

TMED Form-Based Code



Defining Form-Based Code (FBC)

Description...

A well-crafted form-based code emphasizes standards and parameters for form with predictable physical outcomes (build-to lines, frontage type requirements, etc.) rather than relying on numerical parameters (FAR, density, etc.) whose outcomes are impossible to predict. In general it regulates the urban form and focuses less on land use.

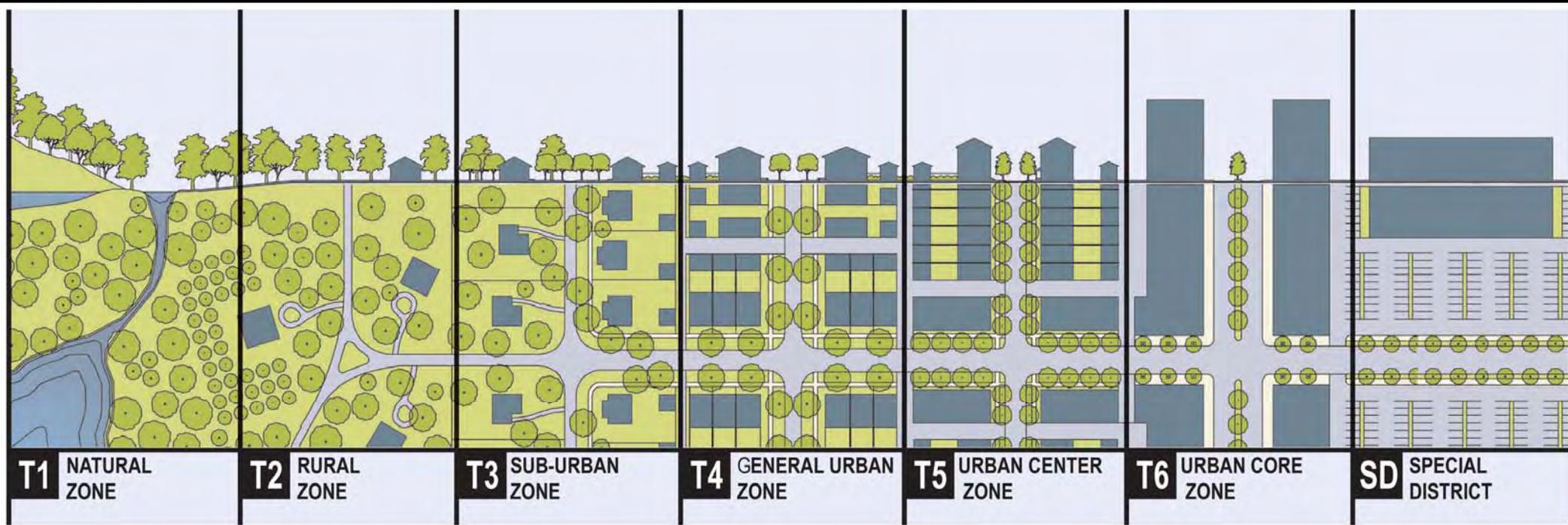
The FBC requires buildings to shape public space through the use of building form standards with specific requirements for building placement.

Promote and/or conserve an interconnected street network that is pedestrian-scaled.

A set of regulations and standards will be keyed to specific locations on a regulating plan (Transect Zones)

Transect Zones...

Because they are based on the physical form of the built and natural environment, all transect-based codes are form based codes.

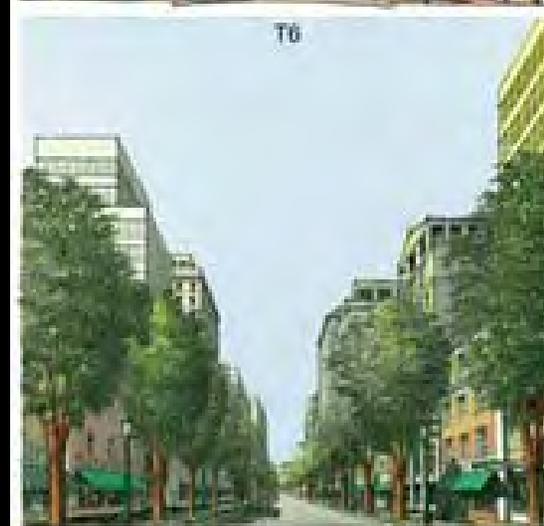


Rural-Urban Transect

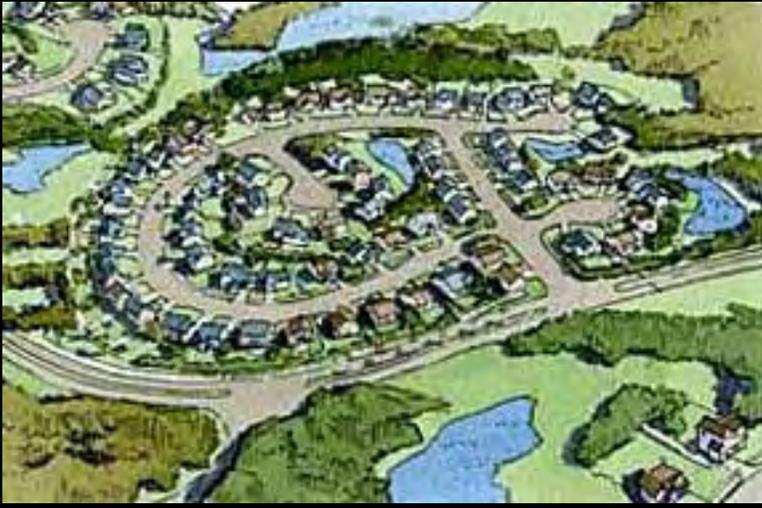
This is the now-classic transect diagram with six regulating Transect Zones (T-zones) used for the zoning of urban areas as well as natural lands. It is intended to be as general as possible in order to serve the Form Based Code.

Transect Zones...

This set of illustrations illustrate a full range of lowering of the building frontages that correspond to the Transect Zones of a Form Based Code.



Conventional Zoning vs. Form Based Code...



Conventional

Parking lots and curb cuts are allowed to dominate the frontages, creating a hostile environment for pedestrians and cyclists.



Conventional



Form-Based

Regulates form more strongly to enhance pedestrian safety and enjoyment, and to structure networks of streets that relieve traffic congestion



Form-Based

Conventional Zoning vs. Form Based Code...



Conventional



Form-Based



Form-Based Code Components

Standard FBC Components...

Public Space Standards.

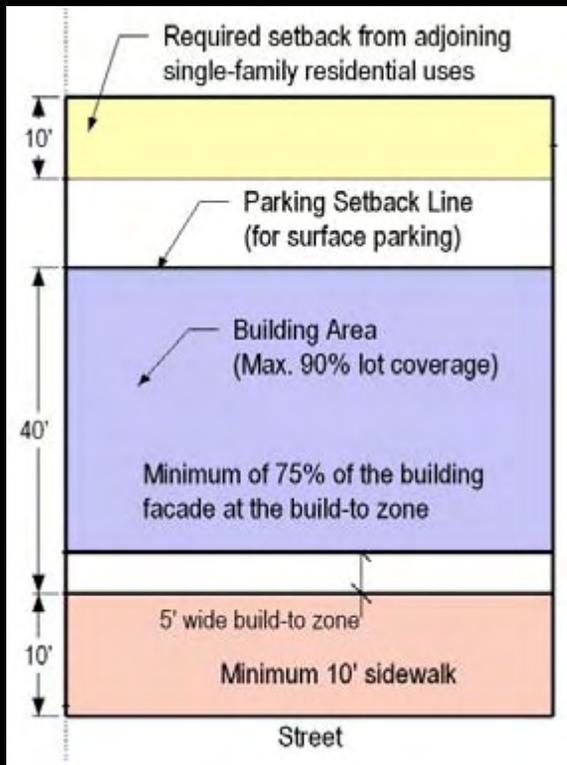
Specifications for the elements within the public realm (e.g., sidewalks, travel lanes, on-street parking, street trees, street furniture, etc.).



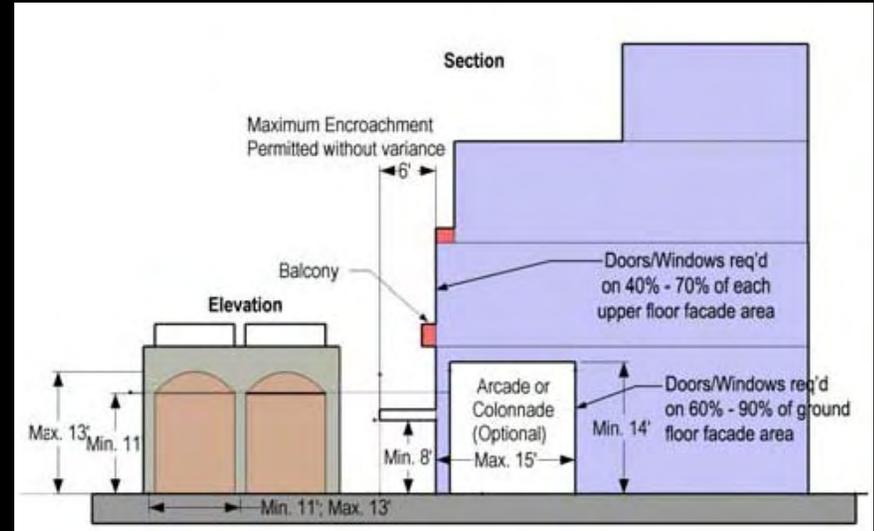
Standard FBC Components...

Building Form Standards.

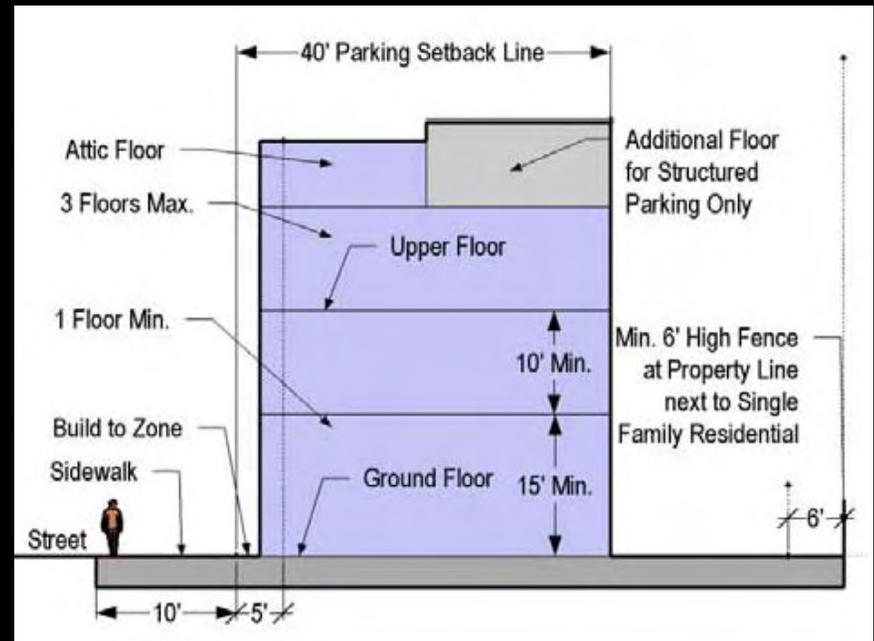
Regulations controlling the configuration, features, and functions of buildings that define and shape the public realm.



