

**NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
CITY MUNICIPAL BUILDING, 2 NORTH MAIN STREET
PLANNING CONFERENCE ROOM
MARCH 7, 2016, 5:00 P.M.
WORK SESSION AGENDA**

Staff will present the following items:

1. Discuss, as may be needed, Regular Meeting agenda items for the meeting posted for Monday, March 7, 2016.
2. Receive and discuss the Planning Director's Report containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments (if any) to the Unified Development Code (UDC).

**NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
CITY MUNICIPAL BUILDING, 2 NORTH MAIN STREET
CITY COUNCIL CHAMBERS, 2ND FLOOR
MARCH 7, 2016, 5:30 P.M.
REGULAR MEETING AGENDA**

1. _____ Invocation
2. _____ Pledge of Allegiance

A. CONSENT ITEMS

All items listed under this section, Consent Agenda, are considered to be routine by the Planning & Zoning Commission and may be enacted in one motion. If discussion is desired by the Commission, any item may be removed from the Consent Agenda at the request of any Commissioner and will be considered separately.

Item 1: [Approval of Minutes](#): Work session and the regular meeting of February 16, 2016.

B. ACTION ITEMS

Item 2: [Z-FY-16-10](#) – Hold a public hearing to consider and recommend action on a rezoning from Commercial (C) District to Planned Development Commercial (PD-C) District to allow for uses permitted in the base zoning district (Commercial) but prohibited under the I-35 Overlay District and for an appeal of landscaping and architectural requirements imposed by the I-35 Overlay District under the Unified Development Code (UDC) Section 6.7 located within the Walker Saulsbury Commercial Phase III, Block 002, Lot Pt 1, (1, less W. 30.46' x 17.76' x 254.48' x 17.65' x 29.80' x 280.23'), 3.643 acres, Block 001, Lot 0002, 1.241 acres and A0550BC C. S. Masters, OB 553, acres 3.204 (1701 Jack White Street and 615 N. General Bruce and 1702 Bray Street).

Item 3: [Z-FY-16-16](#) -- Hold a public hearing to discuss and recommend action on a rezoning from Agriculture (AG) district to Single Family One (SF-1) district, on 5.888 +/- acres, situated in the Mary Cherry Survey, Abstract No. 175, Bell County, Texas, located at 4516 Hickory Road.

- Item 4:** [TMED-FY-16-01](#) – Hold a public hearing to consider and recommend action to amend Ordinance No. 2014-4689, for a Temple Medical Education District (TMED) Planned Development District site plan on 1.27 acres +/-, Lot 1, Block 1, Shoppes on the Hill Subdivision, to allow for a drive-through restaurant, located at 2304 South 31st Street.
- Item 5:** [P-FY-16-14](#) – Consider and take action on the Final Plat of Cedar Cove Replat, a 4.895 +/- acres, 2 Lot, 1 Block, residential subdivision, being a replat of Lot 2, Block 1, Cedar Cove Subdivision, with a requested exception to Unified Development Code Section 8.2.1.C: Right-of-Way and Pavement Dimensional Standards to allow a reduced right-of-way dedication, located in Temple's western ETJ north of Cedar Cove Road, south of Westcliff Road, and west of Fullview First Street.
- Item 6:** [P-FY-16-21](#) – Consider and take action on the Final Plat of Lake Pointe Phase III, 67.69 +/- acres, 300-lot, 11-block residential subdivision, situated in, and being out of the Baldwin Robertson Survey, Abstract No. 17, Bell County, Texas, located east of Lake Pointe Subdivision Phases II and II-A-2, west of the intersection of N. Pea Ridge and Prairie View Road.

SPECIAL ACCOMMODATIONS: Persons with disabilities who have special communication or accommodation needs and desire to attend the Planning Commission Meeting should notify the City Secretary's Office by mail or telephone 48 hours prior to the meeting date. Agendas are posted on Internet Website <http://www.templetx.gov>. Please contact the City Secretary's Office at 254-298-5700 for further information.

The agenda for this meeting was posted on the bulletin board at the Municipal Building in compliance with the Open Meetings Law at 12:30 PM on Thursday, March 3, 2016.



Lacy Borgeson
City Secretary

I certify that this Notice of Meeting Agenda was removed by me from the outside bulletin board in Front of the City Municipal Building at _____ on the _____ day of _____ 2016.

_____ Title: _____

**PLANNING AND ZONING COMMISSION
FEBRUARY 16, 2016
5:30 P.M.**

PLANNING AND ZONING MEMBERS PRESENT
Chair David Jones

COMMISSIONERS:

Lydia Alaniz	Tanya Mikeska-Reed
Blake Pitts	Will Sears
Omar Crisp	Lester Fettig

PLANNING AND ZONING MEMBERS ABSENT:

Patrick Johnson	Greg Rhoads
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STAFF PRESENT:

Brian Chandler, Director of Planning
Trudi Dill, Deputy City Attorney
Richard Wilson, Deputy City Engineer
Mark Baker, Senior Planner
Dessie Redmond, Planner
Leslie Evans, Planning Technician
Kelli Tibbit, Administrative Assistant

The agenda for this meeting was posted on the bulletin board at the Municipal Building, February 11, 2016 at 4:30 p.m. in compliance with the Open Meetings Law.

The following is a summary of the proceedings of this meeting. It is not intended to be a verbatim translation.

Chair Jones called Meeting to Order at 5:34 P.M.

Invocation by Chair Jones; Pledge of Allegiance by Commissioner Sears.

A. CONSENT ITEMS

Item 1: Approval of Minutes: Work session and the regular meeting of February 1, 2016.

Approved by general consent.

B. ACTION ITEMS

Item 2: Z-FY-16-14 – Hold a public hearing to discuss and recommend action on a rezoning from Agricultural (AG) to General Retail (GR) on 3.00 +/- acres of land, situated in the

Baldwin Robertson Survey, Abstract 17, Bell County, Texas, located at 9151 State Highway 317.

Mr. Mark Baker, Senior Planner, stated this item was scheduled to go forward to City Council for first reading on March 17, 2016 and second reading on April 7, 2016.

The subject property is bordered by State Highway 317 to the west and Prairie View Road to the south. The three acres contain two separately conveyed lots proposed for General Retail (GR) zoning. A companion final plat one-lot, one block subdivision was recently reviewed by the Development Review Committee (DRC) on February 4, 2016 and approval is pending.

State Highway 317 is developing for retail and service uses and GR zoning lies to the south and north. The request is in compliance with the zoning map.

The Future Land Use and Character Map designate the property as Suburban Commercial which is typically for office, retail, and/or service uses and supports the request for GR zoning. The request is in compliance with the Future Land Use and Character Map.

Both water and sewer are available to serve the subject property with a two-inch along State Highway 317 or a six-inch along Prairie View Road. There is a 10-inch sewer line located along State Highway 317 and the request is in compliance.

The Thoroughfare Plan designates State Highway 317 as a major thoroughfare and anticipated for a TxDOT widening project for Spring 2016. Prairie View Road is an arterial and proposed for realignment to the north of the subject property. The realignment is a funded Temple Capital Improvement Project (TCIP) slated for Spring 2017. The remaining section of Prairie View Road has been classified as a local street. Discussion is ongoing about the ultimate use of this section.

A six-foot wide minimum community-wide connector trail in State Highway 317 is proposed and is not part of the scope for the TxDOT widening project. It would be the developer/owner responsibility.

Surrounding properties include scattered retail and service Uses (zoned Agricultural (AG) and GR) to the north, undeveloped (AG) property and scattered residences (AG) to the west and east, and single family residential uses (Lake Pointe Phases I and II, zoned AG, GR and Single Family-Two (SF-2)) and an existing equipment rental store (AG) to the south.

Several GR allowed and prohibited uses, residential versus non-residential, are cited along with proposed development standards (non-residential).

In accordance with state law and local ordinance, nine notices were mailed out with two notices returned in favor and zero notices in opposition.

The request is in compliance with the Future Land Use and Character Map, the Thoroughfare Plan, is compatible with surrounding uses and zoning, and public facilities are available to serve the property.

Staff recommends approval of the request for a rezoning from AG to GR.

Chair Jones opened the public hearing.

There being no speakers, the public hearing was closed.

Commissioner Sears made a motion to approve Item 2, **Z-FY-16-14**, as presented, and Commissioner Fettig made a second.

Motion passed: (7:0)

Vice-Chair Johnson and Commissioner Rhoads absent

There being no further business, the meeting was adjourned at 5:45 p.m.

Respectfully submitted,
Leslie Evans

**PLANNING AND ZONING COMMISSION
TUESDAY, FEBRUARY 16, 2016
4:45 P.M.
WORK SESSION**

PLANNING AND ZONING MEMBERS PRESENT

Chair David Jones

COMMISSIONERS:

Lydia Alaniz
Blake Pitts
Omar Crisp

Tanya Mikeska-Reed
Will Sears
Lester Fettig

PLANNING AND ZONING MEMBERS ABSENT:

Greg Rhoads

Patrick Johnson

STAFF PRESENT:

Brian Chandler, Director of Planning
Trudi Dill, Deputy City Attorney
Don Bond, City Engineer
Richard Wilson, Deputy City Engineer
Mark Baker, Senior Planner
Dessie Redmond, Planner
Leslie Evans, Planning Technician

The agenda for this meeting was posted on the bulletin board at the Municipal Building in compliance with the Open Meetings Law.

The following is a summary of the proceedings of this meeting. It is not intended to be a verbatim translation.

With a quorum present, Chair Jones opened the work session at 4:45 p.m. and asked Mr. Brian Chandler, Director of Planning, to proceed.

Mr. Chandler stated a copy of Ordinance No. 2008-4222, regarding P&Z meeting procedures, was available for the Commissioners and Staff and he would be presenting a short overview shortly.

The last P&Z meeting raised questions regarding the State Highway 317 and Prairie View Road alignment projects, which is also in context with the zoning case on the meeting agenda tonight located at SH 317 and Prairie View.

Mr. Chandler stated Don Bond, City Engineer, and Richard Wilson, Deputy City Engineer, were in attendance to answer any questions.

Regarding SH 317 and whether a sidewalk would be incorporated within the scope of the project from Adams up to Airport, the answer is no. However, several plats will be shown for what is platted and what is not to ensure a sidewalk is at least shown as a note. Once developed, the City would need to rely on private development to provide the sidewalk, for the most part.

The proposed Prairie View alignment from SH 317 up to Airport contain no plats. There have been zoning cases in the same area but no platting has occurred. Upon development the sidewalk would need to be provided.

Amy's Attic did provide the sidewalk on their side for both phases and was not reimbursed since it was a commercial project.

Lake Pointe has not developed the westernmost section of their subdivision (just east of 317) and Ms. Dessie Redmond, Planner, is currently working on Phase III. Lake Pointe would need to provide a sidewalk and the City's Code would reimburse them for the full amount of the sidewalk since it would be located adjacent to a single family development.

Brief discussion regarding zoning designations along a portion of SH 317 frontage.

The scope of SH 317 project is to provide a continuous turn lane, some culvert work, and widening the shoulder. Mr. Chandler stated the proposed completion date was scheduled for the Fall of 2016.

Mr. Chandler explained a future proposed collector is slated to run from SH 317, just south of Lake Pointe Subdivisions, eastward toward North Pea Ridge Road. The proposed alignment would determine right-of-way dedication at the platting process. Since it is a collector, it would likely be built by private development and not the City.

Prairie View, Phase I, is scheduled to be completed this summer.

Phase II just received a grant for the area west of Pea Ridge to FM 2483.

Mr. Richard Wilson, Deputy City Engineer, stated the section from Westfield west to Pea Ridge has been delayed due to waiting for franchise utilities to move. Same situation is occurring around Walmart. July is the estimated completion date for Phase I. According to Mr. Bond, the planned alignment is Westfield will continue north to 36.

Prairie View will have an eight-foot sidewalk on the north side, a 10-foot shared use path on the south side, bike lanes, landscaped median, and landscaping outside of the paths and trails. \$3.8 million for the grant will be going towards this project. Proposed completion date is March 2018.

One of the main objectives was to eliminate the two intersections at 317 where Prairie View currently ends at FM 2483 into a single signalized intersection.

Mr. Bond explained the widening of North Pea Ridge Road is a future project that is not on the immediate outlook.

Mr. Chandler added that with the current and projected growth of Temple, one of the biggest challenges is to keep up with the Capital Improvement needs the City faces.

Ms. Trudi Dill, Deputy City Attorney, stated several questions were raised after last meeting about parliamentary procedures, basically the difference between modifying and amending a motion.

P&Z procedures start with the state statutes. Open Meetings have to be posted before the meeting occurs and the agenda needs to be adhered to. In the Local Government Codes, the City is required to follow the zoning chapter, the subdivision chapter, and the comprehensive plan chapter

P&Z also has the local ordinances:

The City Charter Sec. 3.26, provides for the P&Z;

Council has a Resolution that establishes the board, Res. No. 2004-4025-R, City Boards;

Unified Development Code (UDC); and

Ordinance No. 2008-4222, P&ZC

Basic Meeting Procedures:

The quorum is five members, including chairperson;

The Chair may discuss and vote on all motions;

The Chair may not make or second motions;

A simple majority vote determines recommendation; and

A roll call vote is required for action items (not on minutes or procedural items).

There are some important differences between a standard parliamentary procedures and P&Z:

On a rezoning request you need a majority vote to approve or deny;

If P&Z recommends denial, it changes the vote at Council to a supermajority; and

A tie vote will not pass a recommendation either way and the item still goes to Council.

A plat approval is different. It is from the Local Government Code and the plat is considered approved unless it is disapproved within 30 days after the date plat is filed (administratively complete).

It takes a majority vote to disapprove a plat.

If the plat is not reviewed and determined on time, or if there is no vote (motion fails, no second), or an even number of members present with a tie vote, that will not disapprove a plat and the plat may be approved by default.

Mr. Chandler added what the Code defines as administratively complete. The DRC determines administrative completeness. It typically may take more than 30 days for a plat to be submitted before it goes to P&Z. The clock really starts ticking when DRC has gone through the process with the applicant to address everything from engineering to legal.

If P&Z is the final plat authority (not going to City Council), and there is a no vote or a tie vote and time runs out to do something different, that plat may be deemed approved by law, even though it did not get a majority vote approving it. There is only one way to disapprove a plat and that is a majority disapprove.

Certain Residential Replats:

If during preceding five years, any area to be replatted was limited by zoning to residential use for not greater than two residential units per lot;

Or if any lot in preceding plat was limited by deed restrictions to residential use for not greater than two residential units per lot;

And replat requires a variance;

And written, timely protest is received for 20 percent of land within 200 feet in same subdivision; and

Approval requires affirmative vote of $\frac{3}{4}$ of P&Z members present (supermajority).

Form of Motions:

“I move to ...”

“I second the motion.”

A motion fails without a second by another member;

A main motion may not be made while a motion is pending;

Calling for a “point of order” is a member’s immediate request for Chair to decide if there is a second to a motion.

Public Hearing and Discussion:

Chair conducts the public hearing, if any, before inviting discussion;

Chair opens floor to discussion by members;

Chair has discretion to re-open a closed public hearing.

Severance:

Ms. Dill stated it was possible to have parts of an item severed at the beginning of a motion on the request of a member. After a vote on a portion of the item, the severed item is still linked to the main item and is voted on together.

Discussion about severance process.

Modification of Motion:

“I wish to modify my motion ...”

Chair may rule a motion out of order if the motion is contrary to procedures or not clear;

Chair states the motion after discussion;

Before Chair states the motion, the mover may withdraw or modify the motion without permission; and

After Chair states the motion, the mover may not withdraw or modify the motion without consent of a majority.

Amendments:

“I move to amend the motion by ...”

A motion to amend a motion must pertain to the main motion;
 An amendment requires a second and approval by majority vote;
 A motion to amend may be amended;
 A motion to amend an amendment may not be amended.

