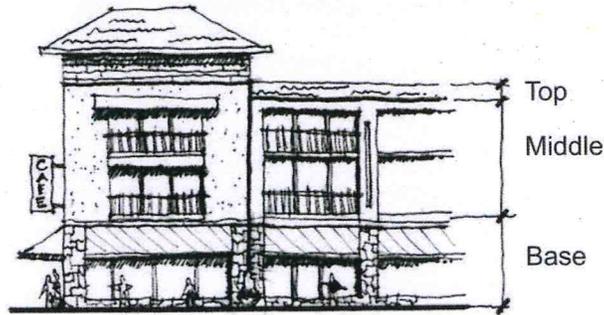
Article 6: Special Purpose and Overlay Zoning Districts**Sec. 6.7. 135, Interstate 35 Corridor Overlay**

than three of the following architectural elements. Buildings over 50,000 square feet must include a minimum of five of the following elements. Buildings over 100,000 square feet must include a minimum of seven of the following elements:

- i. Canopies, awnings, or porticos;
 - ii. Overhangs;
 - iii. Recesses or projections;
 - iv. Arcades;
 - v. Peaked roof forms;
 - vi. Arches;
 - vii. Outdoor patios;
 - viii. Display windows;
 - ix. Architectural details (such as tile work or moldings) integrated into building facade;
 - x. Articulated ground floor levels or base;
 - xi. Articulated cornice line;
 - xii. Integrated planters or wing walls that incorporate landscape and sitting areas;
 - xiii. Offsets, reveals or projecting rib used to express architectural or structural bay; or
 - xiv. Accent materials (minimum 10 percent of exterior façade).
- d.** All buildings must be designed and constructed in tri-partite architecture to express a base, midsection and top. The base and tops of buildings must vary in material, and the heaviest building material must be used as the base. All facades must include:
- i. Articulated ground floor levels;
 - ii. Minimum three-foot overhangs at eaves; and
 - iii. Articulated cornice lines.

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- Heaviest building material located at base.
- No more than three materials in order to achieve a clean design style.
- Incorporate architectural elements
- Use of overhangs and eaves and articulated cornice lines.
- Use of windows on building elevation falls within the required 40 percent to 80 percent.

- e. All buildings must be designed to be consistent with the purpose of the I-35 Corridor Overlay zoning district. Building design must incorporate a basic level of architectural variety. All retail and commercial buildings with facades greater than 200 feet in length, visible from a public street right-of-way, must incorporate wall plane projections or recesses that are at least six feet deep. Projections and recesses must be at least 25 percent of the length of the facade. No uninterrupted length of facade may exceed 100 feet in length.
- f. Windows must be a minimum of 40 percent up to a maximum of 80 percent of each building elevation.

3. Building Materials and Colors

- a. Conceptual facade plans, color palette and sample boards must be submitted with the Preliminary Site Plan application. Final facade plan and sample boards must be submitted with final site plan application for all nonresidential uses.
- b. The color of all structures must be generally earth-tone in hue. The Planning Director may approve accent colors that are not earth tone, but may not approve a façade that displays more than 10 percent of non-earth tone colors. No façade may display neon or florescent colors.

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- c. The designer may select a variety of exterior materials for use as the dominant material on the facades of a building, but the number of materials on a single building must be limited to no more than three materials in order to achieve a clean design style.
- d. No single building material may cover more than 80 percent of the front of any building, with the exception of on-site utility or service structures.
- e. Windows must not be glazed or re-glazed with mirrored or reflective glass.
- f. Maintenance and durability of materials must be considered as important qualities for every element of the design. Special care must be taken to specify the use of vandal resistant building components.
- g. The following is a list of approved building materials and accent materials per façade (not to exceed 20 percent of materials used). The Planning Director may approve materials not listed below.

Primary Materials: Max. 90%, Min. 70%	Accent Materials: Max. 30%, Min. 10%
Stone	Cast stone
Architectural metal	Wood
Brick	Glass block
Stucco	Tile
Granite	Granite
Marble	Marble
Painted Tilt Wall	Textured or patterned concrete
	All primary materials (other than material used to achieve the min. 80%)

E. Vehicle Sales

Where sales inventory aisles exist for an automobile, truck, motorcycle, recreational vehicle or boat sales, leasing or rental establishment, the following standards apply as exceptions to the general landscape provisions in Sec. 6.7.5E.