Building Disposition



Façade Elements

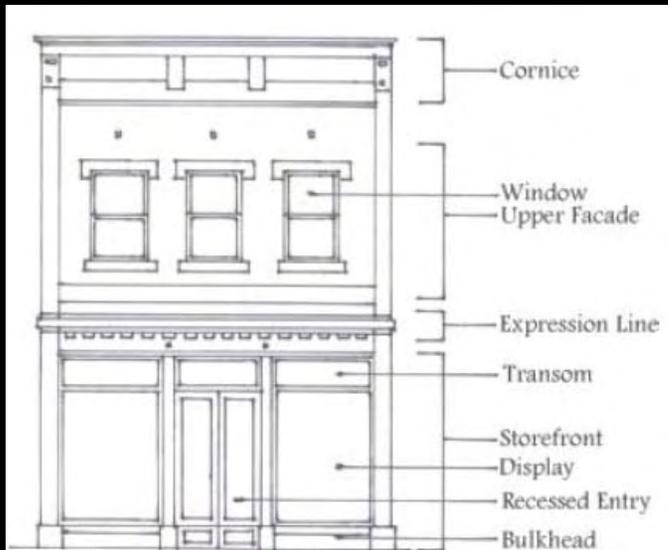


Height Standards

Other FBC Components...

Architectural Standards. Regulations controlling external architectural materials and quality.

Some municipalities may decide not to regulate architectural matters. However, many of these standards, besides their aesthetic effects, also have health and public safety purposes, such as crime prevention by increasing “eyes on the street,” that may be cited as support for their implementation.



Other FBC Components...

Landscape Standards.

Regulations controlling landscape design and plant materials on private property as they impact public spaces (regulations about parking lot screening and shading, maintaining sight lines, insuring unobstructed pedestrian movements, plazas, etc.).



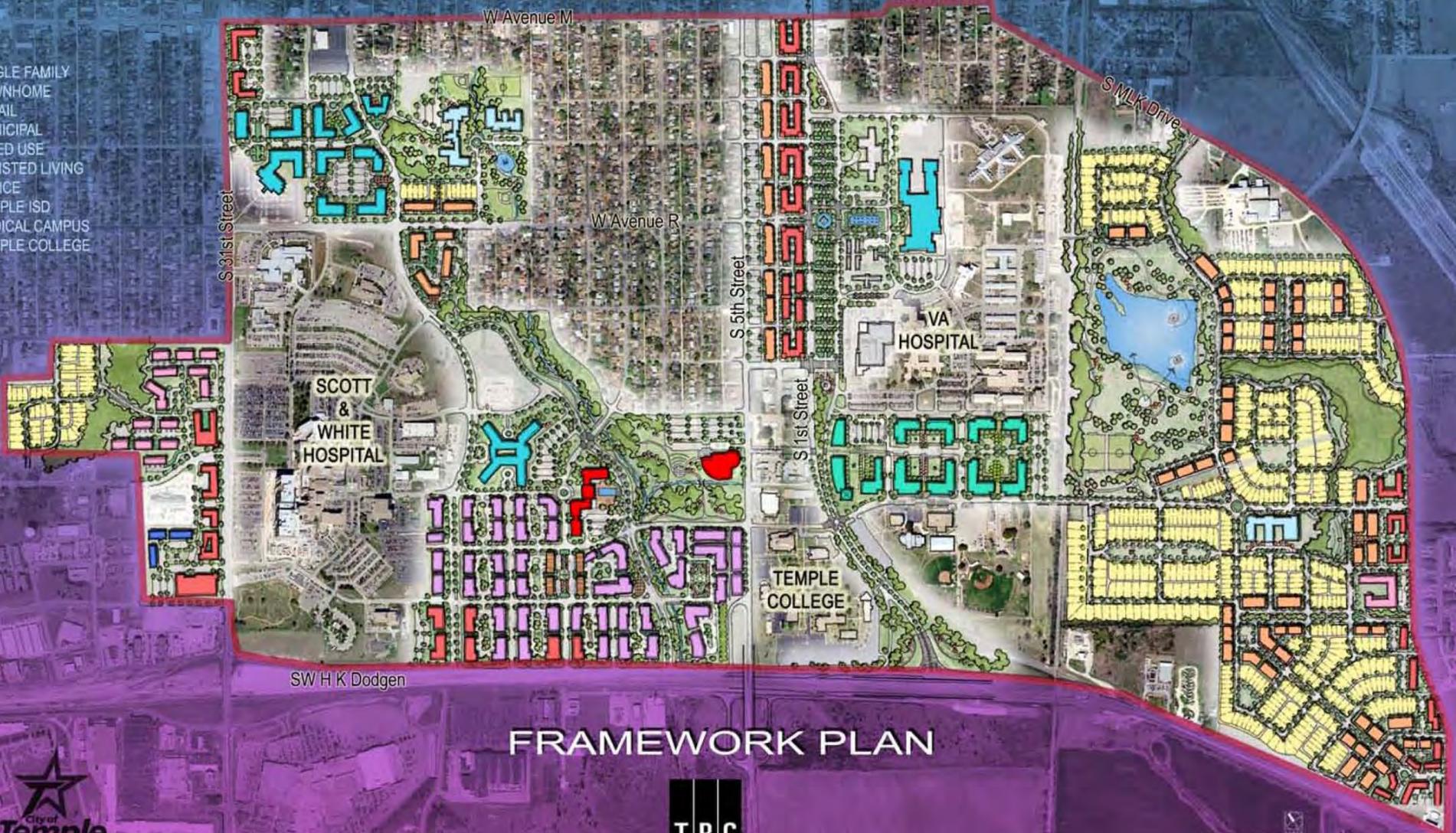
TMED Form-Based Code



TMED Vision...

TEMPLE MEDICAL EDUCATIONAL DISTRICT

- SINGLE FAMILY
- TOWNHOME
- RETAIL
- MUNICIPAL
- MIXED USE
- ASSISTED LIVING
- OFFICE
- TEMPLE ISD
- MEDICAL CAMPUS
- TEMPLE COLLEGE



FRAMEWORK PLAN



First Street Vision...



First Street Vision...



First Street Vision...



First Street Vision...



First Street Vision...



First Street Vision...

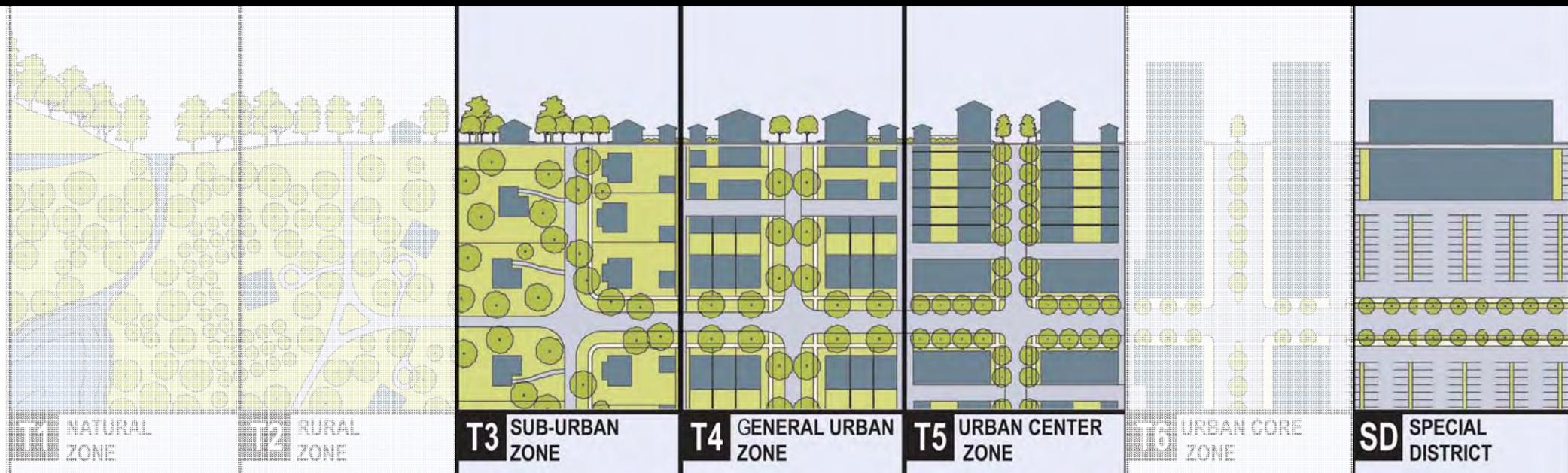


Needed Structure & Regulation

Proposed Transects and Special Districts...

The form-based code will consist of the following proposed Transect Zones...

- T3
- T4
- T5
- SD-t (Special District - Temple ISD)
- SD-h (Special District - Scott & White / TAMHSC)
- SD-v (Special District - VA Hospital)
- SD-c (Special District - Temple College)



Transect Zones...

T3

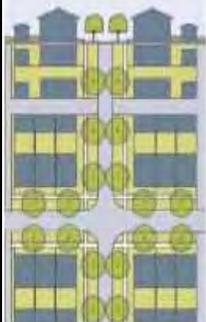


T-3 SUB-URBAN

T-3 Sub-Urban Zone consists of low density residential areas, adjacent to higher zones that some mixed use. Home occupations and outbuildings are allowed. Planting is naturalistic and setbacks are relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.

- General Character:** Lawns, and landscaped yards surrounding detached and/or attached single-family houses; pedestrians occasionally
- Building Placement:** Large and variable front and side yard Setbacks
- Frontage Types:** Porches, fences, naturalistic tree planting
- Typical Building Height:** 1- to 2-Story with some 3-Story
- Type of Civic Space:** Parks, Greenways

T4

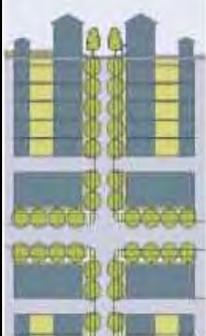


T-4 GENERAL URBAN

T-4 General Urban Zone consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.

- General Character:** Mix of Houses, Townhouses & small Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians
- Building Placement:** Shallow to medium front and side yard Setbacks
- Frontage Types:** Porches, fences, Dooryards
- Typical Building Height:** 2- to 3-Story with a few taller Mixed Use buildings
- Type of Civic Space:** Squares, Greens

T5



T-5 URBAN CENTER

T-5 Urban Center Zone consists of higher density mixed use building that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.