Procedure for Certain Motions:

See chart (below) listing certain motions in order of precedence:
 A motion may be made if it is higher on the chart than the pending motion;
 Under P&ZC procedure, most of these motions require a second;
 Some may not be amended; and
 All require approval by majority vote.

Order of Motion	Second?	Debatable?	Amendable?
1. To adjourn	Yes	No	No
2. To take a recess	Yes	No	Yes
3. To amend	Yes	Yes	Yes
4. To amend an amendment	Yes	Yes	No
5. To postpone indefinitely	Yes	Yes	No
6. To table	Yes	Yes	No
7. Putting or calling the question	No	No	No

Discussion about motions.

Due to time constraints Chair Jones closed the meeting at 5:30 P.M.



PLANNING AND ZONING COMMISSION AGENDA ITEM

03/7/16
Item 2

APPLICANT: A. Lloyd Thomas (Aldrich-Thomas Group, Inc.) representing property owner, Harry Adams (JJA Properties, LP)

CASE MANAGER: Brian Chandler, Director of Planning

ITEM DESCRIPTION: Z-FY-16-10 – Hold a public hearing to consider and recommend action on a rezoning from Commercial (C) District to Planned Development Commercial (PD-C) District to allow for uses permitted in the base zoning district (Commercial) but prohibited under the I-35 Overlay District and for an appeal of landscaping and architectural requirements imposed by the I-35 Overlay District under the Unified Development Code (UDC) Section 6.7 located at 1701 Jack White Street, 615 N. General Bruce Drive and 1702 Bray Street.

The applicant has requested a Planned Development District rezoning that would allow for the following uses by right on the different properties addressed above, which are uses currently either prohibited or require a Conditional Use Permit (CUP) within the Freeway Retail/Commercial sub-district of the I-35 Corridor Overlay within which 1701 Jack White and 1702 Bray Street are located and 615 N. General Bruce is located in the Overlay if it is developed used, managed, or marketed as a group that includes a tract of land within the Overlay:

1. Multiple-family dwelling (apartment)
2. Auto storage or auto auction
3. Boat sales, repair and storage of retail inventory
4. Building material sales
5. Childcare facility
6. Contractor storage and equipment yard
7. Greenhouse or nursery (retail)
8. Heavy machinery sales, leasing, repair and storage of retail and rental inventory
9. Major vehicle repair
10. Minor vehicle servicing

The request also includes an appeal to the following Freeway Retail/Commercial sub-district standards within the I-35 Corridor Overlay for all three addresses:

1. Overall percentage of site landscaping (15% required)
2. Front landscape buffer
3. Rear landscape buffer
4. Side landscape buffer (interior and street sides)

5. Landscape buffers adjacent to public right-of-way
6. Exterior appearance of buildings and structures (Sec. 6.7.9.D.)

ADDITIONAL BACKGROUND: Staff has met with the applicant and his representatives multiple times to discuss rezoning the property to Planned Development District, the result of which included staff agreeing to support the following objectives of the property owner:

- Provide additional flexibility in the land uses permitted to allow additional types of large machinery retailers to occupy the existing facilities and, thereby, generate additional sales tax
- Require additional screening or ornamental fencing for uses with outdoor storage of inventory
- Allow for interior renovation work and basic exterior “facelift” maintenance and improvements within the existing facilities without triggering other I-35 Corridor Overlay standards

The rezoning application also included a request to allow for the aforementioned uses and to exempt future development on the undeveloped properties owned by JJA Properties (1702 Bray Street and the rear half of 1701 Jack White Street). Staff has presented concepts related to future I-35 Corridor Overlay amendments to both Planning and Zoning Commission and City Council that intends to provide some of the additional flexibility sought by the property owner and applicant.

In addition, the applicant has sought relief from the landscaping and architectural standards for the I-35 Corridor Overlay with the understood intent to allow additional site flexibility for the kinds of businesses that such requirements are, not only an impediment to the use, but where they may not be economically feasible. However, the applicant has omitted a number of different I-35 Corridor Overlay standards that could potentially have at least as great of an impact on their site flexibility and economic feasibility, such as:

1. Vegetative screening of parking
2. Landscaped parking islands
3. Screening of vehicle bay door and loading docks
4. Foundation plantings adjacent to any façade visible to the public
5. Sidewalks required along N. 31st Street
6. Lighting: maximum allowable total lumens generated on each parcel are 80,000 lumens per net acre with full cutoff lighting

As a result, even if the list of exceptions were granted, there is no guarantee that future development would not require an appeal to other standards. Therein lies the biggest challenge of trying to anticipate the type of development that may occur at these locations and granting exceptions that provide the owner with the flexibility he desires while also meeting the intent of I-35 Corridor Overlay standards to beautify this important corridor in a way that is implementable and enforceable.

1701 Jack White Street

- Recently occupied by a new car dealership tenant called “Simple Car”
- Building was painted
- Rear half of the lot facing Temple High School along N. 31st Street is undeveloped

615 N. General Bruce Drive

- Previously used as service center for the Johnson Bros. pre-owned car lot at 1701 Jack White Street

- Appears to be currently utilized by Simple Car
- If not managed or operated by a business fronting I-35, the lot is considered to be located outside of the I-35 Corridor Overlay
 - Automotive service uses (both minor and major) are allowed by right in the C (Commercial) base zoning district

1702 Bray Street

- Undeveloped
- Unplatted – development of parcel would trigger subdivision platting process

SURROUNDING PROPERTY AND USES:

The following table provides the direction from the property, Future Land Use Plan (FLUP) designation, existing zoning and current land uses:

<u>Direction</u>	<u>FLUP</u>	<u>Zoning</u>	<u>Current Land Use</u>
Site	Auto-Urban Commercial	C	Car dealership (most recently)
North	Auto-Urban Commercial	LI	Plumber fixtures retail
South	Auto-Urban Commercial	GR	Vacant car dealership
East	Public Institutional	C	Temple HS & ministry facility
West	Auto-Urban Commercial	GR and C	Restaurant and hotel

COMPREHENSIVE PLAN COMPLIANCE:

The proposed rezoning relates to the following goals, objectives or maps of the Comprehensive Plan:

CP	Map	Compliance
CP	Map 3.1 - Future Land Use and Character (FLUP)	Yes
CP	Map 5.2 - Thoroughfare Plan	Yes
CP	Goal 4.1 - Growth and development patterns should be consistent with the City's infrastructure and public service capacities	Yes

CP = Comprehensive Plan

Future Land Use Map (CP Map 3.1)

The entire area is shown as Auto-Urban Commercial. According to the Comprehensive Plan, “Auto-Urban Commercial” is for the majority of the areas identified for commercial use, generally concentrated at intersections versus strip development along the major roads.”

Thoroughfare Plan (CP Map 5.2)

The site is located along an Expressway (IH-35), while N. 31st Street is considered a Minor Arterial.

Availability of Public Facilities (CP Goal 4.1)

6”, 8” and 12” water lines, as well as 18”, 24” and 30” sewer lines are available to serve the property.

PUBLIC NOTICE: Nine notices of the public hearing were sent out to property owners within 200-feet of the subject property as required by State law and City Ordinance. As of Thursday March 3, 2016 at 12:00 pm zero (0) notices had been returned.

The newspaper printed notice of the Planning and Zoning Commission public hearing on February 25, 2016, in accordance with state law and local ordinance.

STAFF RECOMMENDATION: Staff recommends approval of the following aspects of the request that is consistent with the objective to provide the property owner additional flexibility to attract an additional pool of good tenants, while also meeting the overall objective to beautify the I-35 Corridor without compromising the ability to do so in the future:

1. Allow the following uses at 1701 Jack White Street, 1702 Bray Street and 615 N. General Bruce Drive by right:
 - a. Multiple-family dwelling (apartment)
 - b. Child care facility
 - c. Minor vehicle servicing (occurs inside the building by definition)
2. Allow the following uses at 1701 Jack White Street and 615 N. General Bruce Drive in the existing buildings with some form of screening or buffering in the form of vegetative screening, a masonry wall or an ornamental metal fence with low profile shrubs (similar to Asco in Belton, TX):
 - a. Boat sales, repair and storage of retail inventory
 - b. Building material sales
 - c. Contractor storage and equipment yard
 - d. Greenhouse or nursery (retail)
 - e. Heavy machinery sales, leasing, repair and storage of retail and rental inventory
 - f. Major vehicle repair
3. Require a Conditional Use Permit (CUP) for the following uses at 1702 Bray Street:
 - a. Boat sales, repair and storage of retail inventory
 - b. Building material sales
 - c. Contractor storage and equipment yard
 - d. Greenhouse or nursery (retail)
 - e. Heavy machinery sales, leasing, repair and storage of retail and rental inventory
 - f. Major vehicle repair
4. Other recommendations by lot include:
 - a. 615 N. General Bruce Drive
 - i. Unless managed or operated by a property located within the Overlay, this property would be considered outside of the Overlay
 - ii. If determined to be located in the Overlay, basic interior and exterior improvements of the existing facilities, including painting, would not trigger Overlay Standards

- iii. Complete redevelopment of the lot would trigger complete compliance with the existing I-35 Corridor Overlay standards at that time
- b. 1701 Jack White Street
 - i. Basic interior and exterior improvements of the existing facilities, including painting, would not trigger Overlay Standards
 - ii. Complete redevelopment of the lot would trigger complete compliance with the existing I-35 Corridor Overlay standards at that time
- c. 1702 Bray Street
 - i. The following exceptions to the existing I-35 Corridor Overlay standards apply to new construction on-site, which are consistent with concepts presented to P&Z and City Council during previous code amendment workshops:
 - 1. Allow for public right-of-way to count towards buffer width requirements, as long as the 10% of overall irrigated site landscaping (on private property) is still met
 - 2. Allow for qualifying 2-inch diameter-at-breast height trees
 - 3. Allow for non-permanent irrigation of landscaping to be approved by the Planning Director, subject to the following:
 - a. 15% of site is landscaped, including right-of-way landscaping; or 20% of site is landscaped, excluding right-of-way landscaping
 - b. Decomposed granite, pea gravel or river rock and mulch is allowed instead of sod in beds (combination of 1 of the above types of rock and mulch required in each bed); weed barrier must be installed, as well
 - c. Utilization of slow release watering bags for trees
 - d. Temporary above-ground sprinkler system is used to establish the vegetation
 - e. Shrubs and trees all need to be drought-tolerant species
 - f. All other Overlay shrub and tree planting requirements are met
 - g. Reinforce the general landscaping standards requiring that landscaping needs to be watered or replaced within 30 days of dying
 - 4. Lighting would just need to be full cut-off to prevent light trespass vertically and to neighboring properties
 - 5. No foundation planting is required on a drive-through window side if applicable
 - 6. Lower window percentages from 40% to 20% on front and sides
 - 7. Provide flexibility for either the 4' building footprint offset entry requirement or a combination of 2 of the following:
 - a. Canopies, awnings or porticos
 - b. Other architectural recesses or projections, including pilasters
 - c. Arcades

- d. Cupola or tower elements
- e. Parapets

With the following conditions:

- The development plan (site plan) that code requires for Planned Development District property would consist of an aerial photograph documenting the location of existing facilities
- The Planning Director is granted administrative authority to review the expansion of a permitted use at 1701 Jack White Street to the undeveloped rear half of the lot and approve a site plan without the need for review by P&Z and City Council, as long as appropriate fencing and or landscaping is agreed upon to buffer the use and while still improving the aesthetics of the public frontage
 - An appeal to the Planning Director's recommendation could be made to P&Z, followed by City Council for a decision
- Expansion of 1701 Jack White to the rear would, however, require a sidewalk per Sec. 6.7.5.E.10. and Sec. 8.2.3.B. of the Unified Development Code (UDC)

FISCAL IMPACT: N/A

ATTACHMENTS:

Application

Summary table for use exceptions

Aerial Exhibit "A" (substitute for "Development Plan")

Previous correspondence with applicant

Zoning map

Future Land Use map

Utility map

Neighbor notification map

Relevant I-35 Corridor Overlay Code sections (including Sec. 6.7.5.E.10)

Sec. 8.2.3.B of the UDC

Asco Belton photo (desirable heavy machinery sales example)

Photos

City of Temple Universal Application

Rev. 06-04-15

(Incomplete applications will not be accepted)

- | | | |
|---|---|---|
| <input type="checkbox"/> Sketch Plan | <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Appeal of Administrative Decision |
| <input type="checkbox"/> Plat Vacation | <input type="checkbox"/> Conditional Use Permit (CUP) | <input type="checkbox"/> Residential Masonry Exception |
| <input type="checkbox"/> Minor or Amending Plat | <input type="checkbox"/> Planned Development (PD) | <input type="checkbox"/> Nonresidential Masonry Exception |
| <input type="checkbox"/> Preliminary Plat | <input checked="" type="checkbox"/> PD Site Plan | <input type="checkbox"/> Park, Facility or Street Renaming |
| <input type="checkbox"/> Final Plat | <input checked="" type="checkbox"/> I-35 Appeal | <input type="checkbox"/> Cost Sharing Offsite Participation |
| <input type="checkbox"/> Variance (Board of Adjustment) | <input type="checkbox"/> I-35 Site Plan Review | <input type="checkbox"/> Exception |
| <input type="checkbox"/> Abandonment | <input type="checkbox"/> TMED Site Plan Review | <input type="checkbox"/> Street Use License (SUL) |
| | <input type="checkbox"/> TMED Variances/Warrants | <input type="checkbox"/> 1 st and 3 rd Overlay Appeal |

PROJECT INFORMATION:

Residential Commercial Property Platted Property Not Platted ETJ

Project Name: Walker Saulsbury Commercial Subdivision Parcel(s) Tax ID# (Required): 56521 and 25182 and 56520

Project Address (Location): 1702 Jack White and 1702 Bray (ES I-35), Temple Total Acres: 8.008

Lot: _____ Block: _____ Subdivision: _____

Cabinet #: _____ Slide #: _____

Outblock (if not platted): (see legal description attached as Exhibit "A")

Brief Description of Project: Rezoning to allow for uses allowed under the property's base zoning, but prohibited under the I-35 Overlay District

Current Zoning Commercial # of Existing Lots 3 # of Existing Units _____

Proposed Zoning Commercial # of Proposed Lots 3 # of Proposed Units _____

APPLICANT / CONTACT INFORMATION: *(This will be the primary contact; please ensure email address is legible)*

Name: A. Lloyd Thomas Company Name: Aldrich-Thomas Group, Inc.