- 1. Parking lot islands must be located at the end of the inventory aisle, span the width of such aisle and have a minimum depth of 10 feet; and

2. Evergreen shrubs a minimum of five gallons in size must completely fill the island area.

F. Vehicle Sales in Portion of Sub-district

Where an automobile or truck sales, leasing or rental establishment is located between North General Bruce Drive and North 31st Street, north of Jack White Boulevard up to 265 feet north of the northern boundary of the public street right-of-way of Bray Street, the following standards apply, as exceptions to the corresponding general and freeway retail commercial standards:

1. Inventory Parking Lot Islands

- a. Parking lot islands must be located at the end of the inventory aisle, span the width of such aisle and have a minimum depth of 10 feet.
- b. Evergreen shrubs a minimum of five gallons in size must completely fill the island area.

2. Landscape Buffer

- a. A landscape buffer a minimum of 10 feet wide is required adjacent to Jack White Boulevard.
- b. A landscape buffer a minimum of five feet wide is required adjacent to North 31st Street.

3. Garage and Service Bays

- a. Garage and service bays, including but not limited to off-street loading bays and service bays used for vehicle repair and servicing, must face Jack White Boulevard and Bray Street.
- b. A wing wall or opaque landscaping is not required to screen garage and service bays as required in Sec. 6.7.5D, if landscaping along north General Bruce Drive and Jack White Boulevard is designed to screen such garages and bays.

6.7.10 City Entry Sub-District

This sub-district is the gateway into the city core, hospitals, neighborhoods, shopping, airport and industrial parks. Development should enhance the image

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of the City and entice people to stop, shop and visit the City. These entries need to create attractive portals to the City.

A. Permitted Uses

Permitted uses are governed by the uses permitted in the use table in Sec. 5.1 of this UDC for the underlying zoning district. Unless otherwise regulated in the standards for this overlay district, permitted uses are governed by the standards of this Zoning Ordinance for the underlying base zoning district.

B. Prohibited and Conditional Uses

Notwithstanding such uses being permitted in the underlying base zoning district according to Sec. 5.1, the following uses are prohibited or require a Conditional Use Permit in accordance with Sec. 3.5.

Use	Prohibited Use	Conditional Use	Standards
Residential			
All Residential Uses listed in the use table in Sec. 5.1 except as follows:	✓		
Multiple-family dwelling (apartment)		✓	5.3.3
Recreational vehicle park	✓		
Nonresidential			
Animal feed lot	✓		
Animal shelter (public or private)	✓		
Auto storage or auto auction	✓		
Boat sales or repair	✓		
Bottling works	✓		
Building material sales	✓		
Car wash		✓	
Child care facility		✓	5.3.9 and 5.3.10
Contractor storage and equipment yard	✓		
Correctional facility	✓		
Day camp for children	✓		
Drag strip or commercial racing	✓		
Flea market (outdoors)	✓		
Greenhouse or nursery (retail)		✓	
Hatchery, fish or shrimp, fish farm	✓		
Hatchery, poultry	✓		
Heavy machinery sales,	✓		

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Use	Prohibited Use	Conditional Use	Standards
storage and repair			
Industrial Uses listed in the use table in Sec. 5.1	✓		
Kennel	✓		
Live stock auction	✓		
Major vehicle repair	✓		
Milk depot, dairy or ice cream plant	✓		
Minor vehicle servicing		✓	5.3.23
Motorcycle or scooter sales and repair		✓	
Open storage of furniture, appliances or machinery	✓		
Paint shop		✓	
Trailer, recreational vehicle, portable building or HUD-Code manufactured home sales or rental sales or rental	✓		
Transitional or emergency shelter	✓		

[Ord. 2012-4505]