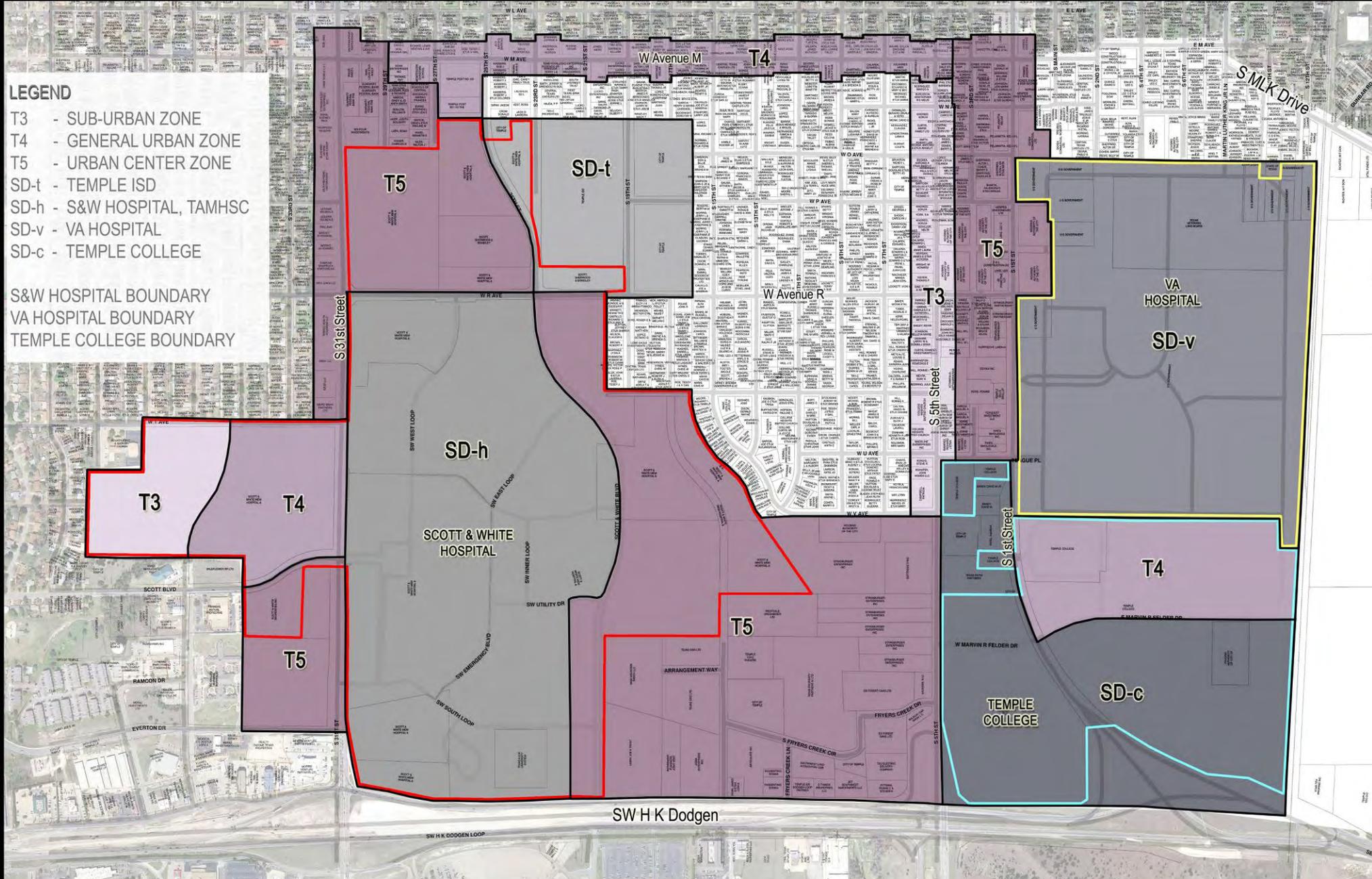
- General Character:** Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity
- Building Placement:** Shallow Setbacks or none; buildings oriented to street defining a street wall
- Frontage Types:** Stoops, Shopfronts, Galleries
- Typical Building Height:** 2- to 5-Story with some variation
- Type of Civic Space:** Parks, Plazas and Squares, median landscaping

Transect (Regulating) Plan...

LEGEND

- T3 - SUB-URBAN ZONE
- T4 - GENERAL URBAN ZONE
- T5 - URBAN CENTER ZONE
- SD-t - TEMPLE ISD
- SD-h - S&W HOSPITAL, TAMHSC
- SD-v - VA HOSPITAL
- SD-c - TEMPLE COLLEGE

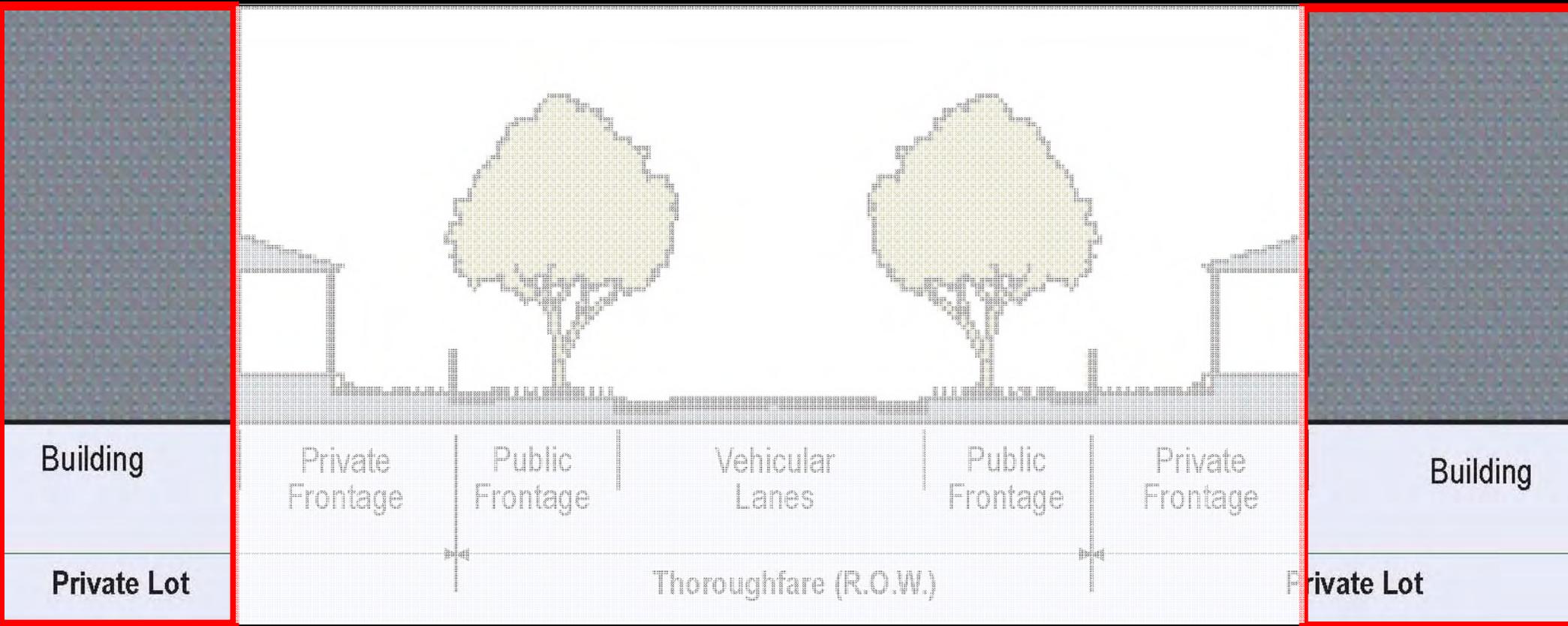
- S&W HOSPITAL BOUNDARY
- VA HOSPITAL BOUNDARY
- TEMPLE COLLEGE BOUNDARY



Public / Private Spatial Relationship

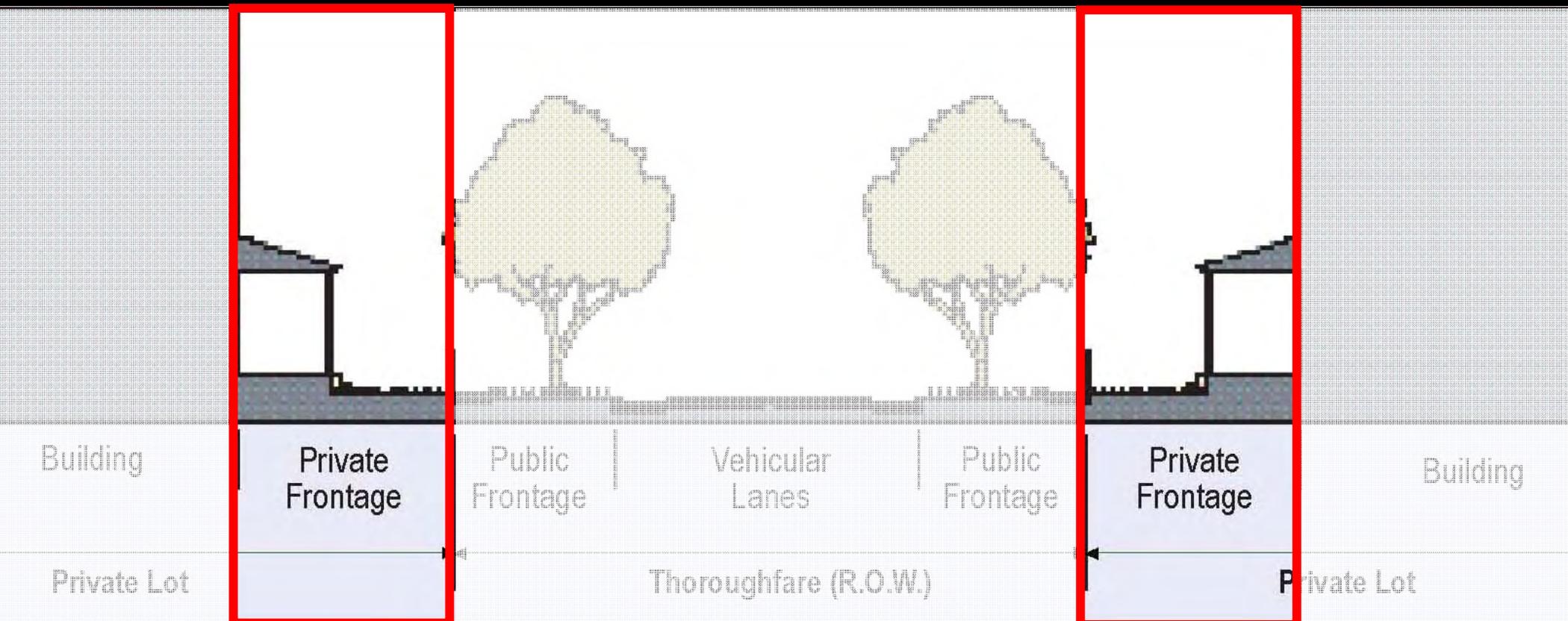
Spatial Relation...

- General Architectural Standards
- Architectural Form
- Building Disposition
- Building Configuration



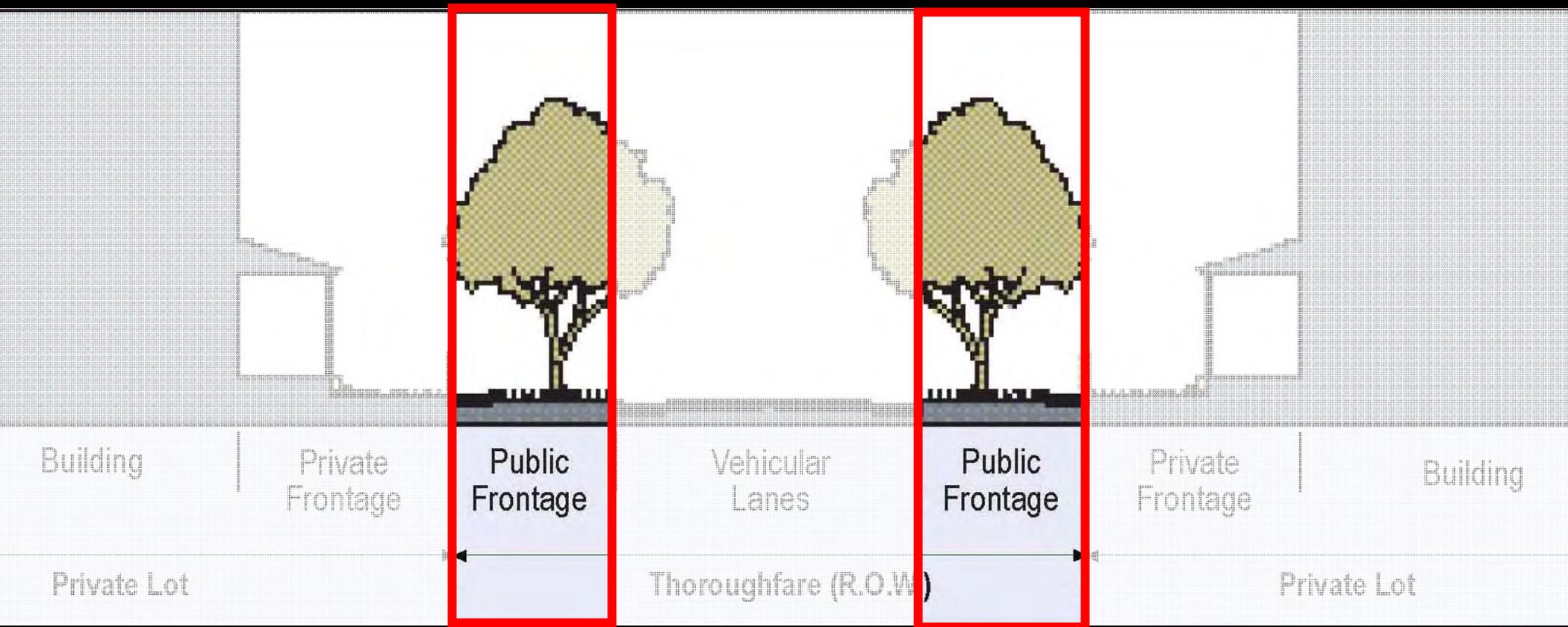
Spatial Relation...