Address: 18 North 3rd Street City: Temple State: TX Zip: 76501

Phone: 254-773-4901 Cell #: 254-770-8287 Fax #: _____

Email Address: althomas@aldrich-thomas.com

PROPERTY OWNER INFORMATION:

Name: Harry Adams Company Name: JJA Properties, LP

Address: 7455 South General Bruce Drive City: Temple State: TX Zip: 76502

Phone: 254-773-5257 Cell #: _____ Fax #: _____

Email Address: _____

DEVELOPER ENGINEER SURVEYOR INFORMATION: *(Please ensure email address is legible)*

Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Cell #: _____ Fax #: _____

Email Address: _____

VARIANCE / EXCEPTION / APPEAL DESCRIPTION: *(Attach additional page if additional space is required)*

Rezoning to allow for uses allowed under the property's base zoning, but prohibited under the I-35 Overlay District, and appeal of landscape and building articulation requirements imposed by the I-35 Overlay District

RECEIVED

NOV 17 2015

City of Temple 17
Planning & Development

CHECKLIST--PER SUBMITTAL

City of Temple Universal Application
(Incomplete applications will not be accepted)

Rev. 06-04-15

Submittal Requirements <i>All Checklists are available on Planning Applications webpage</i>	All Plats	CUP & PD	Rezoning	Sketch Plan	I-35	I-35 Appeal	TMED	TMED Variance/Warrant	ZBA Variance	Masonry Exception	Appeal of Administrative Decision	Abandonment	Street Use License (SUL)
Complete Universal Application	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Utility Providers-see attached link http://www.templetx.gov/DocumentCenter/View/2920	✓												
Electronic copy (PDF) of all required materials submitted as hard copies (must be legible)	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Hard Copies for all submittals	5	2	1	5	2	2	2	2	1	1	1	1	1
Field Notes (<i>signed and stamped</i>) or Lot and Block Description	✓	✓	✓		✓	✓	✓	✓	✓			✓	✓
Site Plan Checklist		✓			✓	✓	✓	✓	*				
Plat Checklist	✓			✓									
I-35 Checklist					✓	✓							
TMED Checklist							✓	✓					
Abandonment Checklist												✓	
SUL Checklist													✓
Scaled Site Plan		✓			✓	✓	✓	✓	✓	✓	*	✓	✓
Drainage Letter or Drainage Report (for residential subdivisions)	✓												
Elevations		✓			✓	*	✓	*		✓			
Landscape Plan					*	*	*	*					
Lighting Plan					*	*	*	*					
Fee	✓	✓	✓	NA	NA	NA	NA	NA	✓	NA	NA	✓	✓
Survey												✓	✓
Broker's Opinion of Value or Appraisal R-O-W abandonment ONLY												✓	

*May be required depending on nature of Appeal/Variance

Total valuation of proposed improvements for project in 1st & 3rd/TMED/I-35: \$ _____

FEE SCHEDULE

Abandonment
(3rd Party Broker's Opinion or Appraisal)
Board of Adjustment (Variance)

\$100.00 for filing fee only;
(3rd Party Broker's Opinion or Appraisal fee will be Applicant's responsibility)
\$ 75.00

*Preliminary/Final Plat

(MUST meet with a planner prior to submittal of request)

\$150.00 + \$3.00/lot (residential) or
\$10.00/acre (nonresidential)

Street Use License (SUL)

\$150.00 (renewed every 15 years)

*Rezoning/CUP/PD Site Plan

\$150.00 + \$3.00/acre (to match Ordinance No. 1948)

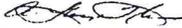
RECEIVED

NOV 17 2015

City of Temple
Planning & Development

*The filing fee for a piece of property that is 3.125 acres in size would be a total of \$159.36 (\$150 + [\$3 x 3.12]). City staff uses the second decimal place when calculating a filing fee and does not round up or down.

BY SIGNING THIS APPLICATION, STAFF IS GRANTED ACCESS TO YOUR PROPERTY FOR SIGN POSTING AND PROPERTY ANALYSIS PURPOSES.

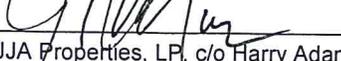
APPLICANT SIGNATURE: 
Digitally signed by A. Lloyd Thomas
DN: cn=A. Lloyd Thomas, o=ATGMCPD, ou, email=ralthomas@aldrich-thomas.com, c=US
Date: 2015.11.08 11:32:07 -0200

Print or Type Name: A. Lloyd Thomas

(property owner authorization required below if applicant is someone other than property owner)

I (property owner) hereby authorize A. Lloyd Thomas of Aldrich-Thomas Group, Inc.
(name) (company (if applicable))

to represent me in matters pertaining to this case.

Property owner's signature: 

Property owner's name (print): JJA Properties, LP, c/o Harry Adams

Property owner's address: 7455 South General Bruce Drive, Temple, TX 76502

Property owner's phone#: 254-773-5257

Email address: _____

For Department Use Only	
Project #:	_____
Project Manager:	_____
Total Fee(s):	_____
Fee Credit:	_____
Payment Method:	_____
Submittal Date:	_____
Accepted By:	_____
Accepted Date:	_____

EXHIBIT “B”

Permitted Uses and Exceptions to Interstate 35 Corridor Overlay

Owner requests that the below-described permitted uses exceptions to the Interstate 35 Corridor Overlay (“Overlay”) be granted. These requests will allow for uses consistent with the current use of the subject property, which use pre-dates the implementation of the Overlay:

Uses Permitted by Right:

1. Automobile storage or auction (i.e., storage of vehicle inventory for sale or auction; specifically excluding salvaged or inoperable vehicles)
2. Boat sales, repair, and storage of retail inventory
3. Building material sales
4. Child care facility
5. Contractor storage and equipment yard
6. Greenhouse or nursery
7. Heavy machinery sales, leasing, repair and storage of retail and rental inventory
8. Major vehicle repair
9. Minor vehicle servicing
10. Multi-family dwelling (apartment)
11. Mixed-use multi-family dwelling (apartment) and retail

Exceptions – Dimensional Standards:

1. Minimum landscape: 10% of lot area, provided that Owner receives credit for landscaping located and maintained by Owner in public right of way adjacent to Owner’s property
2. Minimum landscape buffer: 25 feet front and adjacent to public street
10 feet rear (20 feet adjacent to residential)
10 feet interior side
20 street side
(with respect to the above, Owner will receive credit for landscaping located and maintained by Owner in public right of way adjacent to Owner’s property)
3. With respect to landscaping located within public right of way, Owner shall receive credit for landscaping maintained by Owner according to the specifications of the governing authority controlling said right of way, including, without limitation, the limitation that no vegetation located within TxDOT right of way may exceed thirty (30) inches in height.

Exceptions – Exterior Appearance of Buildings and Structures:

1. All buildings, including accessory buildings, may be architecturally finished on all sides in a manner consistent with the existing improvements located on the subject property.
2. Building entrances on the subject property may be articulated and defined in a manner consistent with the existing improvements located on the subject property.
3. The buildings and structures on the subject property shall not be required to adhere to the requirements of Section 6.7.9.D.2.b., 6.7.9.D.2.c., Section 6.7.9.D.2.d., Section 6.7.9.D.2.e., Section 6.7.9.D.2.f., or Section 6.7.9.D.3

Exceptions – Vehicle Sales/Vehicle Sales in Portion of Sub-district:

1. Parking aisle islands shall not be required.
2. Owner shall receive credit for the full width of landscape buffers located, in part, in public right of way adjacent to Owner's property.

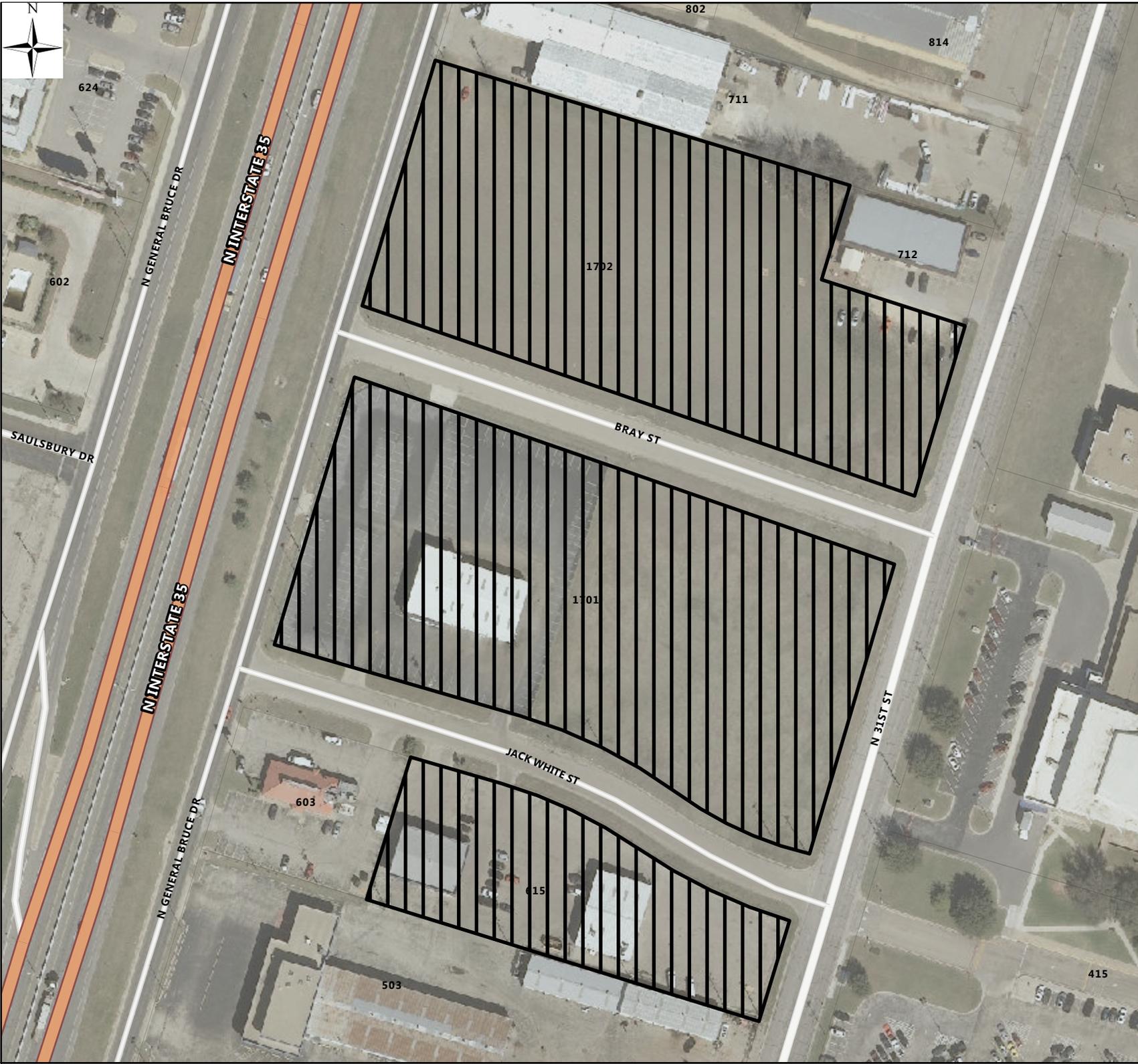
Other Requests:

1. Allow for steel pipe fencing, such as what was reinstalled at the Old Johnson Bros. site
2. To not require screening for boat or machinery sales, as well as landscaping companies

I-35 Corridor Overlay: Compiled Land Use Table

Use	Freeway Retail/Commercial Code	Applicant Request	Staff Recommends	Notes	With Limitations
Residential					
All Residential Uses listed in the use table in Sec. 5.1 except as follows:	Prohibited				5.3.1 through 5.3.7
Multiple-family dwelling (apartment)	CUP	Allow by right	Allow by right but Overlay standards apply	Would apply to undeveloped property, too	5.3.3
Recreational vehicle park	Prohibited				
Nonresidential					
Animal feed lot	Prohibited				
Animal shelter (public or private)	CUP				
Auto storage or auto auction	Prohibited	Allow by right	Cannot support the use	Cannot support the use	
Boat sales, <u>repair and storage of retail inventory</u> *	CUP	Allow by right	*Allowing use on existing developed portions of lots by providing either vegetative screening, a masonry wall or an ornamental aluminum fence with shrubs (similar to Case Asco in Belton)	Would not apply to undeveloped property	
Bottling works	Prohibited				
Building material sales*	Prohibited	Allow by right	*Allowing use on existing developed portions of lots by providing additional screening per cell above	Would not apply to undeveloped property	
Car wash	CUP				
Child care facility	CUP	Allow by right	Allow by right but Overlay standards apply	Would apply to undeveloped property, too	5.3.9 and 5.3.10
Contractor storage and equipment yard*	Prohibited	Allow by right	*Allowing use on existing developed portions of lots by providing additional screening per cell above	Would not apply to undeveloped property	
Correctional facility	Prohibited				
Day camp for children	Prohibited				
Drag strip or commercial racing	Prohibited				
Flea market (outdoors)	Prohibited				
Greenhouse or nursery (retail)	CUP	Allow by right	*Allowing use on existing developed portions of lots by providing additional screening per cell above	Would not apply to undeveloped property	
Hatchery, fish or shrimp, fish farm	Prohibited				
Hatchery, poultry	Prohibited				
Heavy machinery sales, <u>leasing, repair and storage of retail and rental inventory</u>	Prohibited	Allow by right	*Allowing on existing developed portions of lots by providing additional screening per cell above	Would not apply to undeveloped property	
Industrial Uses listed in the use table in Sec. 5.1	Prohibited				
Kennel	Prohibited				
Livestock auction	Prohibited				
Major vehicle repair	CUP	Allow by right	*Allowing use on existing developed portions of lots by providing additional screening per cell above	Would not apply to undeveloped property	5.3.22
Milk depot, dairy or ice cream plant	Prohibited				
Minor vehicle servicing	CUP	Allow by right		Occurs inside per definition	5.3.23
Open storage of furniture, appliances or machinery	Prohibited				
Paint shop	CUP				
Sexually oriented business	Prohibited				
Shooting range (outdoor)	Prohibited				
Stable, residential or noncommercial	Prohibited				
Trailer, recreational vehicle, portable building or HUD- Code	Prohibited				
Transitional or emergency shelter	Prohibited				
Upholstery shop	CUP				
Veterinarian hospital (kennels)	CUP				
Wrecking or salvage yard	Prohibited				5.3.24

= propose allowing with additional screening or ornamental fencing
 = propose allowing by right
 = recommend upholding current prohibition of use (i.e. not allowing at PD site)



Commercial
AERIAL MAP
 Zoning Case :
 Z-FY-16-10

Address: 1702 Bray St
 1701 Jack White St
 615 N General Bruce D

- Streets
- EXPRESSWAY
 - MAJOR ARTERIAL
 - COLLECTOR
 - LOCAL STREET
 - MINOR ARTERIAL
 - PRIVATE
 - RAMP
 - Railroad
 - Temple Municipal Boundary
 - Parcels
 - ETJ Parcels
 - CaseArea

GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.

dredmond
 Date: 2/24/2016



Brian Chandler

From: Brian Chandler
Sent: Tuesday, January 26, 2016 9:14 AM
To: A. Lloyd Thomas; Sam Fulcher
Cc: Leslie Evans
Subject: FW: Existing Old Johnson Bros. Pre-Owned Sales Facilities
Attachments: PD response.pdf

Gentlemen,

Please confirm whether you agree with the new scope to only apply to the existing facilities per the attached exhibit. If so, it would be preferable if you have an exhibit that you can provide as part of your application also showing the exact acreage. A BellCAD map would suffice. Otherwise, we can put one together for you. We just need you to confirm the scope of the request either way, which may result in a reduced zoning fee, as well. Thanks.

Brian

From: Brian Chandler
Sent: Monday, December 07, 2015 5:40 PM
To: 'A. Lloyd Thomas'; 'Sam Fulcher'
Cc: Barbara Morgenroth
Subject: Existing Old Johnson Bros. Pre-Owned Sales Facilities

Lloyd and Sam,

Based on our discussion today, I have made some notes on the request summary that you submitted to our office, which is attached. I've also attached an aerial photograph designating the existing facilities as "A" and "B."

My notes can be summarized as follows:

Property A

- Uses allowed by right, such as a car dealership can occupy the building, do basic repair and maintenance (including painting) without triggering other standards
- The uses highlighted in green could be included to be allowed by right with Planned Development, since they are still "retail" (as opposed to vehicle repair)
- Those with asterisks would require additional landscaping and an ornamental metal fence for screening purposes
- I've scratched out "repair, storage and rental" from the uses to keep what staff would recommend to be just sales
- For any use not permitted by right in the Overlay, your proposed landscaping standards of 10% getting credit for landscaping the right-of-way would apply (drought-tolerant trees and shrubs...might require a 200' hose)

Property B

- Since it does not abut I-35, it would not be considered in the Overlay, unless it is "used, managed or marketed" together with a property that is in the Overlay, such as Property A
 - In that case, if it were a vehicle service garage associated with Property A or another accessory use for Property A, that standards adopted for Property A would apply and an associated vehicle service use to A could be allowed

We would also have to further evaluate the opportunities for future phases and expansion opportunities in the adjacent vacant properties at 1702 Jack White (to rear) and 1702 Bray.

Let me know if you have any questions. Thanks.