C. Dimensional Standards

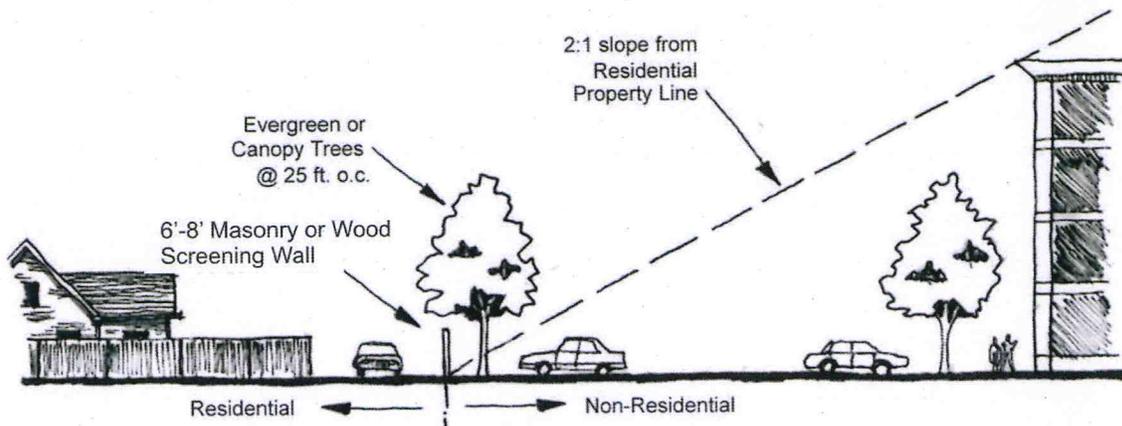
Dimensional standards for the base zoning districts as found in Sec. 4.5 of this UDC apply except that the following regulations supersede such requirements for properties in the City Entry Sub-District. Nonconforming lots of record that are smaller than the minimum required lot area may be developed but all requirements of the I-35 Corridor Overlay District apply.

Regulation	Measurement
Min. Lot Area	12,500 sf.
Min. Lot Width	80 ft.
Min. Lot Depth	80 ft.
Min. Front Yard Setback	25 ft.
Min. Side Yard Setback	20 ft.
Min. Side Yard Setback at Street	25 ft.
Min. Rear Yard Setback	10 ft. (20 ft. adjacent to residential)
Min. Landscape	15% of lot area
Min. Landscape Buffer	25 ft. front and adjacent to public street 10 ft. rear (20 ft. adjacent to residential) 10 ft. side
Max. Building Coverage	60%
Max. FAR	4 to 1
Max. Building Height	6 stories or 100 ft. including mechanical and roof structure

D. Architectural Design

1. Site Development

- a. Development must be sited as to maximize street presence.
- b. The location and placement of buildings on individual sites must reflect consideration for roadway access, the preservation of major existing natural vegetation, visual impact and the relationship to surrounding developments.
- c. In order to preserve privacy of residential properties when located adjacent to nonresidential uses in a non-mixed use setting, the building must fit within a 2:1 slope from the residential property line, regardless if distance is greater than that listed in the Dimensional Standards table above.



2. Exterior Appearance of Buildings and Structures

- a. All buildings, including “out” buildings, must be architecturally finished on all sides with same materials, detailing and features, with a higher level of finish on the primary facades.
- b. For facades that are not visible from the public streets, a single row of trees can be planted along the building or in the landscape buffer on offset 25-foot centers in a minimum 10-foot landscape edge, where 50 percent of the trees are canopy evergreen trees. In this case, the architectural finish must match the remainder of the building in color only.

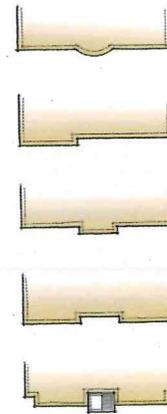
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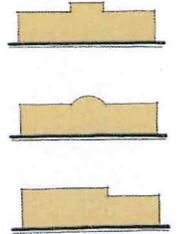
c. The principal building wall is to be setback a minimum of 18 and a maximum of 24 feet from the back of the drive curb.

d. Building entrances must be articulated and defined to present a strong entry presence. Such entries must be inset or offset from the front building plane by at least four feet. All buildings must be designed to incorporate no less than three of the following architectural elements. Buildings over 50,000 square feet must include a minimum of five of the following elements. Buildings over 100,000 square feet must include a minimum of seven of the following elements.