- Entry Types (Porches, Forecourt, Stoop, Shopfront, Gallery, etc.)
- Landscaping
- Build to lines
- Parking in certain instances



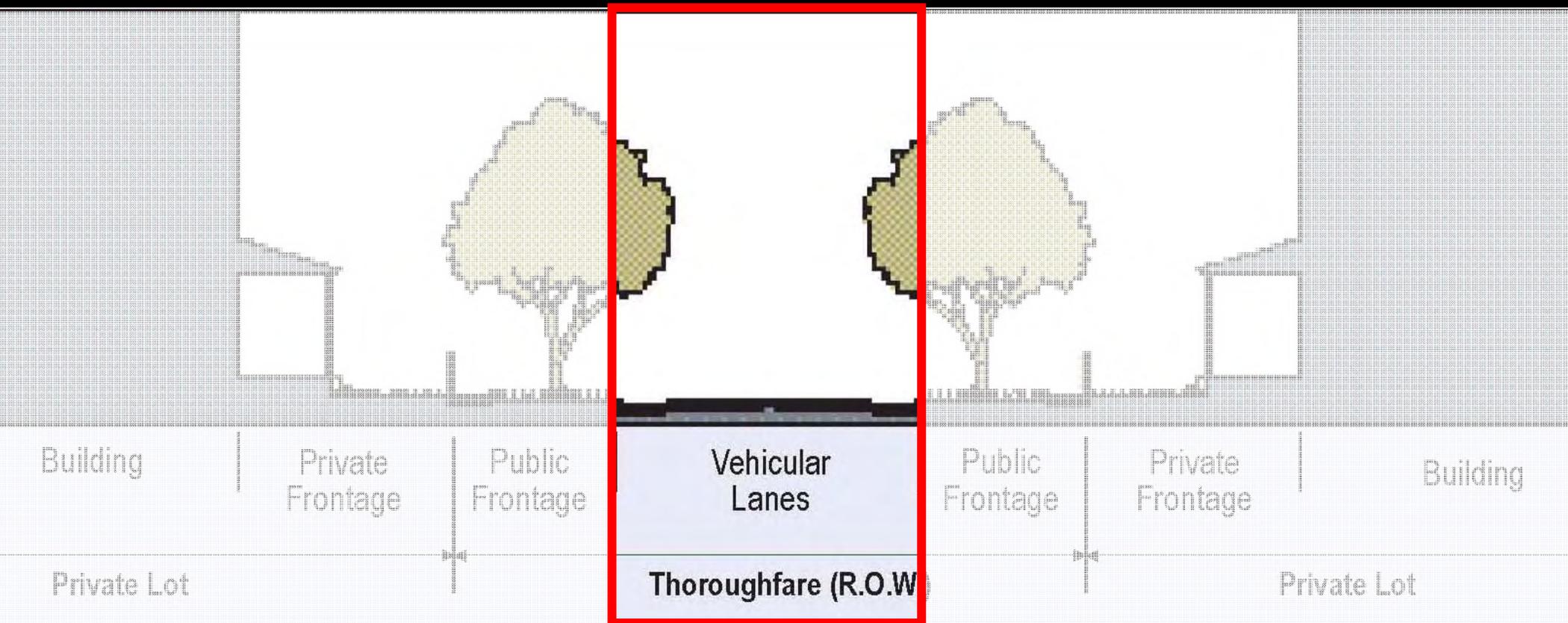
Spatial Relation...

- Specifics of Public Frontages
- Public Lighting
- Public Planting
- Sidewalks
- Landscaping



Spatial Relation...

- Vehicular Lanes and Dimensions
- Parking Assemblies (street, front, and rear)
- Thoroughfare Assemblies



District Regulating Elements...

	S&W/ TAMHSC	Mixed Use	Temple College	Veterans Hospital	1 st / 5 th Street	TISD	Ave. M
Regulating Plan	X	X	X	X	X	X	X
Public/ Private Space	X	X	X	X	X	X	X
Building Form	X*	X	X	X*	X	X	X
Architectural	X*	X	X*	X*	X	X	X
Landscaping	X	X	X	X	X	X	X
Signage	X*	X	X*	X*	X	X*	X
Administration	X	X	X	X	X	X	X

T3 Sub-Urban Zone

T3 Sub-Urban - Public/Private...

SECTION

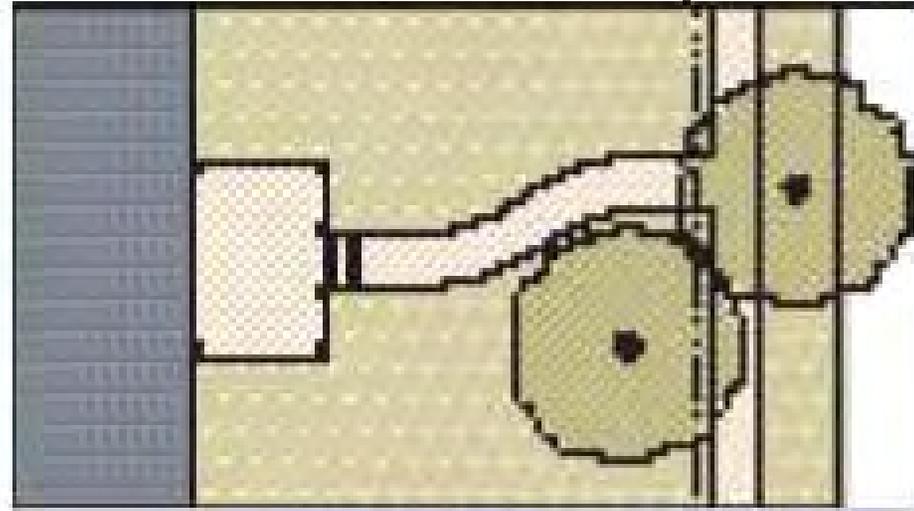
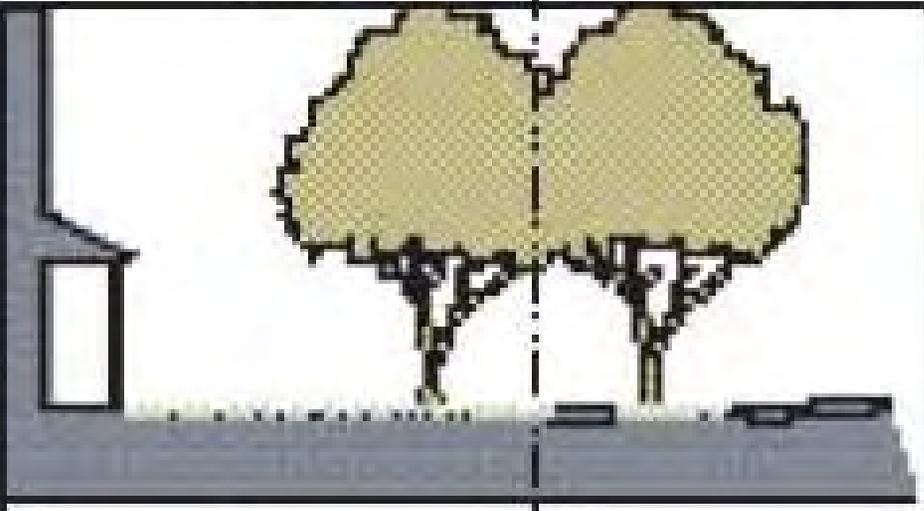
PLAN

LOT ►
PRIVATE ►
FRONTAGE

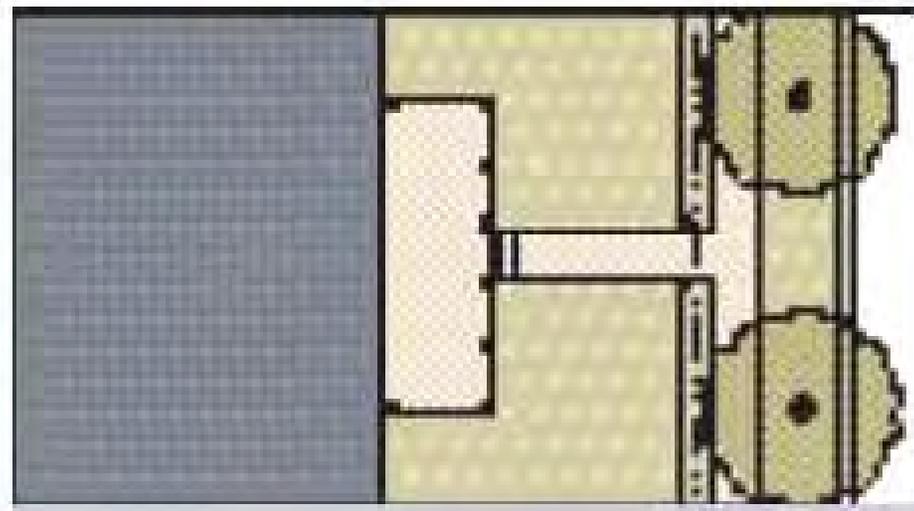
◄ R.O.W.
◄ PUBLIC
FRONTAGE

LOT ►
PRIVATE ►
FRONTAGE

◄ R.O.W.
◄ PUBLIC
FRONTAGE



T3



T3

T4

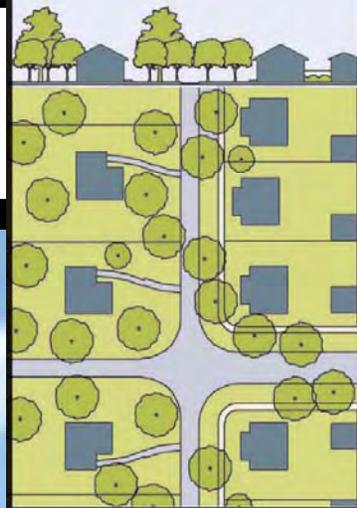
T3 - Example Photos...



T3 SUB-URBAN
ZONE



T3 - Example Photos...