Brian

Brian L. Chandler, AICP
Director of Planning
City of Temple
(254) 298-5272



outside overlay unless "used managed or marketed" w/ "A"

EXHIBIT "B"

Permitted Uses and Exceptions to Interstate 35 Corridor Overlay

Owner requests that the below-described permitted uses exceptions to the Interstate 35 Corridor Overlay ("Overlay") be granted. These requests will allow for uses consistent with the current use of the subject property, which use pre-dates the implementation of the Overlay:

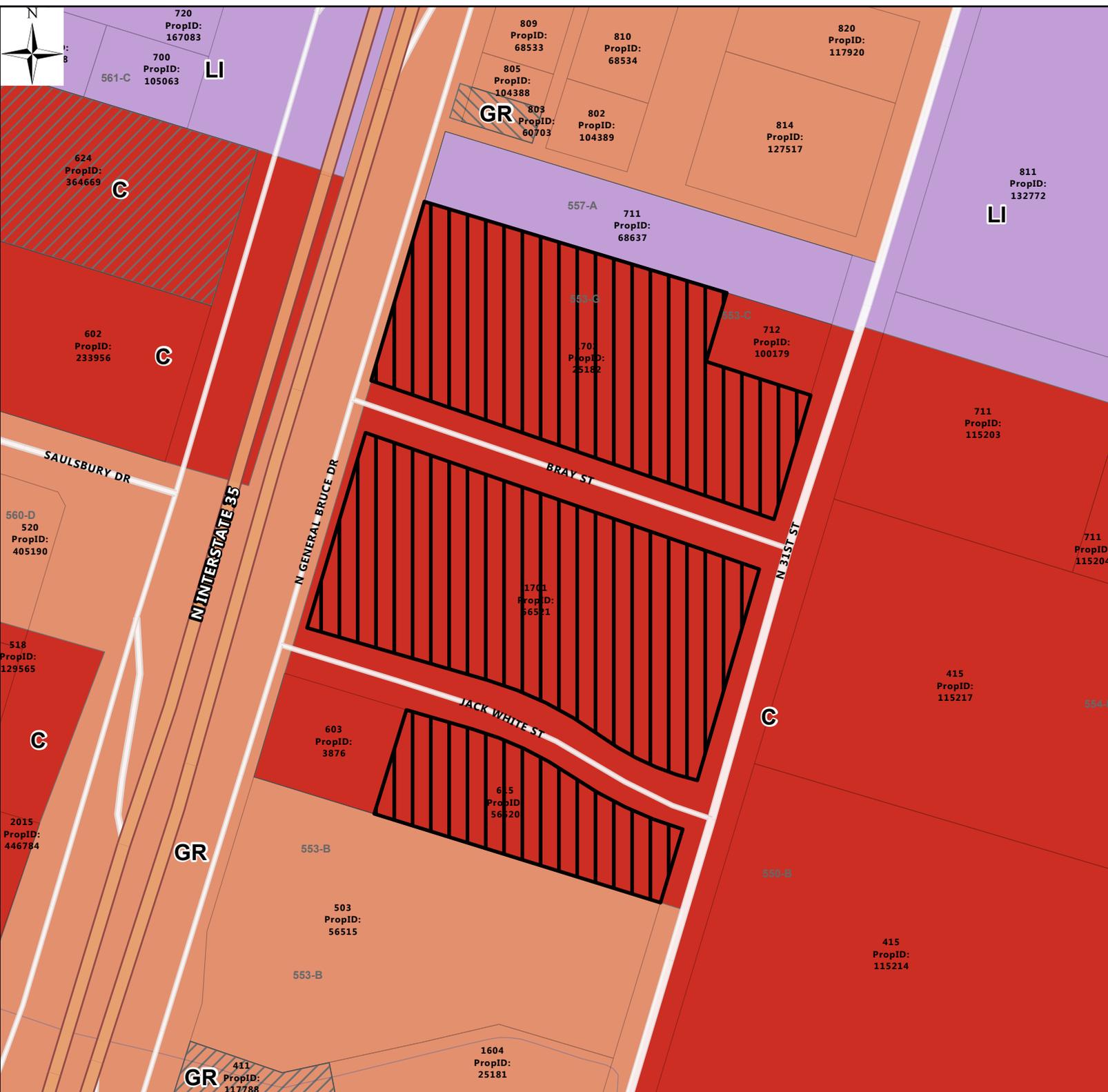
Uses Permitted by Right:

1. Automobile storage or auction
- * 2. Boat sales ~~or repair~~
- * 3. Building material sales
4. Child care facility
5. Contractor storage and equipment yard
- * 6. Greenhouse or nursery
- * 7. Heavy machinery sales, ~~storage, and repair (and rental)~~
8. Major vehicle repair
9. Minor vehicle servicing
10. Multi-family dwelling (apartment)
11. Mixed-use multi-family dwelling (apartment) and retail

* Would require additional landscaping or screening w/ at least an ornamental aluminum fence

Exceptions – Dimensional Standards:

1. Minimum landscape: 10% of lot area, provided that Owner receives credit for landscaping located and maintained by Owner in public right of way adjacent to Owner's property.
2. Minimum landscape buffer: 25 feet front and adjacent to public street
10 feet rear (20 feet adjacent to residential)
10 feet interior side
20 street side
(with respect to the above, Owner will receive credit for landscaping located and maintained by Owner in public right of way adjacent to Owner's property)
3. With respect to landscaping located within public right of way, Owner shall receive credit for landscaping maintained by Owner according to the specifications of the governing authority controlling said right of way, including, without limitation, the limitation that no vegetation located within TxDOT right of way may exceed thirty (30) inches in height.



Commercial ZONING MAP

Zoning Case : Z-FY-16-10

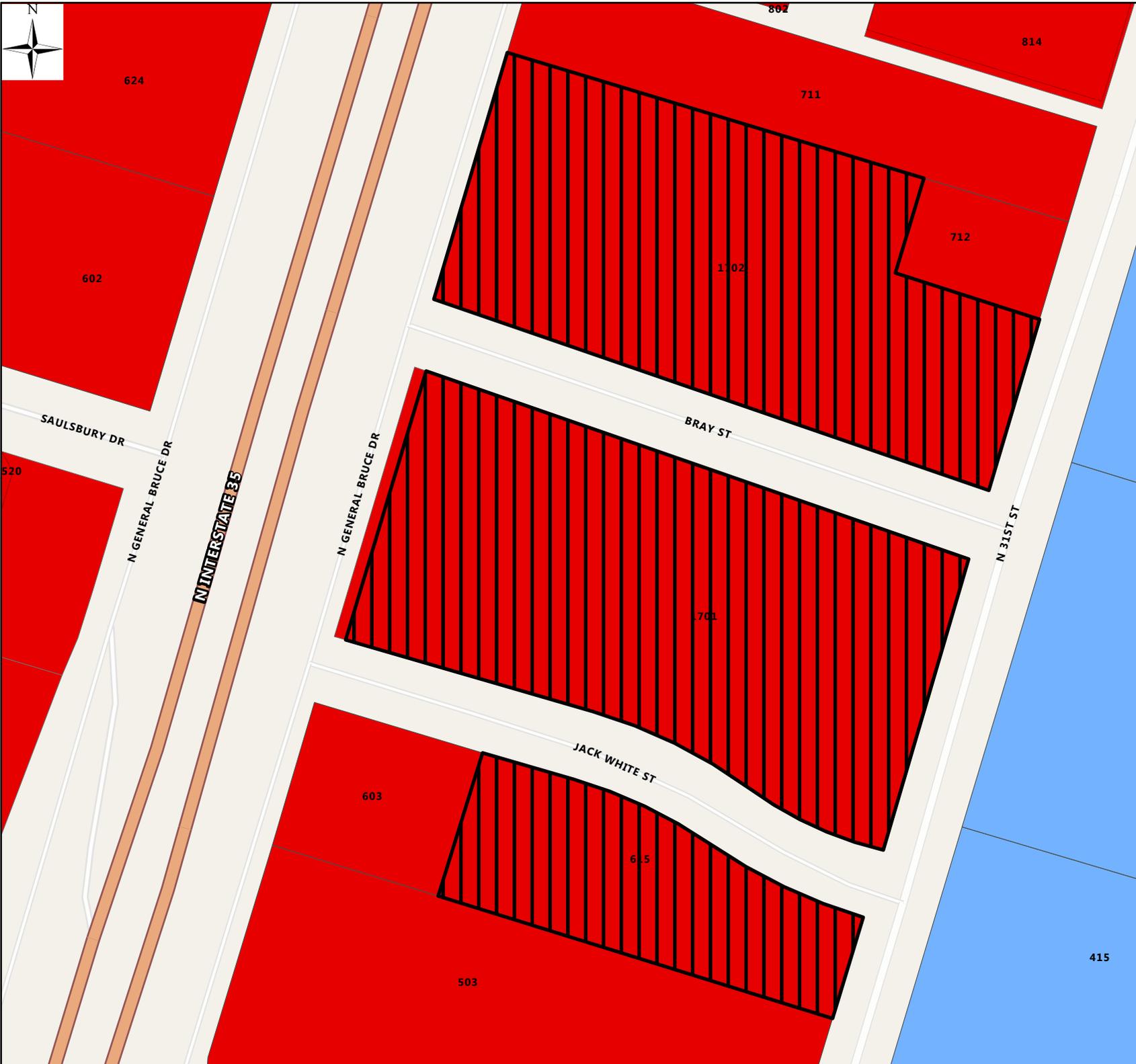
Addresses: 1702 Bray Street
1701 Jack White Street
615 N General Bruce Drive

CurrentZoning	Legend	Legend	Legend
HI - CUP	O-1	AG - CUP	
UE	O-1 - CUP	MH	
UE - PD	O-1 - PD	MH - CUP	
SF-1	O-2	MH - PD	
SF-1 - CUP	O-2 - CUP	MU	
SF-1 - PD	O-2 - PD	MU - CUP	
SF-2	NS	SD-C	
SF-2 - PD	NS - CUP	SD-C - CUP	
SF-3	NS - PD	SD-H	
SF-3 - PD	GR	SD-H - CUP	
SF-3 - CUP, PD	GR - CUP	SD-T	
SFA	GR - PD	SD-V	
SFA-2	GR - CUP, PD	T4	
SFA-2 - PD	CA	T4 - PD	
SFA-3	CA - CUP	T4 - CUP	
SFA-3 - PD	CA - PD	T5-C	
2F	C	T5-C - CUP	
2F - CUP	C - CUP	T5-C - PD	
2F - PD	C - PD	T5-E	
MF-1	C - CUP, PD	T5-E - CUP	
MF-1 - CUP	LI	T5-E - PD	
MF-1 - PD	LI - CUP	NO BASE	
MF-2	LI - PD	CUP	
MF-2 - CUP	LI - CUP, PD	PD	
MF-2 - PD	HI	CaseArea	
MF-3 - PD	HI - PD		
	AG		

GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.

dredmond
Date: 2/24/2016





Commercial FUTURE LAND USE MAP

Zoning Case :
Z-FY-16-10

Address : 1702 Bray St.
1701 Jack White St.
615 S General Bruce Dr.

-  EXPRESSWAY
-  MAJOR ARTERIAL
-  COLLECTOR
-  LOCAL STREET
-  MINOR ARTERIAL
-  PRIVATE
-  RAMP
-  Parcels
- Future LUP
 -  Agricultural/Rural
 -  Auto-Urban Commercial
 -  Auto-Urban Mixed Use
 -  Auto-Urban Multi-Family
 -  Auto-Urban Residential
 -  Business Park
 -  Estate Residential
 -  Industrial
 -  Neighborhood Conservation
 -  Parks & Open Space
 -  Public Institutional
 -  Suburban Commercial
 -  Suburban Residential
 -  Temple Medical Education District
 -  Urban Center
 -  CaseArea

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dredmond
Date: 2/24/2016





Commercial
UTILITY MAP

Zoning Case :
Z-FY-16-10

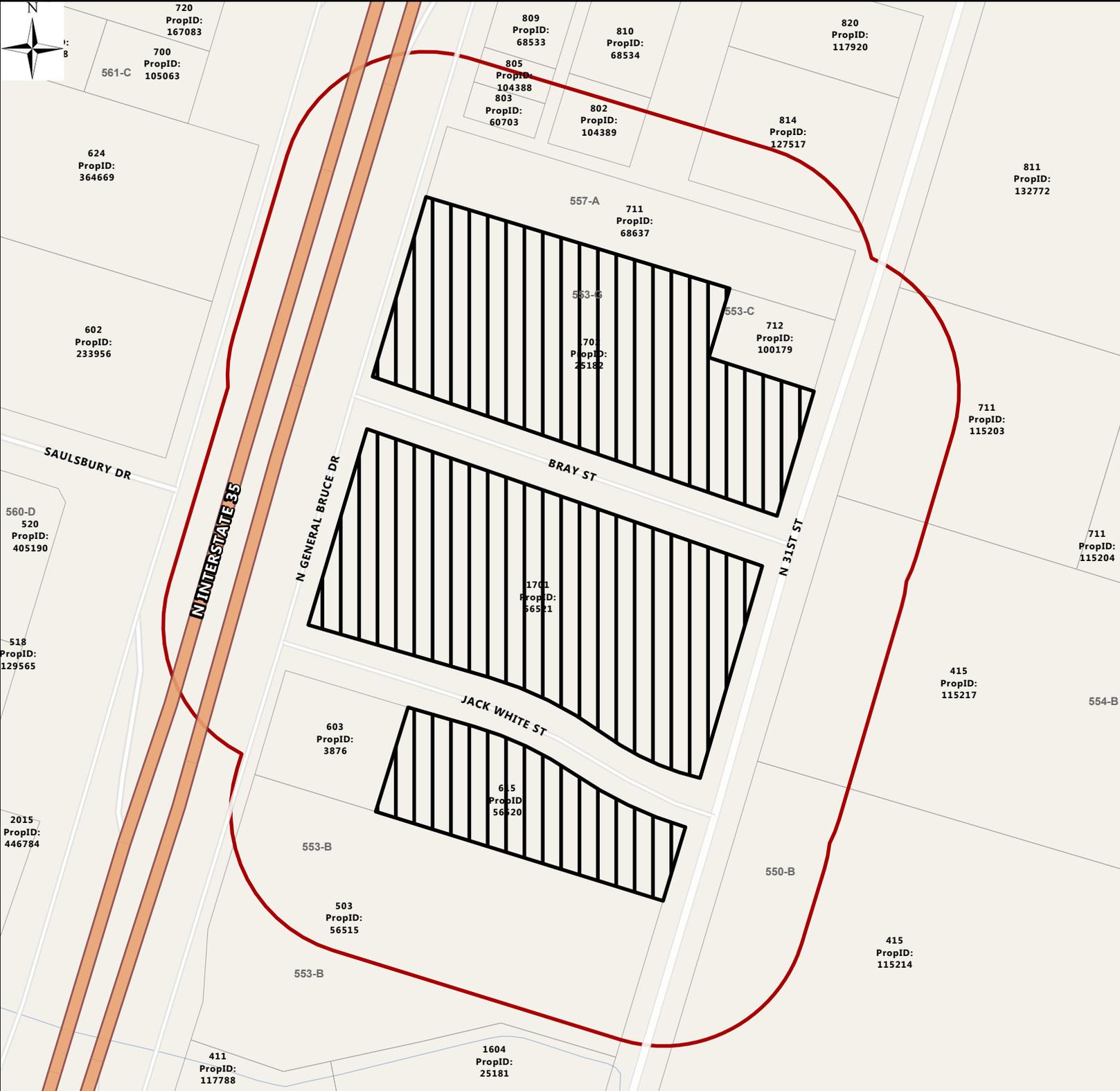
Addresses: 1702 Bray St
1701 Jack White St
615 N General Bruce Dr