Possible Building Plans



Possible Building Elevations

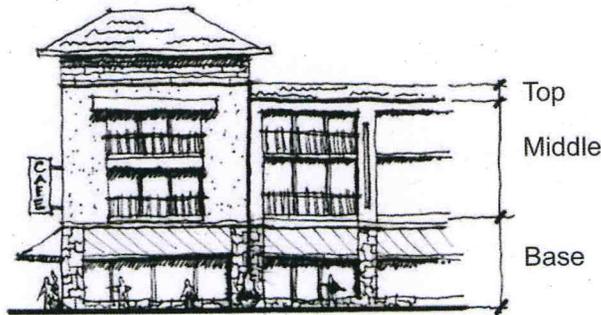


- i. Canopies, awnings or porticos;
- ii. Overhangs;
- iii. Recesses or projections;
- iv. Arcades;
- v. Peaked roof forms;
- vi. Arches;
- vii. Outdoor patios;
- viii. Display windows;
- ix. Architectural details (such as tile work or moldings) integrated into building façade;
- x. Articulated ground floor levels or base;
- xi. Articulated cornice line;
- xii. Integrated planters or wing walls that incorporate landscape and sitting areas;
- xiii. Offsets, reveals or projecting rib used to express architectural or structural bay; and

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- xiv. Accent materials (minimum 10 percent of exterior façade).
- e. All buildings must be designed and constructed in tri-partite architecture to express a base, midsection and top (see Exhibit D). The base and tops of buildings must vary in material, and the heaviest building material must be used as the base. All facades must include:
- i. Articulated ground floor levels;
 - ii. Minimum three-foot overhangs at eaves; and
 - iii. Articulated cornice lines.



- Heaviest building material located at base.
- No more than three materials in order to achieve a clean design style.
- Incorporate architectural elements
- Use of overhangs and eaves and articulated cornice lines.
- Use of windows on building elevation falls within the required 40 percent to 80 percent.

- f. All buildings must be designed to be consistent with the purpose of the I-35 Corridor Overlay zoning district. Building design must incorporate a basic level of architectural variety. All retail and commercial buildings with facades greater than 150 feet in length, visible from a public street right-of-way, must incorporate wall plane projections or recesses that are at least six feet deep. Projections and recesses must be at least 25 percent of the length of the facade. No uninterrupted length of facade may exceed 100 feet in length.
- g. Windows must be a minimum of 40 percent up to a maximum of 80 percent of each building elevation.

3. Building Materials and Colors

- a. Conceptual facade plans, color palette and sample boards must be submitted with the Preliminary Site Plan application. Final facade plan and sample boards must be submitted with final site plan application for all nonresidential uses.
- b. The color of all structures must be generally earth-tone in hue. The Planning Director may approve accent colors that are not earth tone, but may not approve a façade that displays more than 10 percent of non-earth tone colors. No façade may display neon or florescent colors.
- c. The designer may select a variety of exterior materials for use as the dominant material on the facades of a building, but the number of materials on a single building must be limited to no more than three materials in order to achieve a clean design style.
- d. No single building material may cover more than 80 percent of the front of any building, with the exception of on-site utility or service structures.
- e. Windows must not be glazed or re-glazed with mirrored or reflective glass.
- f. Maintenance and durability of materials must be considered as important qualities for every element of the design. Special care must be taken to specify the use of vandal resistant building components.
- g. The following is a list of approved building materials and accent materials per façade (not to exceed 20 percent of materials used). The Planning Director may approve materials not listed below.

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Primary Materials: Max. 90%, Min. 70%	Accent Materials: Max. 30%, Min. 10%
Stone Brick	<ul style="list-style-type: none"> • Wood • Cast Stone • Glass Block • Architectural Metal • Tile • Granite • Marble • Textured or Patterned Concrete • All Primary Materials (other than material used to achieve the min. 70%)
Primary Materials: Max. 70%	
Painted Tilt Wall	

E. Landscape

The following landscape requirements are required in addition to those requirements described in Sec. 6.7.5E, Landscape.

1. A minimum of 15 percent of the total site area must be landscaped.
2. All driveways into the site must have enhanced paving of stone, brick or patterned concrete for a minimum of 50 percent of the driveway throat.
3. An additional 10 percent of vegetation is required above the general landscaping requirements in landscaped buffer areas.
4. In addition to those trees already required, ornamental trees must be used in the landscape buffer. One minimum two-inch caliper ornamental tree must be planted for each 30 feet of frontage along public street rights-of-way as measured along the lot lines.
5. One minimum three-inch caliper canopy tree must be planted for each 25 feet of frontage along public street rights-of-way as measured along the lot lines.

F. Lighting

All on-premises outdoor lighting fixtures in the City Entry Sub-District must be ornamental or decorative where appropriate.

G. Utilities

All electric, telephone and cable television wires along the public street right-of-way must be located underground in the City Entry Sub-District.

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