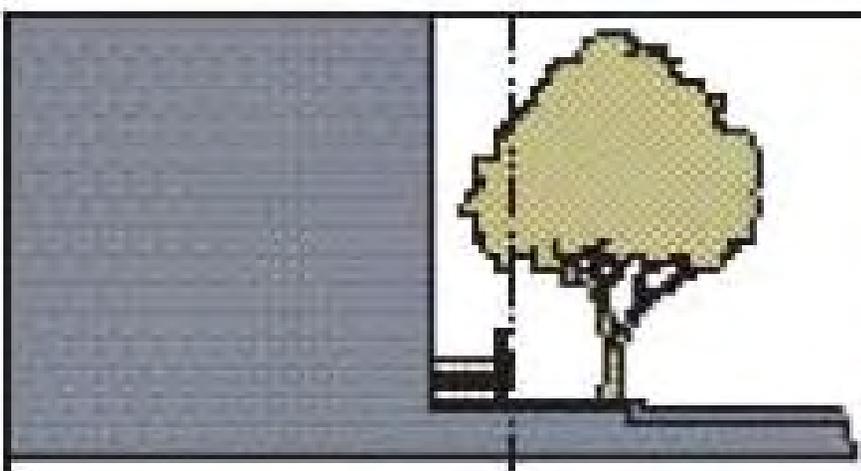
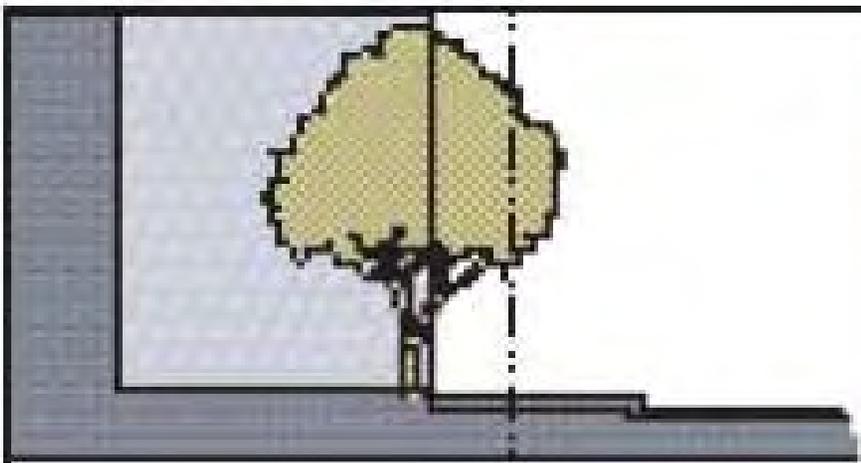
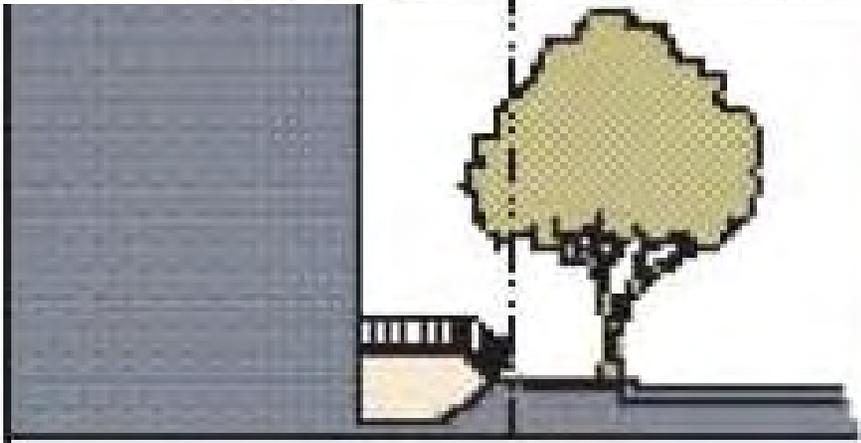
T3 SUB-URBAN
ZONE

T4 General Urban Zone

T4 General Urban - Public/Private...

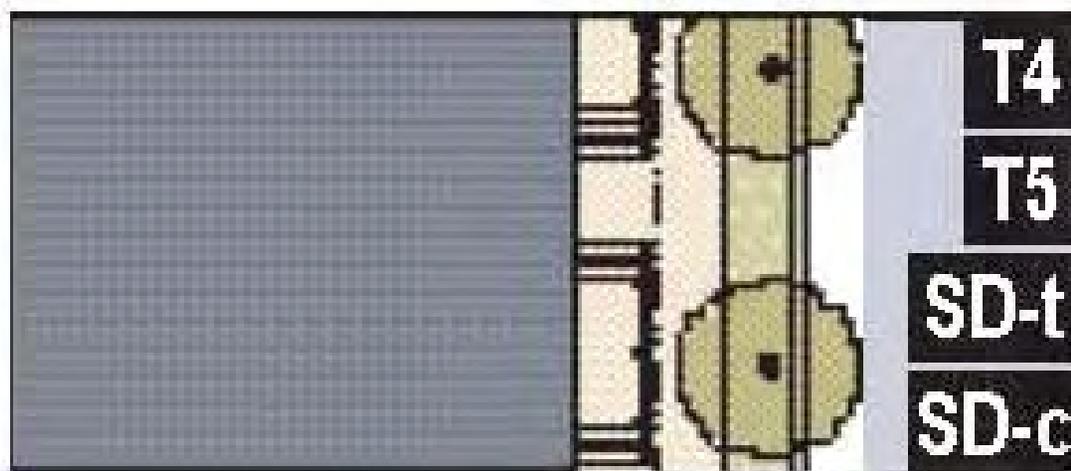
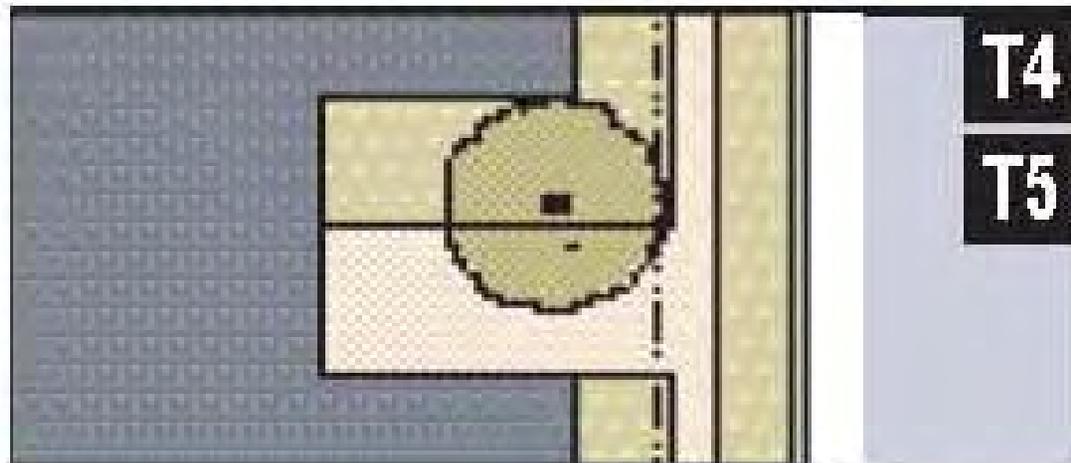
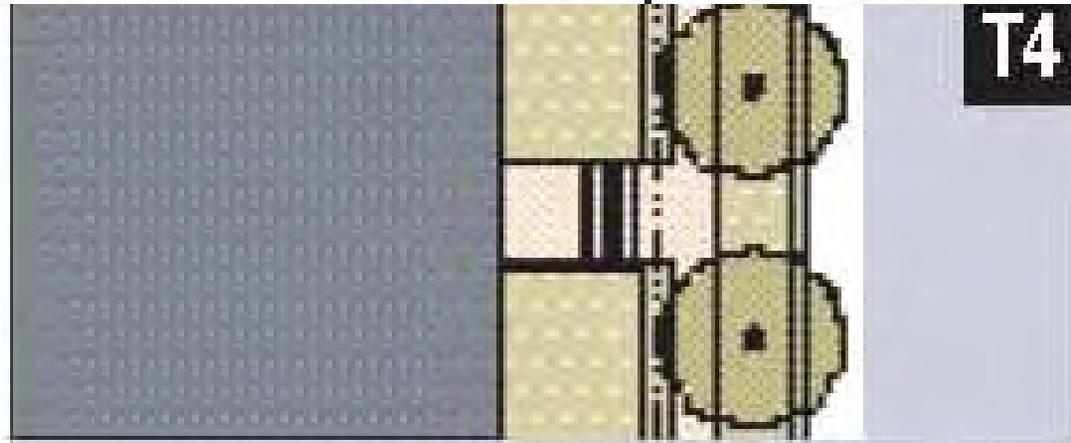
SECTION

LOT PRIVATE FRONTAGE
R.O.W. PUBLIC FRONTAGE

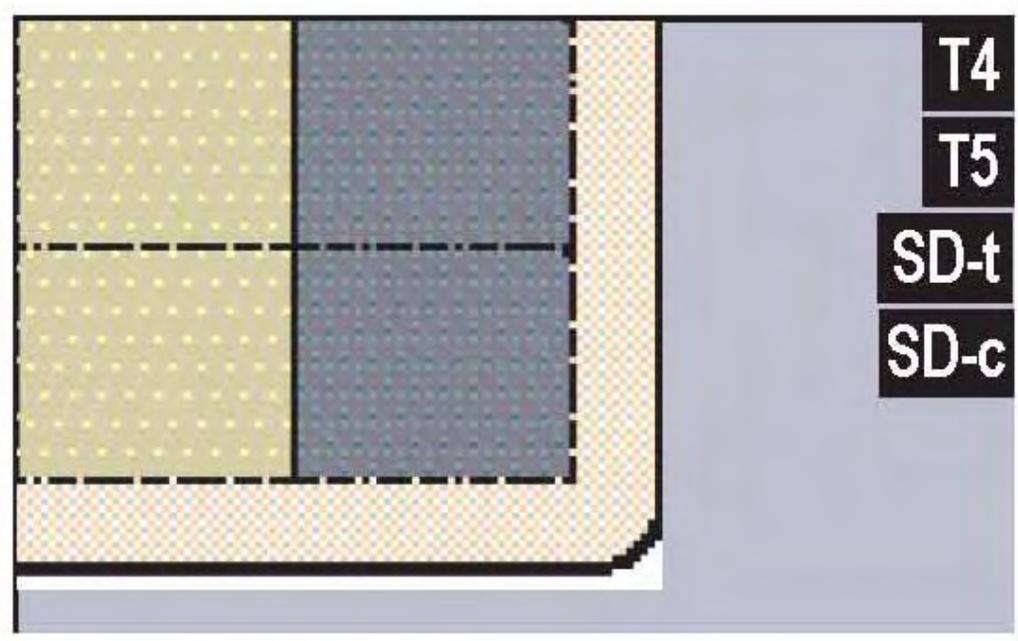
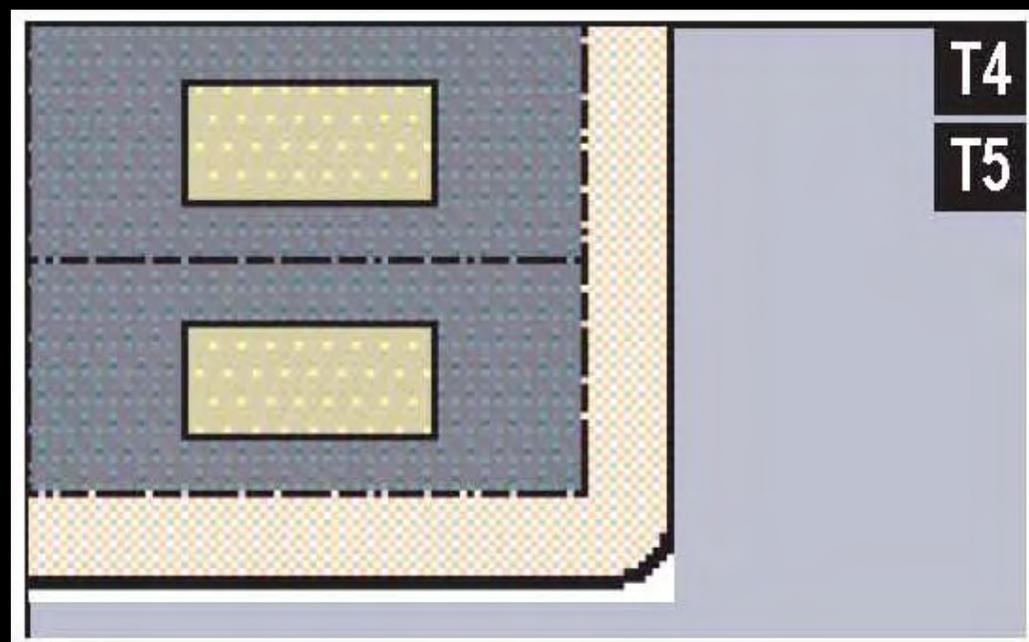
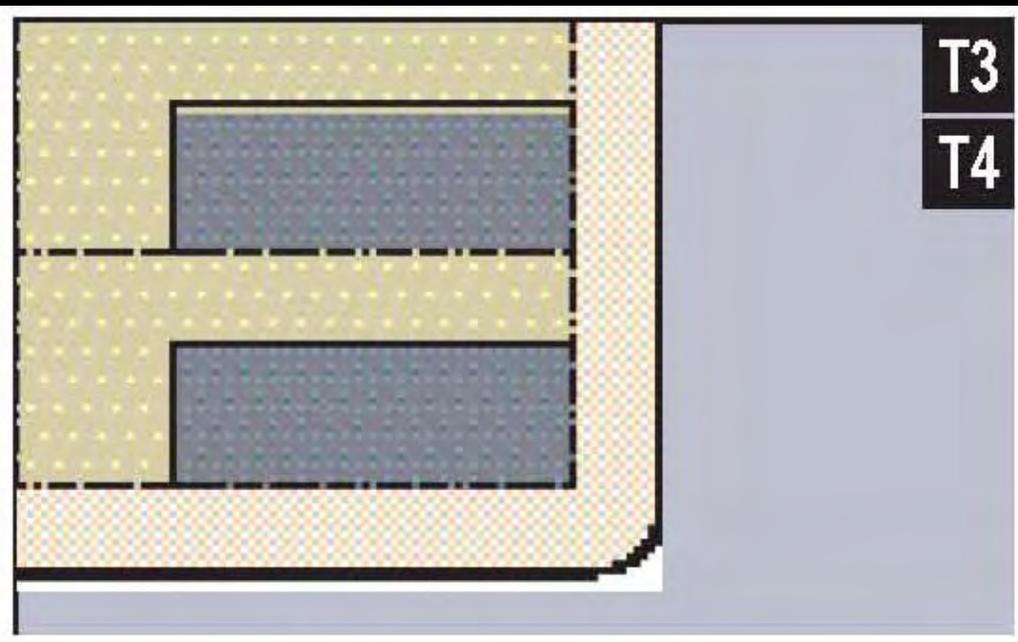