-  Manhole
-  Gravity Main
-  Hydrant
-  Main
-  Parcels
-  CaseArea

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dredmond
Date: 2/24/2016





Commercial
 200'
 NOTIFICATION MAP

Zoning Case :
 Z-FY-16-10

Addresses: 1702 Bray Street
 1701 Jack White Street
 615 N General Bruce Drive

-  CaseArea
-  Buffer

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dredmond
 Date: 2/24/2016



Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

Development Type	Site Plan Review	Tree Preservation	Parking	Screening and Wall Standards	Architectural Design	Landscape	Signs	Lighting	Utilities
New construction	✓	✓	✓	✓	✓	✓	✓	✓	✓
Increase in gross floor area of 50% or more or modifications with a cost equal to or greater than 50% of the assessed value of improvements per the current tax roll	✓	✓	✓	✓	✓	✓	✓	✓	✓
Increase in gross floor area of 25%-49% or modifications with a cost equal to 25%-49% of the assessed value of improvements per the current tax roll	✓	✓	✓	✓		✓		✓	
Increase in gross floor area of 10%-24% or modifications with a cost equal to 10%-24% of the assessed value of improvements per the current tax roll	✓	✓		✓		✓			

6.7.4 Design Review

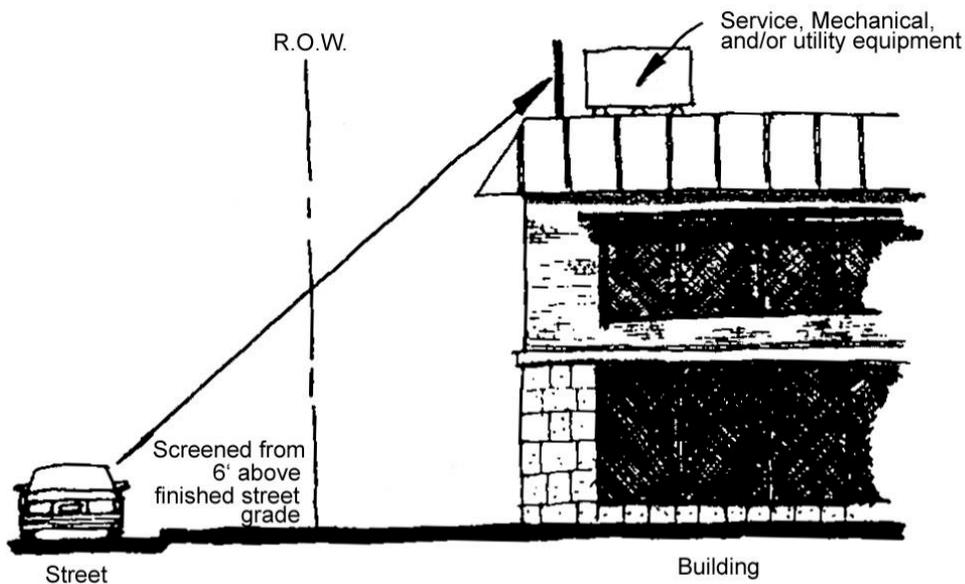
The City must review and approve a site development plan prior to construction for all developments within the I-35 Corridor Overlay zoning district as required by this Section.

A. Design Review Process

1. This Section establishes a design review process to ensure that all development within the I-35 Corridor Overlay District meets requirements set forth in these design standards. The review covers site planning, architecture, landscaping, exterior lighting and exterior signage, as well as any changes, additions or renovations to any development on the site.
2. The design review process is divided into four steps:
 - a. Design Orientation;

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay



E. Landscape

Each site, outside of a City Entry Sub-District, must provide a minimum of the following landscape elements. All required trees, shrubs and groundcovers must be of a species permitted in the Plant List in subsection F below.

1. A total of 15 percent of the total site area must be landscaped with living approved trees, shrubs and groundcovers. Such landscape areas must consist of approved plants and irrigation covering 100 percent of the required landscaped area.
2. All required landscaping must be maintained in good condition after installation. The owner must replace any plant material that becomes diseased, deteriorated or dies within 30 days.
3. Areas not covered by building or pavement must be landscaped.
4. Drainage facilities are not allowed within the landscape area except those that are necessary to convey drainage in the shortest possible route to or from the public street right-of-way. Drainage facilities include detention ponds, water quality ponds, outlet structures, drainage berms or other improvements associated with the drainage

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

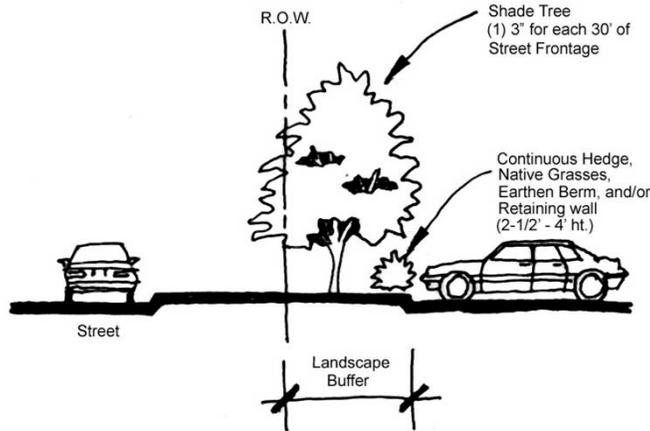
improvements. Such drainage facilities must have a natural look with minimum slopes and landscaping.

5. Vegetation must be used to soften the appearance of walls, including those used for screening. This may include either vines trained up the wall or minimum five-gallon shrubs planted a minimum of thirty inches on center.
6. Foundation plantings are required within a planting area a minimum of six feet in width along 70 percent of the length of any façade visible to the public. Foundation planting may count toward the required minimum site landscape area required in paragraph 1 above.
7. All landscape and turf areas must be irrigated and maintained on a regularly scheduled basis.
8. A landscape buffer is required adjacent to any public street right-of-way based on the sub-district's Area Regulations and as follows.
 - a. One minimum three-inch caliper canopy tree, as set forth in the City's Plan List, must be planted for each 30 feet of frontage along public street rights-of-way as measured along the lot lines.
 - b. Required trees must not be planted in a regular interval, but in clusters.
 - c. Substituting four ornamental trees per one canopy tree is allowed under power lines.
 - d. A minimum 60 percent of required trees must be evergreen with year around foliage.
 - e. A minimum 20 percent of the required landscape buffer must have native grass beds or wildflowers.
 - f. Berms not less than 24 inches nor more than 48 inches in height at no more than a four to one slope are required in the landscape buffer, covering a minimum of 50 percent of the buffer area.
9. Any of the following must be screened by a continuous hedge or shrubs, earthen berms, or retaining walls that are two and one-half to four feet in height:

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

- a. Parking lot or vehicle use area;
- b. Fuel pumps visible from the direction of traffic flow; or
- c. Vehicle drive-through window facing the street or traffic flow.



- 10. Meandering sidewalks a minimum of five feet in width are required in accordance with City standards within the landscape buffer the entire length of the street frontage in the following locations.
 - a. Along any street in the Civic Sub-District; and
 - b. Along any street that intersects or runs immediately parallel with I-35, if the Trails Master Plan recommends a sidewalk adjacent to the property.
- 11. The width and composition of a sidewalk required in subsection 10 above must be in accordance with the following standards.
 - a. A sidewalk that is a minimum of 10 feet in width is required where the Trails Master Plan shows a Citywide Spine Trail adjacent to the property.
 - b. A sidewalk that is a minimum of eight feet in width is required where the Trails Master Plan shows a Community-Wide Connector Trail adjacent to the property.
 - c. A sidewalk that is a minimum of six feet in width is required where the Trails Master Plan shows a Local Connector Trail adjacent to the property.

[Ord. 2012-4505]

12. Landscaped parking islands are required as follows in all parking lots, but are not required adjacent to industrial truck docks. Parking islands may count toward the required minimum landscape area set forth in the sub-district Area Regulations.

a. Interior Islands

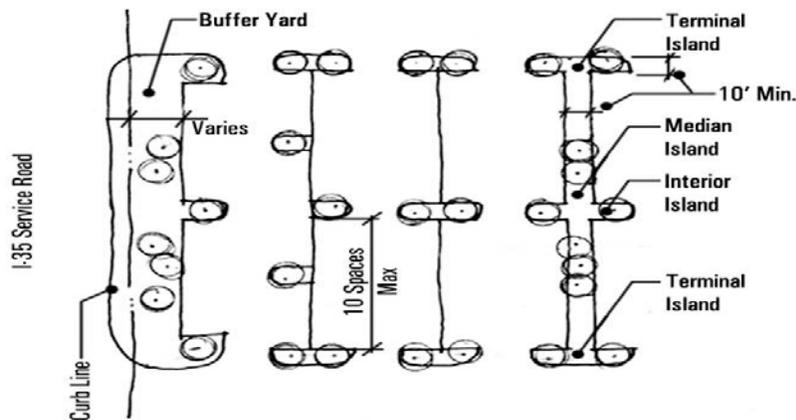
A curbed landscape island must be provided for every 10 parking spaces. Each island must be a minimum of 170 square feet in area and 10 feet in width back-of-curb to back-of-curb. A minimum three-inch caliper tree is required in each island.

b. Terminal Islands

All parking rows must terminate in a curbed landscape island. Each terminal island must be a minimum of 360 square feet in area and contain two minimum three-inch caliper trees.

c. Median Islands

A curbed median island a minimum of 10 feet in width back-of-curb to back-of-curb must be located after every third parking bay and along primary internal access drives. Each median island contain one minimum three-inch caliper tree a minimum of every 30 feet on center.



13. All landscape areas must accent building features, entryways and driveways.
14. Native plants and drought tolerant species are preferable to reduce water requirements.

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

- F. **Approved Tree List – See Article 7; General Development Standards; Section 7.4 Landscaping; Subsection 7.4.5. General Planting Criteria; B Approved Tree List.**
- G. **Approved Groundcover List – See Article 7; General Development Standards; Section 7.4 Landscaping; Subsection 7.4.5. General Planting Criteria; C Approved Shrub List.**
- H. **Approved Shrubs – See Article 7; General Development Standards; Section 7.4 Landscaping; Subsection 7.4.5. General Planting Criteria; D Approved Groundcover List.**
- I. **Approved Lawn Grass – See Article 7; General Development Standards; Section 7.4 Landscaping; Subsection 7.4.5. General Planting Criteria; E Approved Lawn Grass.**

[Ord. No. 2013–4580]

J. Signs

The sign standards in this Section apply to all Sub-Districts in the I-35 Corridor Overlay.

1. Permitted Sign Types

The table below establishes the sign types and standards that are permitted.

Use	Sign Type	Max. Number of Sign Faces	Max. Height	Max. Area (per sign face)	Min. Setback (from property line)	Min. Spacing Between Signs
All Permitted Uses	Wall Sign	1 per public façade (max. 2)	NA (no projection above building)	10% of façade face or 300 sq ft max (whichever is greater)	NA	NA
All Permitted Uses	Window Sign	NA	NA	20% of window area	NA	NA
All Permitted Uses	Monument Sign	2	8'	50 sq ft	0'	25'
All Permitted Uses	Pylon Sign	2	25'	200 sq ft	10'	50'
Travel Related Uses (Fuel Sales, Overnight)	Pylon Sign	2	40'	300 sq ft	15'	100'

Article 6: Special Purpose and Overlay Zoning Districts

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- e. Maintenance and durability of materials must be considered as important qualities for every element of the design. Special care must be taken to specify the use of vandal resistant building components.
- f. The following is a list of approved building materials and accent materials per façade (not to exceed 20 percent of materials used). The Director of Planning may approve materials not listed below.

Primary Materials: Max. 100%, Min. 80%	Accent Materials: Max. 20%
Architectural metal	Cast stone
Stone	Wood
Brick	Glass block
Stucco	Tile
Color integrated split face block	Granite
Painted tilt wall	Marble
Smooth insulated wall panel	Textured or patterned concrete
	All primary materials (other than material used to achieve the min. 80%)

6.7.9 Freeway Retail / Commercial Sub-District

The freeway retail and commercial locations in Temple have been and should continue to be a major factor in the City’s growth and employment efforts. These standards will continue to attract new commercial activity to the City and enhance the City’s image as a desirable place to live, work and shop on the I-35 Corridor.

A. Permitted Uses

Permitted uses are governed by the uses permitted in the use table in Sec. 5.1 of this UDC for the underlying zoning district. Unless otherwise regulated in the standards for this overlay district, permitted uses are governed by the standards of this Zoning Ordinance for the underlying base zoning district.

B. Prohibited and Conditional Uses

Notwithstanding such uses being permitted in the underlying base zoning district according to the use table in Sec. 5.1, the following uses are prohibited or require a Conditional Use Permit in accordance with Sec. 3.5.

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

Use	Prohibited Use	Conditional Use	Standards
Residential			
All Residential Uses listed in the use table in Sec. 5.1 except as follows:	✓		
Multiple-family dwelling (apartment)		✓	5.3.3
Recreational vehicle park	✓		
Nonresidential			
Animal feed lot	✓		
Animal shelter (public or private)		✓	
Auto storage or auto auction	✓		
Boat sales or repair		✓	
Bottling works	✓		
Building material sales	✓		
Car wash		✓	
Child care facility		✓	5.3.9 and 5.3.10
Contractor storage and equipment yard	✓		
Correctional facility	✓		
Day camp for children	✓		
Drag strip or commercial racing	✓		
Flea market (outdoors)	✓		
Greenhouse or nursery (retail)		✓	
Hatchery, fish or shrimp, fish farm	✓		
Hatchery, poultry	✓		
Heavy machinery sales, storage and repair	✓		
Industrial Uses listed in the use table in Sec. 5.1	✓		
Kennel	✓		
Livestock auction	✓		
Major vehicle repair		✓	5.3.22
Milk depot, dairy or ice cream plant	✓		
Minor vehicle servicing		✓	5.3.23
Open storage of furniture, appliances or machinery	✓		
Paint shop		✓	
Sexually oriented business	✓		
Shooting range (outdoor)	✓		
Stable, residential or noncommercial	✓		
Trailer, recreational vehicle, portable building or HUD-	✓		

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

Use	Prohibited Use	Conditional Use	Standards
Code manufactured home sales or rental			
Transitional or emergency shelter	✓		
Upholstery shop		✓	
Veterinarian hospital (kennels)		✓	
Wrecking or salvage yard	✓		5.3.24

[Ord. 2012-4505]

C. Dimensional Standards

Dimensional standards for the base zoning districts as found in Sec. 4.5 of this UDC apply except that the following regulations supersede such requirements for properties in the Freeway Retail / Commercial Sub-District. Nonconforming lots of record that are smaller than the minimum required lot area may be developed but all requirements of the I-35 Corridor Overlay District apply.

Regulation	Measurement
Min. Lot Area	12,500 sf.
Min. Lot Width	80 ft.
Min. Lot Depth	80 ft.
Min. Front Yard Setback	25 ft.
Min. Side Yard Setback	20 ft.
Min. Side Yard Setback at Street	25 ft.
Min. Rear Yard Setback	10 ft. (20 ft. adjacent to residential)
Min. Landscape	15% of lot area
Min. Landscape Buffer	25 ft. front and adjacent to public street 10 ft. rear (20 ft. adjacent to residential) 10 ft. interior side 20 ft. street side
Max. Building Coverage	50%
Max. FAR	4 to 1
Max. Building Height	6 stories or 100 ft. including mechanical and roof structure

D. Architectural Design

1. Site Development

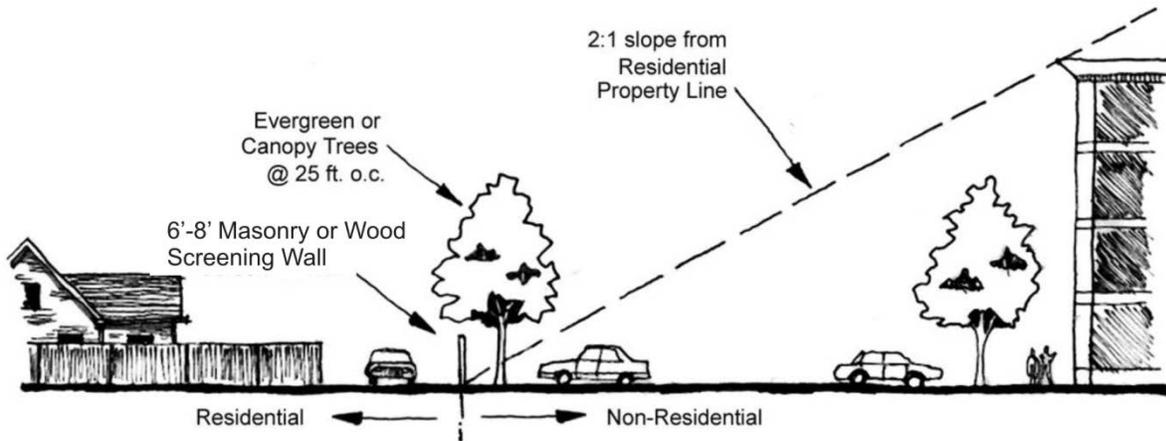
- a. Development must be sited as to maximize street presence.
- b. The location and placement of buildings on individual sites must reflect consideration for roadway access, the preservation of

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

major existing natural vegetation, visual impact and the relationship to surrounding developments.

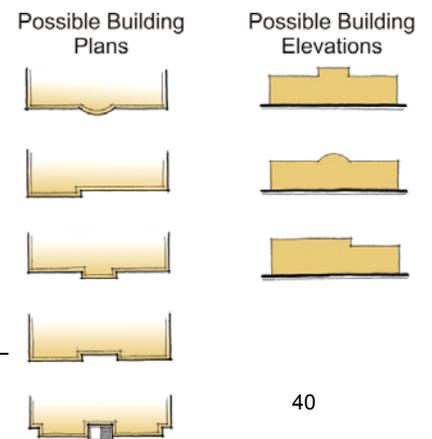
- c. In order to preserve privacy of residential properties when located adjacent to nonresidential uses in a non-mixed use setting, the building must fit within a 2:1 slope from the residential property line, regardless if distance is greater than that listed in the Dimensional Standards table above.



2. Exterior Appearance of Buildings and Structures

- a. All buildings, including accessory buildings, must be architecturally finished on all sides with the same materials, detailing and features, with a higher level of finish on the primary facades.
- b. As an alternative for facades that are not visible from a public street, a single row of trees may be planted along the building or in the landscape buffer on offset 30-foot centers in a minimum 10-foot landscape edge, where 50 percent of the trees are canopy evergreen trees. In this case, the architectural finish must match the remainder of the building in color only.

- c. Building entrances must be articulated and defined to present a strong entry presence. Such entries must be inset or offset from the front building plane by at least six feet. All buildings must be



Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

designed to incorporate no less than three of the following architectural elements. Buildings over 50,000 square feet must include a minimum of five of the following elements. Buildings over 100,000 square feet must include a minimum of seven of the following elements:

- i. Canopies, awnings, or porticos;
 - ii. Overhangs;
 - iii. Recesses or projections;
 - iv. Arcades;
 - v. Peaked roof forms;
 - vi. Arches;
 - vii. Outdoor patios;
 - viii. Display windows;
 - ix. Architectural details (such as tile work or moldings) integrated into building facade;
 - x. Articulated ground floor levels or base;
 - xi. Articulated cornice line;
 - xii. Integrated planters or wing walls that incorporate landscape and sitting areas;
 - xiii. Offsets, reveals or projecting rib used to express architectural or structural bay; or
 - xiv. Accent materials (minimum 10 percent of exterior façade).
- d. All buildings must be designed and constructed in tri-partite architecture to express a base, midsection and top. The base and tops of buildings must vary in material, and the heaviest building material must be used as the base. All facades must include:
- i. Articulated ground floor levels;
 - ii. Minimum three-foot overhangs at eaves; and
 - iii. Articulated cornice lines.

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay



- Heaviest building material located at base.
- No more than three materials in order to achieve a clean design style.
- Incorporate architectural elements
- Use of overhangs and eaves and articulated cornice lines.
- Use of windows on building elevation falls within the required 40 percent to 80 percent.

- e. All buildings must be designed to be consistent with the purpose of the I-35 Corridor Overlay zoning district. Building design must incorporate a basic level of architectural variety. All retail and commercial buildings with facades greater than 200 feet in length, visible from a public street right-of-way, must incorporate wall plane projections or recesses that are at least six feet deep. Projections and recesses must be at least 25 percent of the length of the facade. No uninterrupted length of facade may exceed 100 feet in length.
 - f. Windows must be a minimum of 40 percent up to a maximum of 80 percent of each building elevation.
3. **Building Materials and Colors**
- a. Conceptual facade plans, color palette and sample boards must be submitted with the Preliminary Site Plan application. Final facade plan and sample boards must be submitted with final site plan application for all nonresidential uses.
 - b. The color of all structures must be generally earth-tone in hue. The Director of Planning may approve accent colors that are not earth tone, but may not approve a façade that displays more than 10 percent of non-earth tone colors. No façade may display neon or florescent colors.

Article 6: Special Purpose and Overlay Zoning Districts

Sec. 6.7. I35, Interstate 35 Corridor Overlay

- c. The designer may select a variety of exterior materials for use as the dominant material on the facades of a building, but the number of materials on a single building must be limited to no more than three materials in order to achieve a clean design style.
- d. No single building material may cover more than 80 percent of the front of any building, with the exception of on-site utility or service structures.
- e. Windows must not be glazed or re-glazed with mirrored or reflective glass.
- f. Maintenance and durability of materials must be considered as important qualities for every element of the design. Special care must be taken to specify the use of vandal resistant building components.
- g. The following is a list of approved building materials and accent materials per façade (not to exceed 20 percent of materials used). The Director of Planning may approve materials not listed below.

Primary Materials: Max. 90%, Min. 70%	Accent Materials: Max. 30%, Min. 10%
Stone	Cast stone
Architectural metal	Wood
Brick	Glass block
Stucco	Tile
Granite	Granite
Marble	Marble
Painted Tilt Wall	Textured or patterned concrete
	All primary materials (other than material used to achieve the min. 80%)

E. Vehicle Sales

Where sales inventory aisles exist for an automobile, truck, motorcycle, recreational vehicle or boat sales, leasing or rental establishment, the following standards apply as exceptions to the general landscape provisions in Sec. 6.7.5E.

- 1. Parking lot islands must be located at the end of the inventory aisle, span the width of such aisle and have a minimum depth of 10 feet; and

2. Evergreen shrubs a minimum of five gallons in size must completely fill the island area.

F. Vehicle Sales in Portion of Sub-district

Where an automobile or truck sales, leasing or rental establishment is located between North General Bruce Drive and North 31st Street, north of Jack White Boulevard up to 265 feet north of the northern boundary of the public street right-of-way of Bray Street, the following standards apply, as exceptions to the corresponding general and freeway retail commercial standards:

1. **Inventory Parking Lot Islands**

- a. Parking lot islands must be located at the end of the inventory aisle, span the width of such aisle and have a minimum depth of 10 feet.
- b. Evergreen shrubs a minimum of five gallons in size must completely fill the island area.

2. **Landscape Buffer**

- a. A landscape buffer a minimum of 10 feet wide is required adjacent to Jack White Boulevard.
- b. A landscape buffer a minimum of five feet wide is required adjacent to North 31st Street.

3. **Garage and Service Bays**

- a. Garage and service bays, including but not limited to off-street loading bays and service bays used for vehicle repair and servicing, must face Jack White Boulevard and Bray Street.
- b. A wing wall or opaque landscaping is not required to screen garage and service bays as required in Sec. 6.7.5D, if landscaping along north General Bruce Drive and Jack White Boulevard is designed to screen such garages and bays.

6.7.10 City Entry Sub-District

This sub-district is the gateway into the city core, hospitals, neighborhoods, shopping, airport and industrial parks. Development should enhance the image

8.2.2 Alleys

A. Generally

Alleys need not be provided unless the Planning & Zoning Commission requires them. Where alleys are required in residential blocks, the minimum public street right-of-way width of such alleys is 20 feet.

B. Intersection of Alleys

Where two alleys intersect or turn at right angles, a diagonal of not less than 10 feet from the normal intersection of the property line is required. At other angles the Director of Public Works must review the diagonal length.

C. Dead-End Alleys

Dead-end alleys are not permitted except if a Preliminary Plat provides for the extension of the alleys, in which case temporary turnarounds that meet the requirements set forth in the Design and Development Standards Manual must be provided.

8.2.3 Sidewalks and Trails

A. Purpose

The purpose of this subsection is to provide safe, continuous pedestrian access along arterial and collector streets, for linking residential areas, neighborhood services, retail services and public facilities.

B. Where Required

1. Sidewalks must be provided in the public street right-of-way, along both sides of arterial streets and along one side of collector streets.
2. The location of new sidewalks along a collector street must be in the established pattern, or as the Director of Planning determines, considering available public street right-of-way and existing or future infrastructure, or, all factors being equal, along the north and east sides of the collector. Sidewalks must be built in accordance with the Design and Development Standards Manual.

C. Dimensional and Construction Standards

Except as modified for Industrial Parks in subsection D below, the following standards apply to sidewalks citywide.







CASE
CONSTRUCTION

Aiseo EQUIPMENT



EXIT NOW!

Now Open!

CASE

FIRST LANE



Site (1702 Bray St.)



Site (1701 Jack White St.)





Site (615 N. Gen. Bruce Dr.)



Property to North



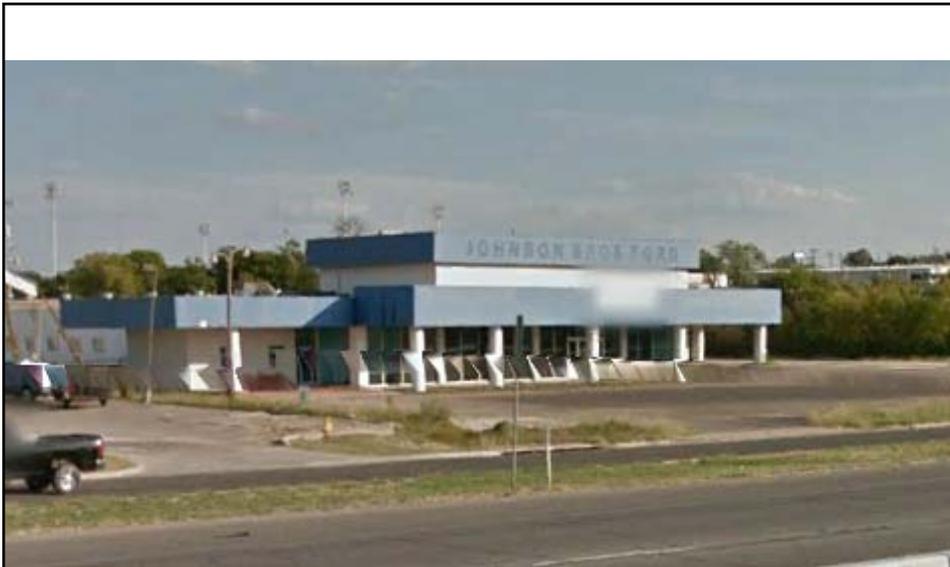
Property to East



Property to West



Property to East



Property to South



PLANNING AND ZONING COMMISSION ITEM MEMORANDUM

03/07/16
Item #3
Regular Agenda
Page 1 of 6

APPLICANT / DEVELOPMENT: Bobby Arnold (Arnold Builders)

CASE MANAGER: Mark Baker, Senior Planner

ITEM DESCRIPTION: Z-FY-16-16 Hold a public hearing to discuss and recommend action on a rezoning from Agriculture (AG) district to Single Family One (SF-1) district, on 5.888 +/- acres, situated in the Mary Cherry Survey, Abstract No. 175, Bell County, Texas, located at 4516 Hickory Road.

STAFF RECOMMENDATION: Based on the following, staff recommends approval for a rezoning from Agriculture (AG) district to Single family One (SF-1) district for the following reasons:

1. Proposed trail connectivity to Lions Park from the surrounding residential neighborhood and on-site tree preservation, help meet the objectives of the Future Land Use Plan's (FLUP) Parks and Open Space District;
2. The proposed zoning is compatible with surrounding zoning and uses;
3. The request complies with the Thoroughfare Plan; and
4. Public facilities are available to serve the subject property.

ITEM SUMMARY: The applicant, Arnold Builders, represented by Bobby Arnold, requests rezoning of 5.88 +/- acres of land from Agriculture (AG) to Single-Family One (SF-1), anticipated to be developed with a 12-lot single-family subdivision.

The location of the proposed rezoning, is bordered on the south by Lions Park Drive, which is the gateway to Lions Park. While currently zoned Agriculture, which allows single family residential development with a minimum 1 acre lot size, the district is used primarily as a holding-zone for land after annexation or used for areas containing rural land uses or undeveloped acreage that is not anticipated to be put to an urban use in the immediate future.

A companion Preliminary Plat, with the proposed name of Park Ridge, (P-FY-16-18) was reviewed by the Development Review Committee (DRC) for the same 5.88 +/- acre tract of land on February 25, 2016. The plat is proposed as a 12-Lot, 1 Block, single-family residential subdivision with lots ranging from 12,015 square feet to 21,249 square feet in area. The project site is densely vegetated and while subdivision development will remove substantial amounts of existing vegetation, due to its gateway

location, efforts should be made to preserve as much of the vegetation as possible. Additional discussion about conservation efforts are found in the Future Land Use Plan section.

The plat will be scheduled for review by the Planning & Zoning Commission, when the plat is deemed administratively complete. Additional discussion about the preliminary plat can be found in the Temple Trails Master Plan Map and Sidewalks Ordinance section of this report.

While it is anticipated the property will be developed with detached single-family homes, there are a number of residential and non-residential uses that are permitted by right in the SF-1 zoning district. The uses allowed in the SF-1 district, include but are not limited to:

Permitted & Conditional Use Table - Single Family One (SF-1)	
Agricultural Uses	* Farm, Ranch or Orchard
Residential Uses	* Single Family Residence (Detached) * Industrialized Housing * Family or Group Home
Retail & Service Uses	* None
Commercial Uses	* None
Industrial Uses	* Temporary Asphalt & Concrete Batching Plat (CUP)
Recreational Uses	* Park or Playground * Playfield or Stadium (CUP)
Vehicle Service Uses	* None
Restaurant Uses	* None
Overnight Accommodations	* None
Transportation Uses	* None

In contrast, under the current Agriculture (AG) zoning, residential and non-residential uses that are permitted by right, include but are not limited to:

Permitted & Conditional Use Table - Agriculture (AG)	
Agricultural Uses	* Farm, Ranch or Orchard * Livestock Auction (CUP) * Kennel (No Vet Hosp.) (CUP)

Residential Uses	* SF Residence (Detached) * Industrialized Housing * Family or Group Home * Home for the Aged (CUP)
Retail & Service Uses	* Exercise Gym * Veterinary Hosp. (Kennels)
Commercial Uses	* None
Industrial Uses	* Temporary Asphalt & Concrete Batching Plat (CUP) * Laboratory, medical, dental, scientific or research * Recycling collection location
Recreational Uses	* Roller or Ice Rink (CUP) * Park or Playground * Day Camp for Children * Drag Strip or Commercial Racing
Vehicle Service Uses	* None
Restaurant Uses	* None
Overnight Accommodations	* Recreational Vehicle Park (CUP)
Transportation Uses	* Airport or landing field (CUP) * Helistop / Heliport (CUP)

The surrounding uses, zoning and Future Land Use Plan designation, based on direction from the subject property are described as follows:

Surrounding Property & Uses			
Direction	FLUP	Zoning	Current Land Use
Site	Parks & Open Space	AG	Undeveloped
North	Neighborhood Conservation	SF-1	Single Family Uses (Willow Ridge)
South	Parks & Open Space	SF-1	SF Residential
East	Neighborhood Conservation	SF-1	SF Residential Uses (Ramblewood 3 rd Unit)
West	Parks & Open Space	AG	Lions Park

COMPREHENSIVE PLAN (CP) COMPLIANCE: The proposed rezoning relates to the following goals, objectives or maps of the Comprehensive Plan and Sidewalk and Trails Plan:

Document	Policy, Goal, Objective or Map	Compliance?
CP	Map 3.1 - Future Land Use Plan (FLUP)	NO
CP	Map 5.2 - Thoroughfare Plan	YES
CP	Goal 4.1 - Growth and development patterns should be consistent with the City's infrastructure and public service capacities	YES
STP	Temple Trails Master Plan Map and Sidewalks Ordinance	YES

CP = Comprehensive Plan STP = Sidewalk and Trails Plan

Future Land Use Plan (FLUP) (CP Map 3.1)

The subject property is entirely within the Parks and Open Space land use district. The Park and Open Space district is intended for and includes the local park system and other outdoor recreation areas and open spaces available for public use and enjoyment. Due to its proximity to Lions Park, the original intent for the current designation was presumably for the subject property to be incorporated into Lions Park and was designated Parks and Open Space. The incorporation did not occur but currently retains the designation as such. The subject property, proposed for single family uses as a single family residential subdivision is not consistent with the current Future Land Use Plan designation.