PLAN

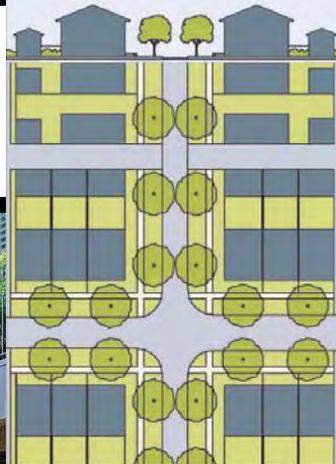
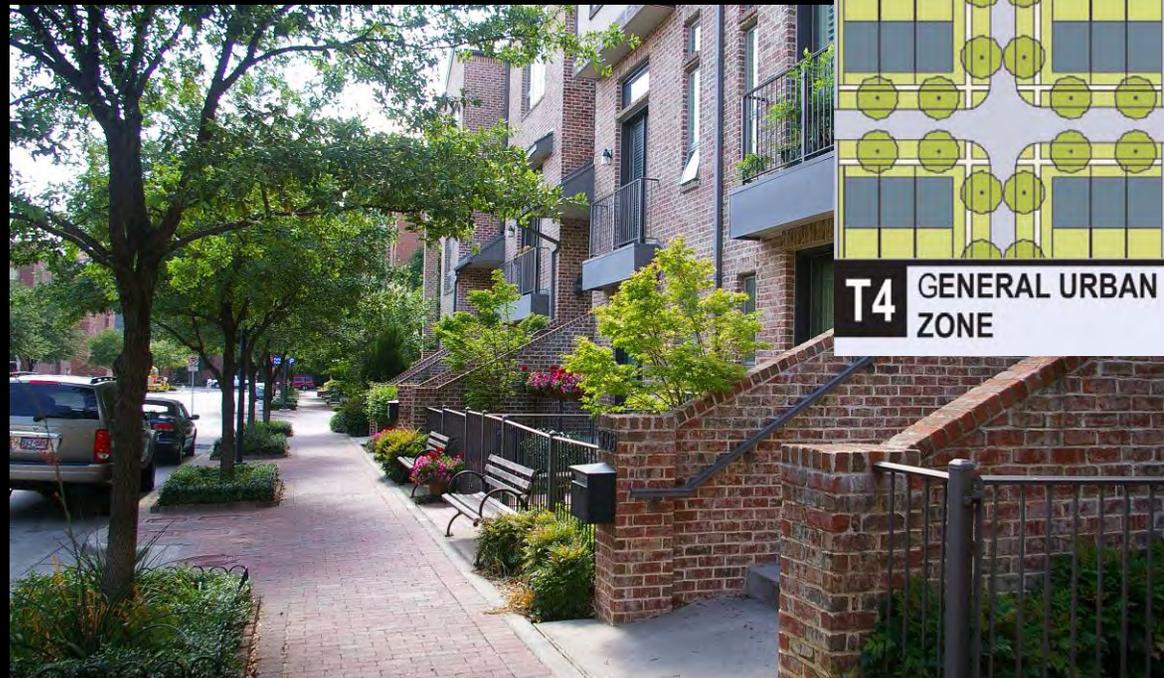
LOT PRIVATE FRONTAGE
R.O.W. PUBLIC FRONTAGE



T4 General Urban - Building Disposition...



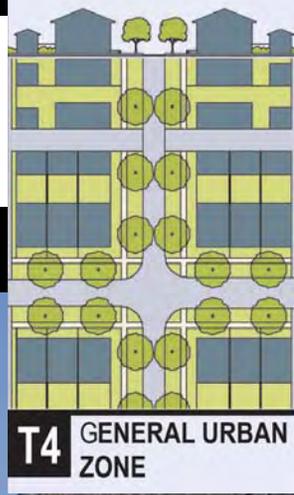
T4 - Example Photos...



T4 GENERAL URBAN ZONE



T4 - Example Photos...

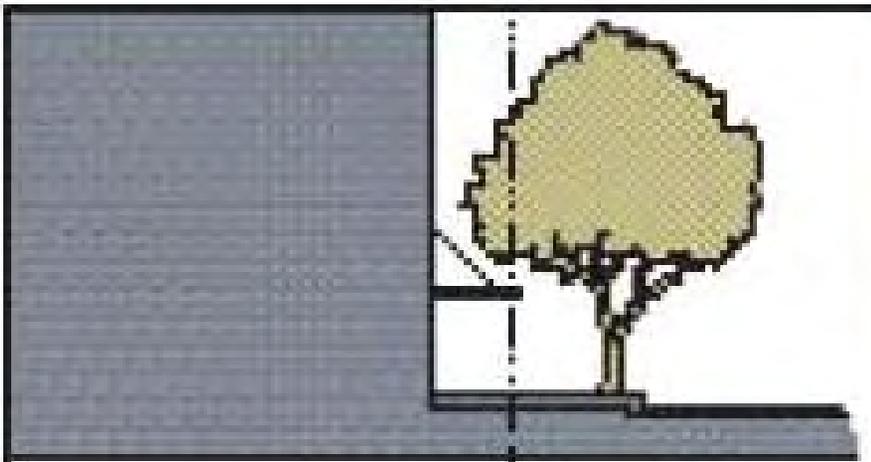
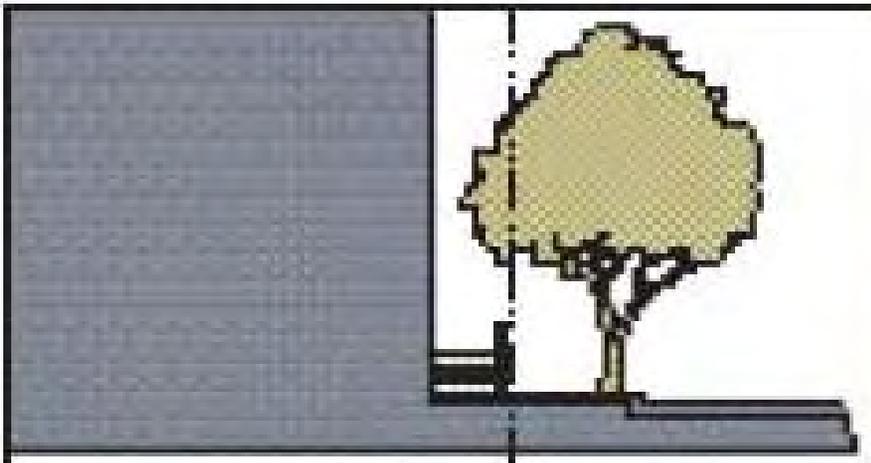
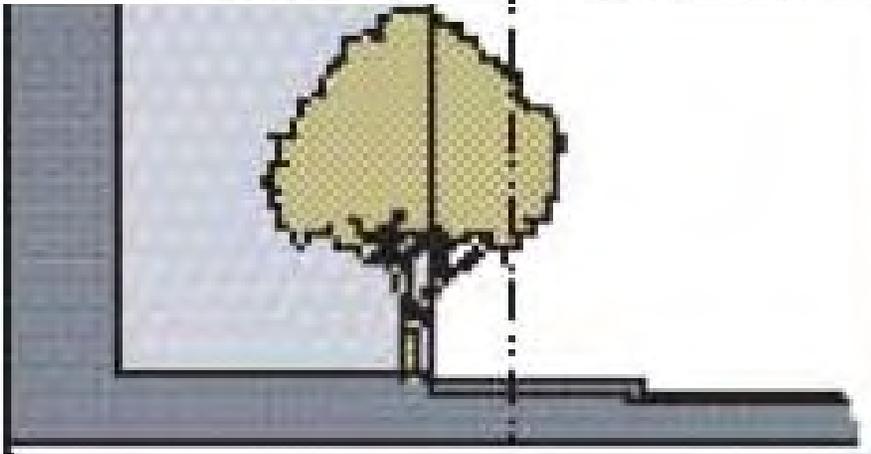


T5 Urban Center Zone

T5 Urban Center - Public/Private...

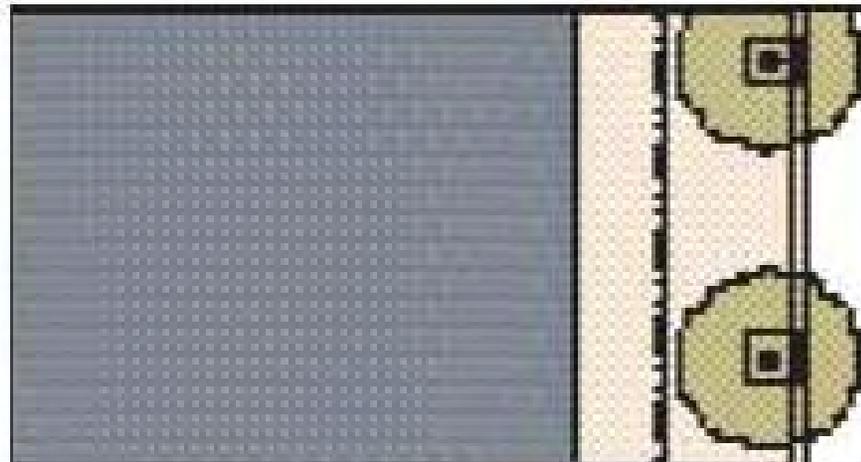
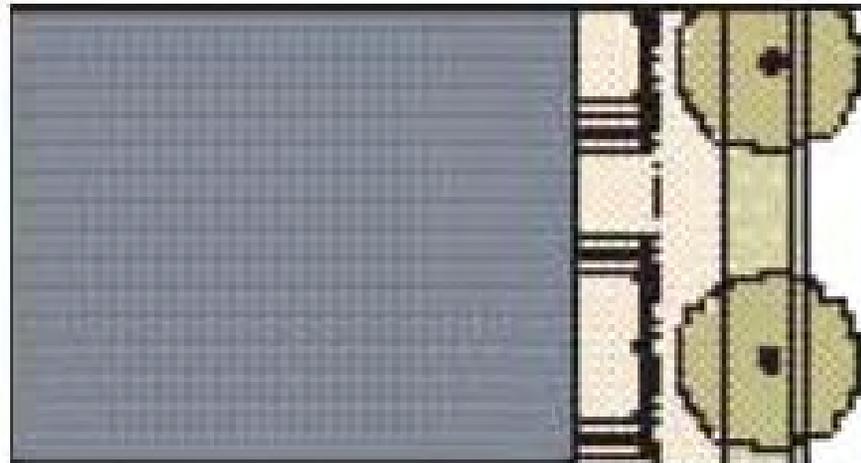
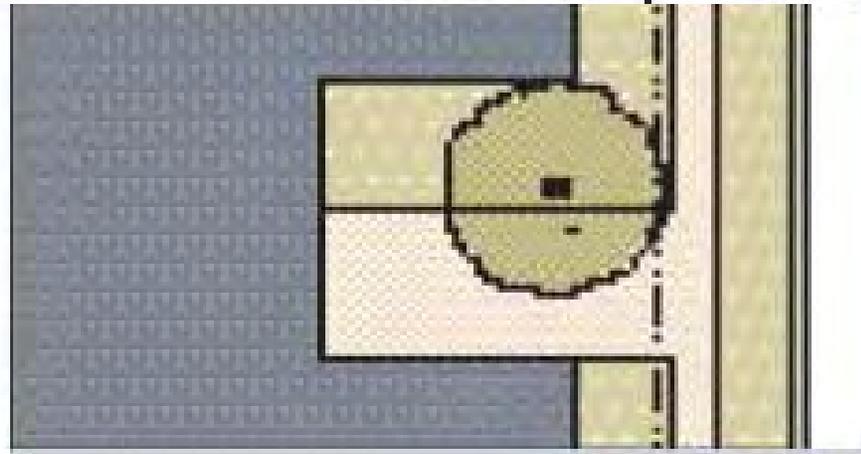
SECTION