While the proposed rezoning is not consistent, the Goals, Objectives and Action Recommendations identified by the Temple Comprehensive Plan (Choices "08"), related to preservation and conservation of open space can be considered.

As indicated earlier in this report, consideration can be accomplished by trail connectivity from the neighborhood and the selective incorporation the existing vegetation into the overall subdivision lot design. While revisions to the preliminary plat have not been finalized, staff is working closely with the developer for a potential tree preservation strip along Lions Park Drive. Trail / sidewalk connectivity and tree preservation would mitigate the impacts of residential development adjacent to Lions Park. Additional trail discussion can be found in the Temple Trails Master Plan Map and Sidewalks section of this report.

Further, as stated in Choices 08 related to the Quality of Open Space:

Land to be dedicated for eventual park and recreation use, passive open space or potential trail or linear greenway development, development must be useable, safe and accessible to provide a true public benefit.

While it is understood that this property is not being dedicated for public use as parkland or open space, its proximity to the Lions Park warrant the applicability of the goals in order integrate and mitigate the impacts of the residential use.

In conclusion, while the SF-1 zoning is not consistent with the Parks and Open Space Future Land Use designation, impacts can be reduced by:

1. Incorporating existing landscaping into the subdivision lot design;
2. Creating a preservation strip along Lions Park Drive, and
3. Providing trail / sidewalk connection opportunity into the plat,

Since the proposed lot sizes is supported by the Suburban Residential land use district, if the rezoning is approved, the Future Land Use Plan will need to be amended.

Thoroughfare Plan (CP Map 5.2)

The subject property takes access from Hickory Road, a minor arterial road and Lions Park Road, a local street, as identified on the most current Thoroughfare Plan. The preliminary plat for Park Ridge, proposes, one local street as a cul de sac for the 12-lot subdivision. Right-of-way requirements and any improvements will be addressed at the platting stage.

Availability of Public Facilities (CP Goal 4.1)

Water is available through either an existing 12-inch waterline in Hickory Road and Lions Park Drive. At the time of development, water will be extended into the length of a proposed cul-de-sac by a proposed 8-inch waterline. Sewer will need to be extended from an existing 6-inch sewer line in Hickory Road. Further it will be extended the length of a proposed cul-de-sac to serve the subdivision by a proposed 6-inch sewer line.

Temple Trails Master Plan Map and Sidewalks Ordinance

While there is an existing striped bike lane in Hickory Road, the Trails Master Plan does not identify any trail requirements along Hickory Road or Lions Park Drive. However, as a minor arterial, Hickory Road is required to have a 6-foot wide sidewalk on both sides. Sidewalk improvements are addressed at the platting and building permit stages of review. In conjunction with the concurrent platting process, trail and sidewalk connectivity to Lions Park has been discussed. Sidewalk connections leading into Lions Park, providing pedestrian connectivity to the existing Lions Park Nature Trail, a National Recreation Trail (NRT), as recognized by the National Park Service, would be a benefit.

In addition, staff has discussed the opportunity to extend the proposed required sidewalk along Hickory Road, approximately 160 feet to its intersection with White Oak Drive. The extension of the sidewalk is being explored as a candidate for a 380 Agreement with the potential for 100% reimbursement for sidewalk construction along Hickory Road from the City along with a potential 50/50 cost share for the sidewalk/trail along Lions Park Drive.

Along the Lions Park Drive-portion of the proposed sidewalk/trail, the use of decomposed granite as an alternative trail material has been discussed with the applicant. The Parks and Recreation Department is supportive of this approach; however, discussions are on-going.

A parkland dedication fee of \$2,700.00 is required for the residential plat. Staff is exploring using the funds toward tree planting between the sidewalk and backyard fencing of the new development. This use of funds does not require an exception to parkland fees and would be addressed with the

subdivision plat. Additional discussion about the platting process can be found in the Item Summary section of this report.

DEVELOPMENT REGULATIONS: Residential setbacks in the Agriculture (AG) & General Retail (GR) districts are:

	Current (AG)	Proposed (SF-1)
Minimum Lot Size	1 Acre	7500 Square Feet
Minimum Lot Width	100 Feet	60 Feet
Minimum Lot Depth	150 Feet	100 Feet
Front Setback	50 Feet	25 Feet
Side Setback	15 Feet	10% of Lot Width – Max 7.5 Feet
Side Setback (corner)	15 Feet	15 Feet
Rear Setback	10 Feet	10 Feet
Max Building Height	3 Stories	2 Stories

PUBLIC NOTICE: Nine notices to property owners within 200-feet of the subject property were sent notice of the public hearing as required by State law and City Ordinance. As of Thursday March 3, 2016 at 3:00 PM, no notices have been received. An update regarding late notices, will be provided at the Planning & Zoning Commission meeting, if necessary.

The newspaper printed notice of the public hearing on February 25, 2016, in accordance with state law and local ordinance.

PROPOSED CITY COUNCIL MEETING SCHEDULE: This rezoning is scheduled for the 1st Reading on April 7, 2016 and a 2nd Reading on April 21, 2016.

FISCAL IMPACT: Not Applicable

ATTACHMENTS:

- Site and Surrounding Property Photos
- Preliminary Plat for Park Ridge subdivision (Exhibit A)
- Aerial Map
- Zoning Map
- Future Land Use and Character Map
- Thoroughfare & Trails Map
- Utility Map
- Notification Map

Site & Surrounding Property Photos



Site – Hickory Road Frontage: Undeveloped (AG)



Site – Lions Park Drive Frontage: Undeveloped (AG)



North: Single-Family Uses in Willow Ridge subdivision (SF-1)



North: Close-up view of mature vegetation on subject property (as seen from) adjacent SF residences in Willow Ridge subdivision (SF-1 & AG)



South: Undeveloped Grazing Land (SF-1)



**East: Single Family Uses
Ramblewood 3rd Unit subdivision
(SF-1)**



**East: Single Family Residential Uses
Ramblewood 3rd Unit subdivision
(SF-1)**



West: Lions Park (AG)



West: Approx. Boundary between Lions Park & Project Site (AG)



West: Lions Park Nature Trail (AG)



AG to SF-1

AERIAL MAP

Zoning Case :
Z-FY-16-16

Address :
4516 Hickory Road

- Streets
- EXPRESSWAY
 - MAJOR ARTERIAL
 - COLLECTOR
 - LOCAL STREET
 - MINOR ARTERIAL
 - PRIVATE
 - RAMP
 - Railroad
 - Temple Municipal Boundary
 - Parcels
 - ETJ Parcels
 - CaseArea

GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.

mbaker
Date: 1/25/2016





AG to SF-1

ZONING MAP

Zoning Case :
Z-FY-16-16

Address :
4516 Hickory Road

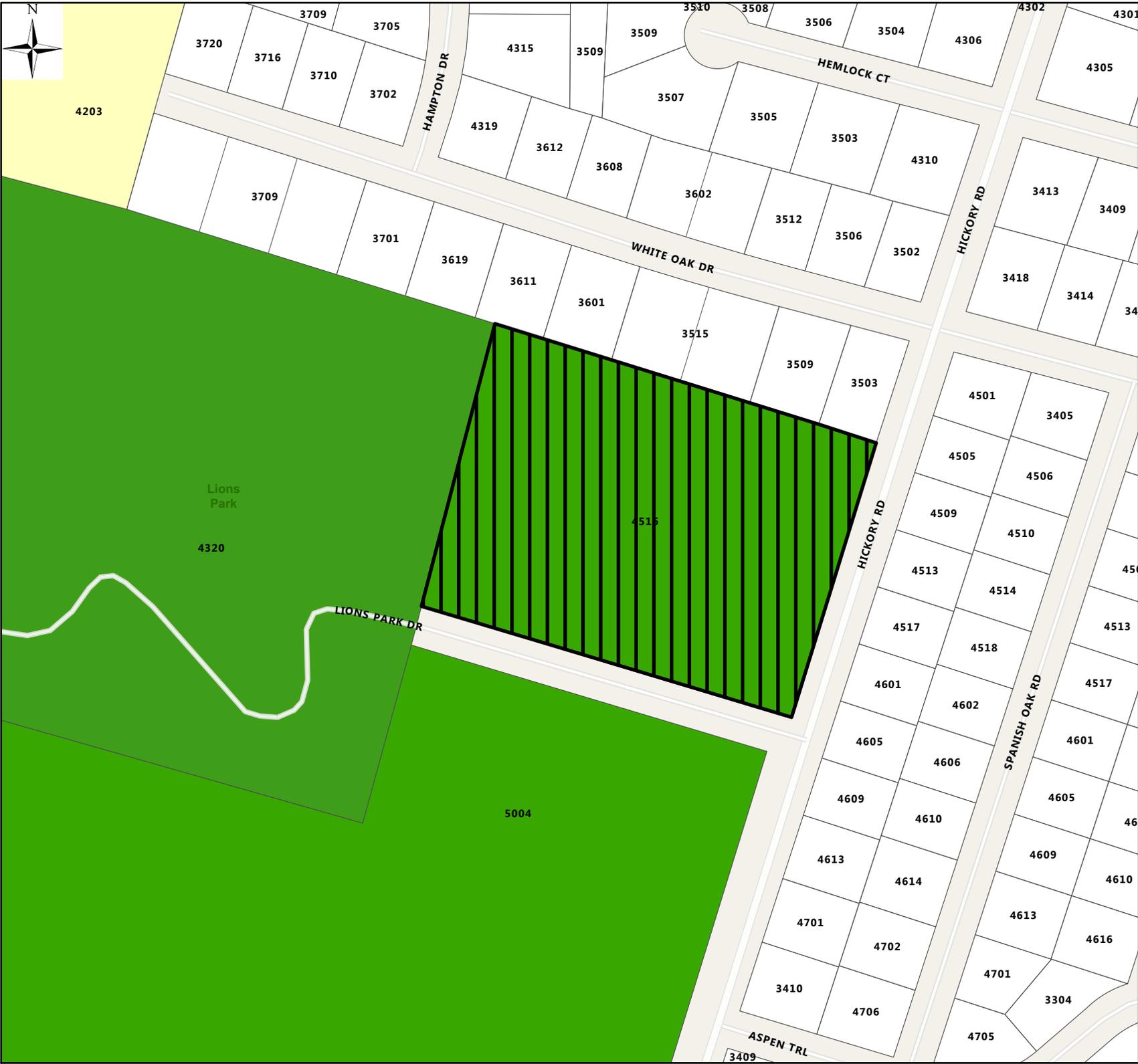
CurrentZoning		

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mbaker

Date: 1/25/2016





AG to SF-1
**FUTURE LAND
 USE MAP**
 Zoning Case :
 Z-FY-16-16
 Address :
 4516 Hickory Road

- EXPRESSWAY
- MAJOR ARTERIAL
- COLLECTOR
- LOCAL STREET
- MINOR ARTERIAL
- PRIVATE
- RAMP
- Parcels
- Future LUP
 - Agricultural/Rural
 - Auto-Urban Commercial
 - Auto-Urban Mixed Use
 - Auto-Urban Multi-Family
 - Auto-Urban Residential
 - Business Park
 - Estate Residential
 - Industrial
 - Neighborhood Conservation
 - Parks & Open Space
 - Public Institutional
 - Suburban Commercial
 - Suburban Residential
 - Temple Medical Education District
 - Urban Center
- CaseArea