LOT PRIVATE FRONTAGE
R.O.W. PUBLIC FRONTAGE



PLAN

LOT PRIVATE FRONTAGE
R.O.W. PUBLIC FRONTAGE



T4

T5

T4

T5

SD-t

SD-c

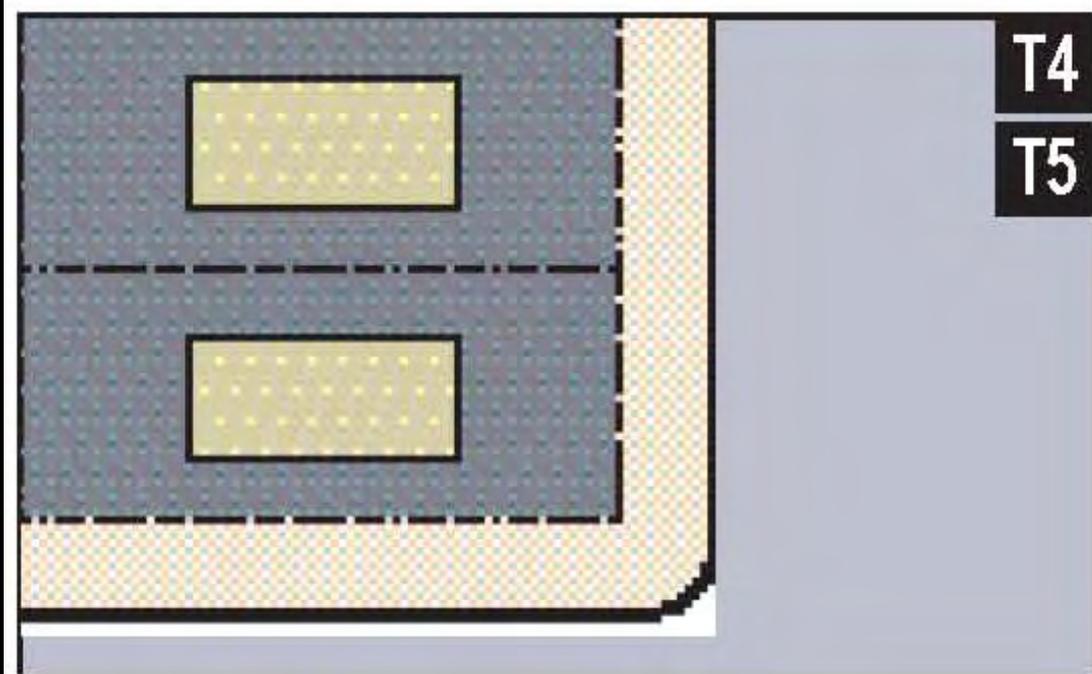
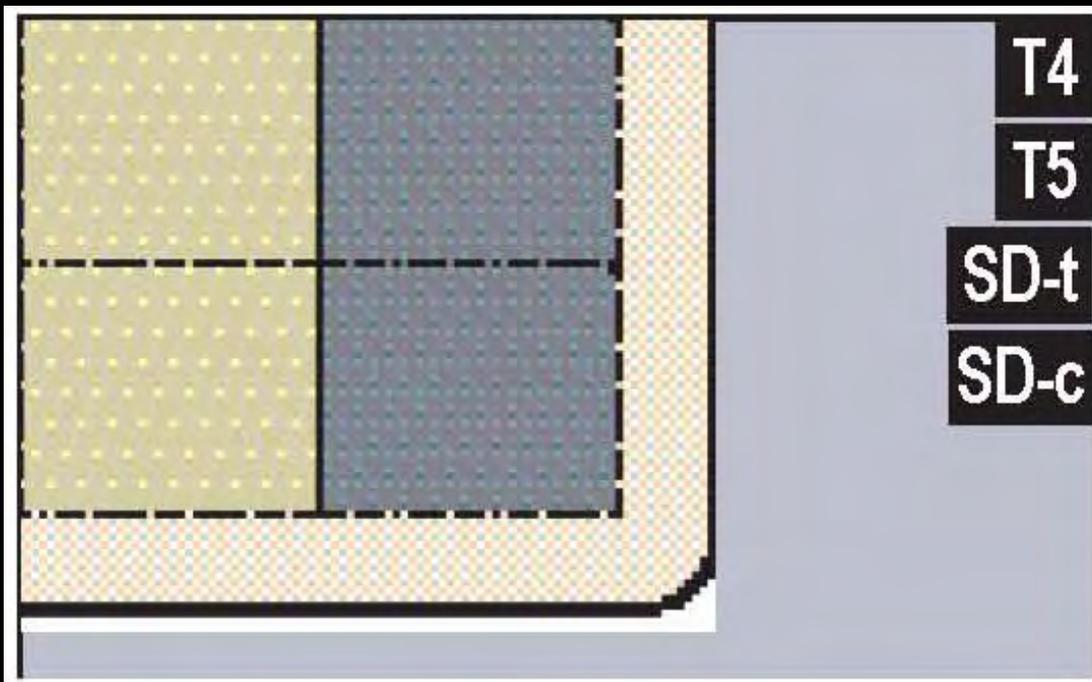
T4

T5

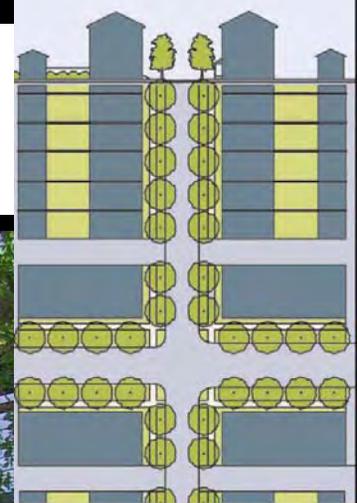
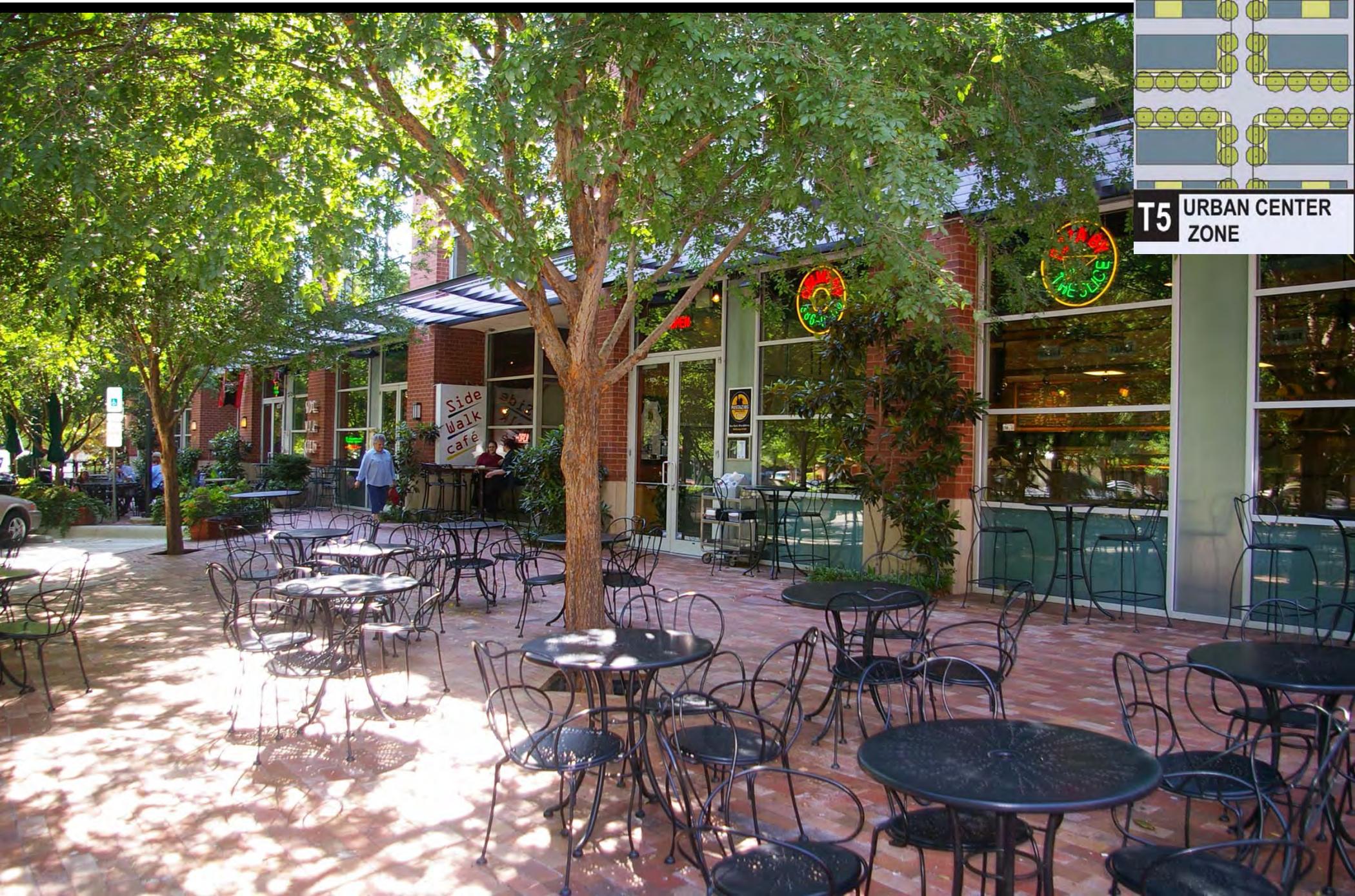
SD-t

SD-c

T5 Urban Center - Building Disposition...

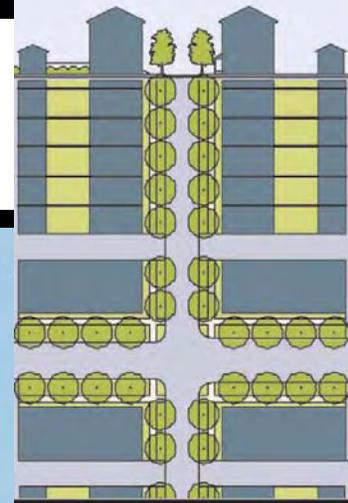


T5 - Example Photos...



T5 URBAN CENTER ZONE

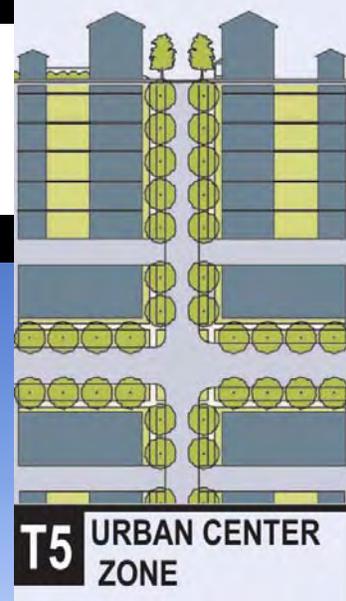
T5 - Example Photos...



T5 URBAN CENTER ZONE



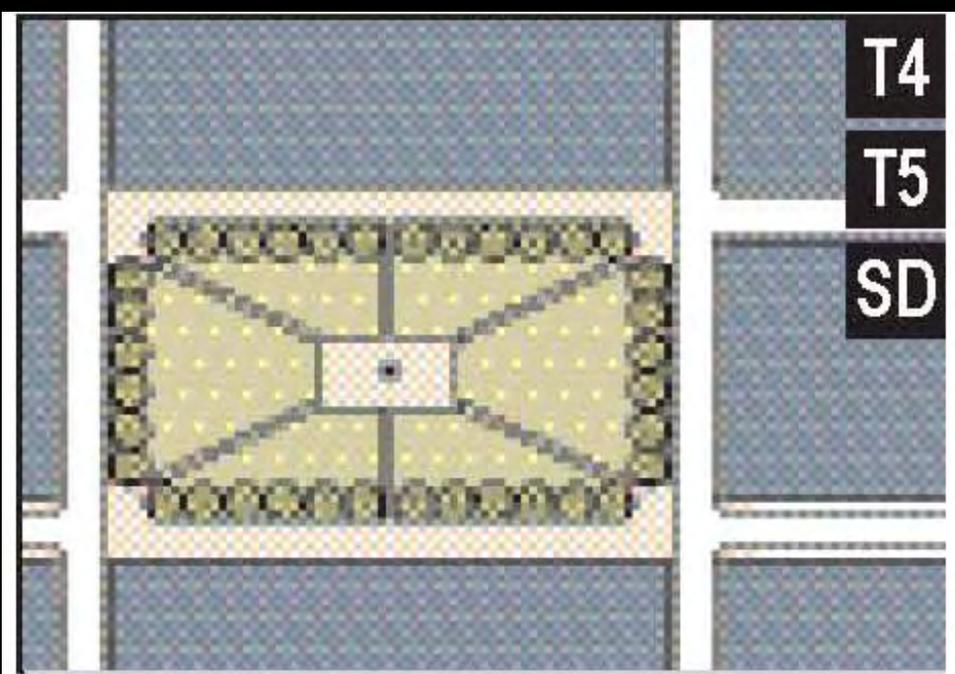
T5 - Example Photos...



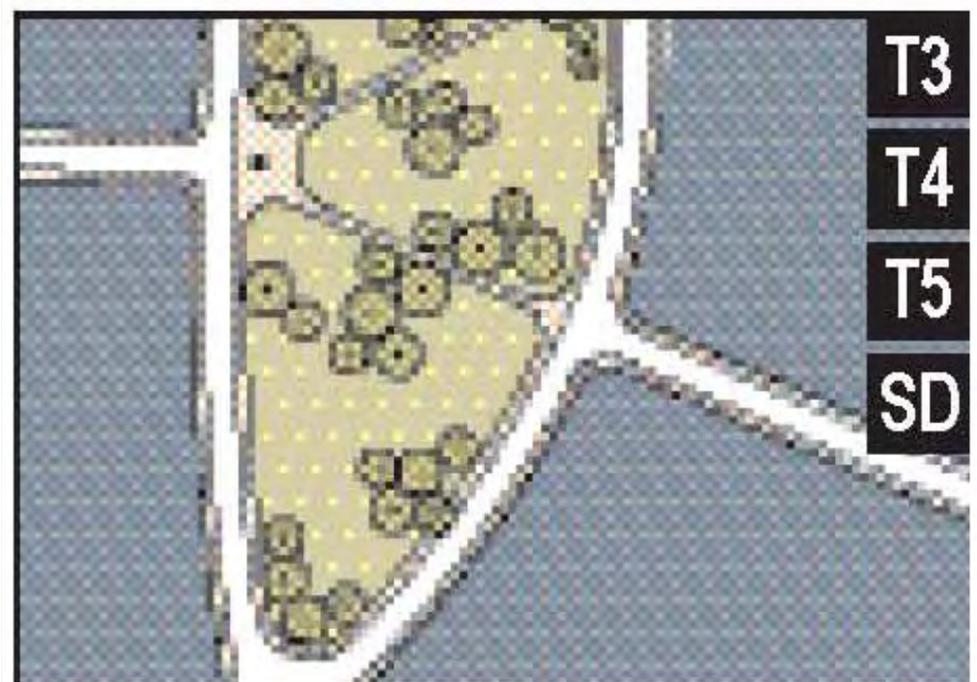
T5 Urban Center - Civic Space...



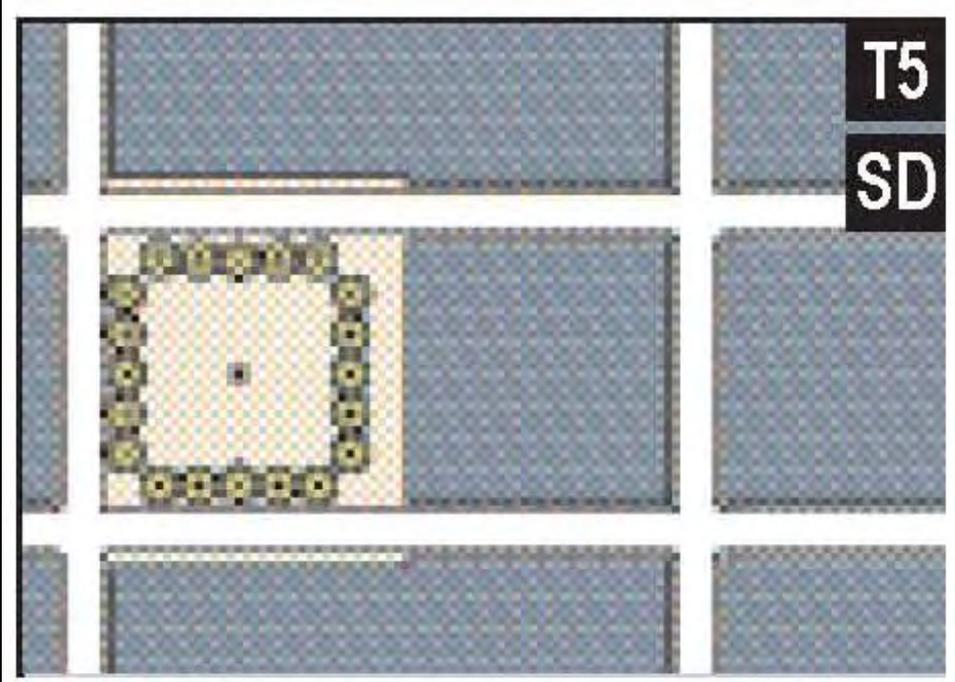
T3
T4
T5



T4
T5
SD



T3
T4
T5
SD



T5
SD

Civic Spaces...



T5 Example - Legacy Town Center...



60 feet 25 m

© 2010 Microsoft Corporation
Pictometry Bird's Eye © 2010 Pictometry International Corp

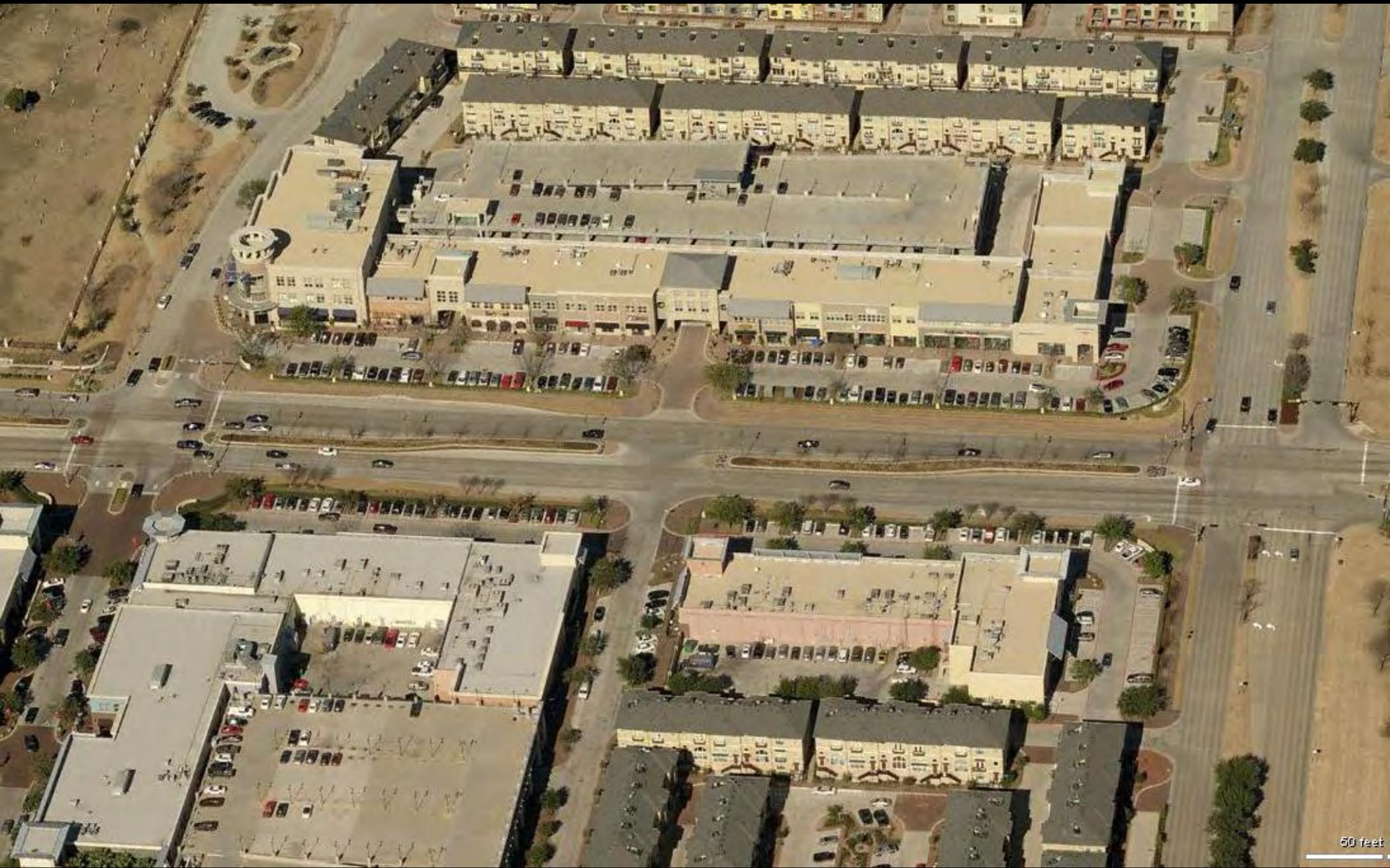
T5 Example - Legacy Town Center...



T5 Example - Legacy Town Center...



T5 Example - Legacy Town Center...



Next Steps...

Next Steps...

- Design informational meeting with Stakeholders (3.24.10)
- Design workshop w/ TMED Coord. Group and City staff (4.08.10)
- Form Based Code Review meeting with Stakeholders (5.05.10)
- Final review of Code to TMED Coord. Group and City staff (5.15.10)
- Present to Planning and Zoning (6.07.10)
- Present to City Council (7.01.10)