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mbaker
 Date: 1/25/2016





AG to SF-1

UTILITY MAP

Zoning Case :
Z-FY-16-16

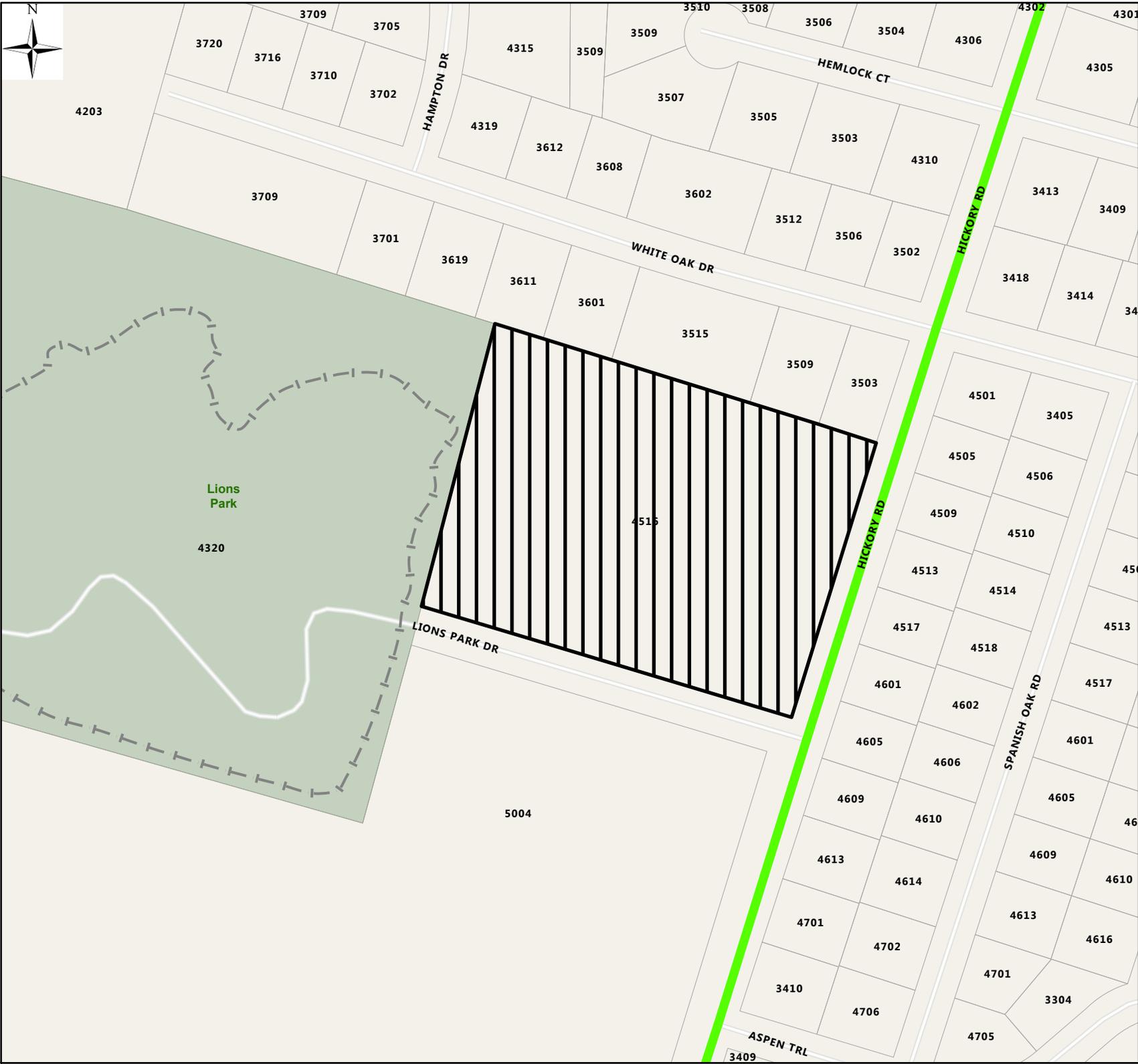
Address :
4516 Hickory Road

-  Manhole
-  Gravity Main
-  Hydrant
-  Main
-  Parcels
-  CaseArea

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mbaker
Date: 1/25/2016





**AG to SF-1
THOROUGHFARE
AND TRAILS MAP**

Zoning Case :
Z-FY-16-16

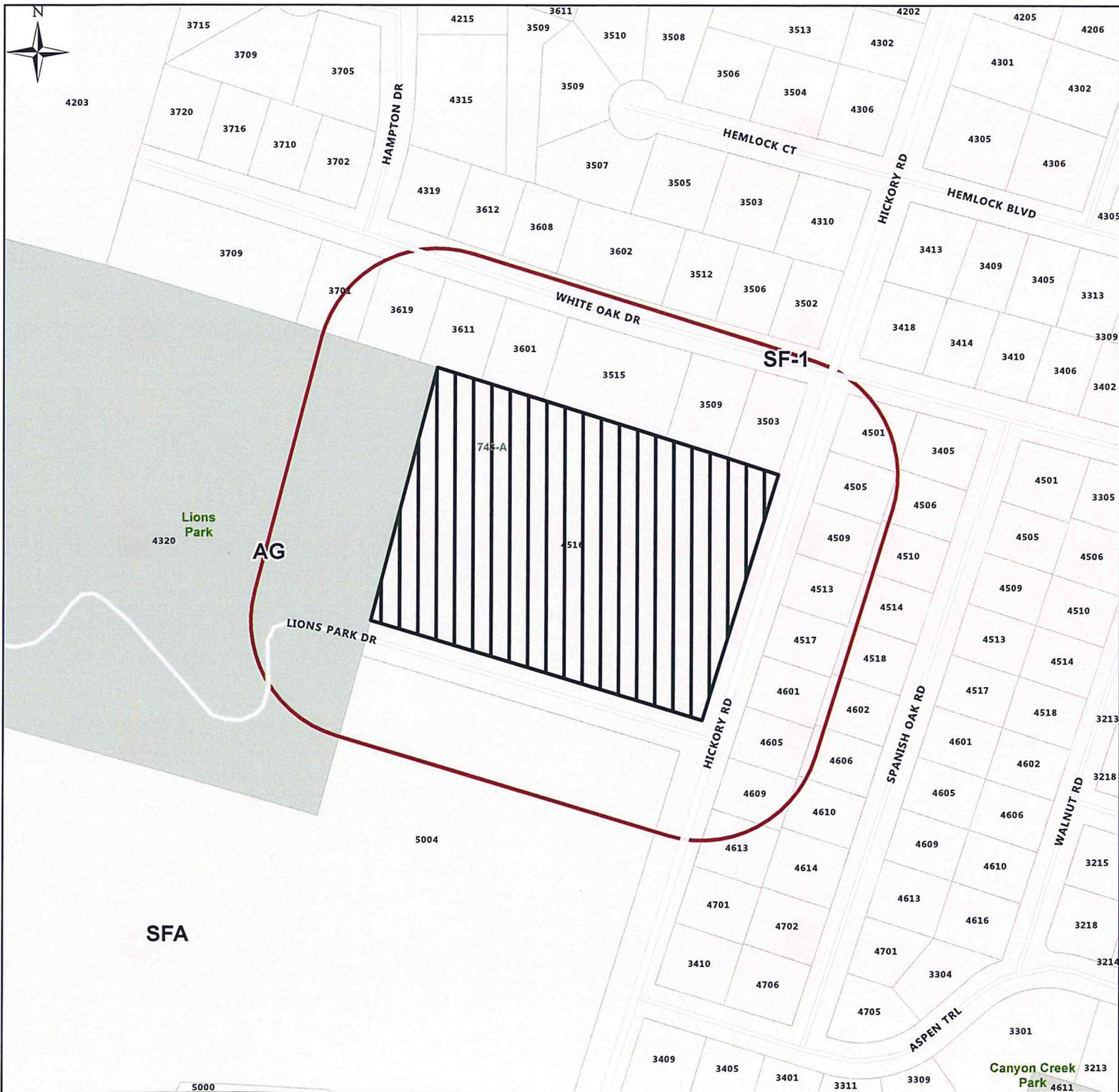
Address :
4516 Hickory Road

- Parcels
- Expressway
- Major Arterial
- Proposed Major Arterial
- Minor Arterial
- Proposed Minor Arterial
- Collector
- Proposed Collector
- CaseArea
- PROPOSED, COMMUNITY WIDE CONNECTOR
- PROPOSED, LOCAL CONNECTOR
- EXISTING, CITY WIDE SPINE
- EXISTING, COMMUNITY WIDE CONNECTOR
- EXISTING, LOCAL CONNECTOR
- PROPOSED, CITY WIDE SPINE

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mbaker
Date: 1/25/2016





AG to SF-1
 200'
 NOTIFICATION MAP

Zoning Case :
 Z-FY-16-16
 Address :
 4516 Hickory Road

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mbaker
 Date: 1/25/2016





PLANNING AND ZONING COMMISSION ITEM MEMORANDUM

03/07/16
Item #4
Regular Agenda

Applicant: Will Morris, Morris Venture Partners VI, LLC

Case Manager: Dessie Redmond, Planner

Item Description: Public Hearing – TMED-FY-16-01 – Hold a public hearing to consider and recommend action to amend Ordinance No. 2014-4689, for a Temple Medical Education District (TMED) Planned Development (PD) District site plan on 1.27 acres +/-, Lot 1, Block 1, Shoppes on the Hill Subdivision, to allow for a drive-through restaurant, located at 2304 South 31st Street.

Staff Recommendation: Staff recommends approval of the proposed site plan to allow for a drive-through restaurant located at 2304 S 31st Street, which has been determined to meet all of the Development Plan Review Criteria in Section 3.4.5.

Item Summary:

The applicant has submitted a site plan for a proposed restaurant with a drive-through. On the subject property, in October of 2014, a rezoning from TMED T5-c to PD TMED T5-c (Ordinance Number 2014-4689) was approved by Council. Therefore, the subject property is currently zoned PD TMED T5-c. Ordinance 2014-4689 allows for a drive-through to be permitted for a proposed restaurant on Lot 1 but the additional drive-through requires a site plan submittal and a P&Z review, followed by City Council approval.

Compliance with Ordinance 2014-4689:

1. Front setback requirements.
2. 1-story building height.
3. Allowing a commercial surface parking lot.
4. Drive-through permitted for a proposed restaurant.

Compliance with the UDC:

1. Circulation standards
2. Access and connectivity standards.
3. Minimum parking ratios and parking space dimensions.
4. Bike rack requirements.
5. Landscape standards related to street frontage, tree mix, irrigation, pre-approved plant species selections and parking lot screening with a landscaping plan that exceeds the 20% minimum landscape area standard.
6. Screening of waste containers.
7. Sidewalks extending the entire length of the development's frontage on South 31st Street and Scott Boulevard.
8. Rear and Side setback requirements.
9. Sidewalk connections to parking within the lot, to primary entrances of each residential building, to all associated outdoor amenities and to the perimeter street sidewalk system.
10. Exterior finish materials and percentages.
11. Compatibility with surrounding zoning and uses.

12. The proposed Planned Development site plan must meet all applicable Unified Development Codes (UDC), Engineering/Drainage, Building Codes, and Fire Codes during the building permit process, regardless of any approved site plan.
13. The site plan also meets the outdoor seating requirement that is currently going through the code amendment process as an additional code requirement.

Planned Development (UDC Sec. 3.4): The subject property has a PD zoning overlay district, a PD is a flexible overlay zoning district designed to respond to unique development proposals, special design considerations and land use transitions by allowing evaluation of land use relationships to surrounding areas through development plan approval.

As part of the Planned Development request, a Development Plan (Site Plan) is required for review and consideration by the Planning and Zoning Commission and City Council.

Development Plan Review Criteria (UDC Sec. 3.4.5): In determining whether to approve, approve with conditions or deny a Planned Development application, the Planning & Zoning Commission and City Council must consider the following criteria:

- A. The plan complies with all provisions of the Design and Development standards manual, the UDC and other ordinances of the City,
- B. The environmental impact of the development relating to the preservation of existing natural resources of the surrounding properties and neighborhood is mitigated,
- C. The development is in harmony with the character, use and design of the surrounding area,
- D. Safe and efficient vehicular and pedestrian circulation systems are provided,
- E. Off-street parking and loading facilities are designed to ensure that all such spaces are useable and are safely and conveniently arranged, and
- F. Streets are designed with sufficient width and suitable grade and location to accommodate prospective traffic and to provide access for firefighting and emergency equipment to buildings.

Additional Standards (UDC Sec. 3.4.2C): In approving a Planned Development, the City Council may require additional standards deemed necessary to create a reasonable transition to, and protection of, adjacent property and public areas, including but not limited to, access and circulations, signs, parking, building design, location and height, light, landscaping, property owners associations, open space, topography and screening.

Expiration (UDC Sec. 3.4.7): If no development has occurred on a Planned Development-zoned tract or lot within two years of the date of approval, the Planning and Zoning Commission and City Council may require a new public hearing to evaluate the appropriateness of the previously authorized Planned Development approval.

Design Review Committee: The Design Review Committee (DRC) will review and discuss the proposed Development Plan at their March 7, 2016 meeting.

Land Use: Some of the uses permitted by right in the T5-c district include, but are not limited to:

Residential uses

- Single-Family (Attached)
- Multi-family (with limitations)

Nonresidential uses

- Assisted Living (with limitations)
- Hospital
- All Retail
- Restaurant (no drive-through, however, permitted per Ordinance No. 2014-4689)
- On-premise alcohol consumption (with a CUP)

Prohibited uses include Single-Family (Detached), all industrial and manufacturing uses, fuel sales.

Surrounding Property And Uses: The following table provides the direction from the property, Future Land Use Plan (FLUP) designation, existing zoning and current land uses:

<u>Direction</u>	<u>FLUP</u>	<u>Zoning</u>	<u>Current Land Use</u>
Site	Auto Urban Commercial	T5-c	Currently being developed
North	Suburban Commercial	T5-c	Undeveloped
South	Auto Urban Commercial	GR	Retail
East	TMED	SD-H (TMED)	BS&W Hospital
West	Auto Urban Commercial	T5-c	Retirement Community

Comprehensive Plan Compliance: The proposed amendment relates to the following goals, objectives or maps of the Comprehensive Plan (CP) and Sidewalk and Trails Plan (STP):

Document	Policy, Goal, Objective or Map	Compliance?
CP	Map 3.1 - Future Land Use and Character (FLUP)	Yes
CP	Map 5.2 - Thoroughfare Plan	Yes
CP	Goal 4.1 - Growth and development patterns should be consistent with the City's infrastructure and public service capacities	Yes
STP	Temple Trails Master Plan Map and Sidewalks Ordinance	Yes

Future Land Use and Character Plan (FLUP) (CP Map 3.1)

The site is designated as Auto Urban Commercial on the Comprehensive Plan's FLUP; therefore, the proposed development complies with the Plan. As part of the Planned Development, a site (development) plan (attached) is required to be submitted and reviewed by the Planning and Zoning Commission and City Council.

Thoroughfare Plan (CP Map 5.2)

- Scott Boulevard (Collector) – right-of-way width is 94', which exceeds the City's minimum standards for the classification (55')
- S. 31st Street (Major Arterial) – right-of-way width varies from 114' to 125', which exceeds the City's minimum standards for the classification (70')

Availability of Public Facilities (CP Goal 4.1)

Existing 8-inch water and sanitary sewer lines exists in the south right-of-way of Scott Boulevard. Existing 6-inch, 8-inch, and 12-inch water lines exist in the west right-of-way of South 31st Water will be provided through 8-inch water lines. Sewer will be provided through 8-inch, 10-inch, and 18-inch sanitary sewer lines. Storm sewer drainage will be carried through 18-inch and 24-inch reinforced concrete pipes (RCP).

Temple Trails Master Plan Map and Sidewalks Ordinance

According to Parks and Leisure Services, both required sidewalks (on 31st Street and Scott Boulevard) will serve the City's Citywide Trails Master Plan as part of a pedestrian network. Provided the trails / sidewalks meet the TMED requirements, the walks are seen as sufficient in meeting the Citywide Trails Master Plan requirements as well.

Development Regulations In The T5-c District:

Min Lot Size	N/A
Min Lot Width	18'
Min. Front	4'
Max. Front	12'
Impervious Cover	80% max

Public Notice: Five notices for the Planning and Zoning Commission public hearing were sent out to property owners within 200-feet of the subject property. As of Thursday March 3, 2016 no responses from neighbors had been returned.

Fiscal Impact: Not Applicable

Attachments:

Zoning Map
Notification Map
Location Map
Aerial Map
Utilities Map
Thoroughfare and Trails Map
Future Land Use Plan
Site Photos
Site Plan
Landscape Plan
Elevations
TMED Regulating Plan
Ordinance Number 2014-4689



2401
PropID:
104250

T5-C

SCOTT BLVD

SCOTT BLVD

SCOTT BLVD

2304
PropID:
460343

T5-C

SD-H

2401
PropID:
370895

T5-C

1749
PropID:
332162

S 31ST ST

2320
PropID:
460345

2310
PropID:
460347

T5-C

PD-T5-c

200'

ZONING MAP

Zoning Case :
TMED-FY-16-01

Address :

2304 S 31st Street

CurrentZoning	O-1	AG - CUP
HI - CUP	O-1 - CUP	MH
UE	O-1 - PD	MH - CUP
UE - PD	O-2	MH - PD
SF-1	O-2 - CUP	MU
SF-1 - CUP	O-2 - PD	MU - CUP
SF-1 - PD	NS	SD-C
SF-2	NS - CUP	SD-C - CUP
SF-2 - PD	NS - PD	SD-H
SF-3	GR	SD-H - CUP
SF-3 - PD	GR - CUP	SD-T
SF-3 - CUP, PD	GR - PD	SD-V
SFA	GR - CUP, PD	T4
SFA-2	CA	T4 - PD
SFA-2 - PD	CA - CUP	T4 - CUP
SFA-3	CA - PD	T5-C
SFA-3 - PD	C	T5-C - CUP
2F	C - CUP	T5-C - PD
2F - CUP	C - PD	T5-E
2F - PD	C - CUP, PD	T5-E - CUP
MF-1	LI	T5-E - PD
MF-1 - CUP	LI - CUP	NO BASE
MF-1 - PD	LI - PD	CUP
MF-2	LI - CUP, PD	PD
MF-2 - CUP	HI	CaseArea
MF-2 - PD	HI - PD	Buffer
MF-3 - PD	AG	

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dredmond

Date: 2/24/2016





2401
PropID:
104250

SCOTT BLVD

SCOTT BLVD

SCOTT BLVD

2304
PropID:
460343

1749
PropID:
332162

2401
PropID:
370895

S 31ST ST

2320
PropID:
460345

2510
PropID:
460347

PD-T5-c

200' NOTIFICATION MAP

Zoning Case :
TMED-FY-16-01

Address :
2304 S 31st Street

 CaseArea

 Buffer

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dredmond
Date: 2/24/2016





2401

SCOTT BLVD

2304

S 31ST ST

1749

2320

2510

PD-T5-c

LOCATION MAP

Zoning Case :
TMED-FY-16-01

Address :
2304 S 31st Street

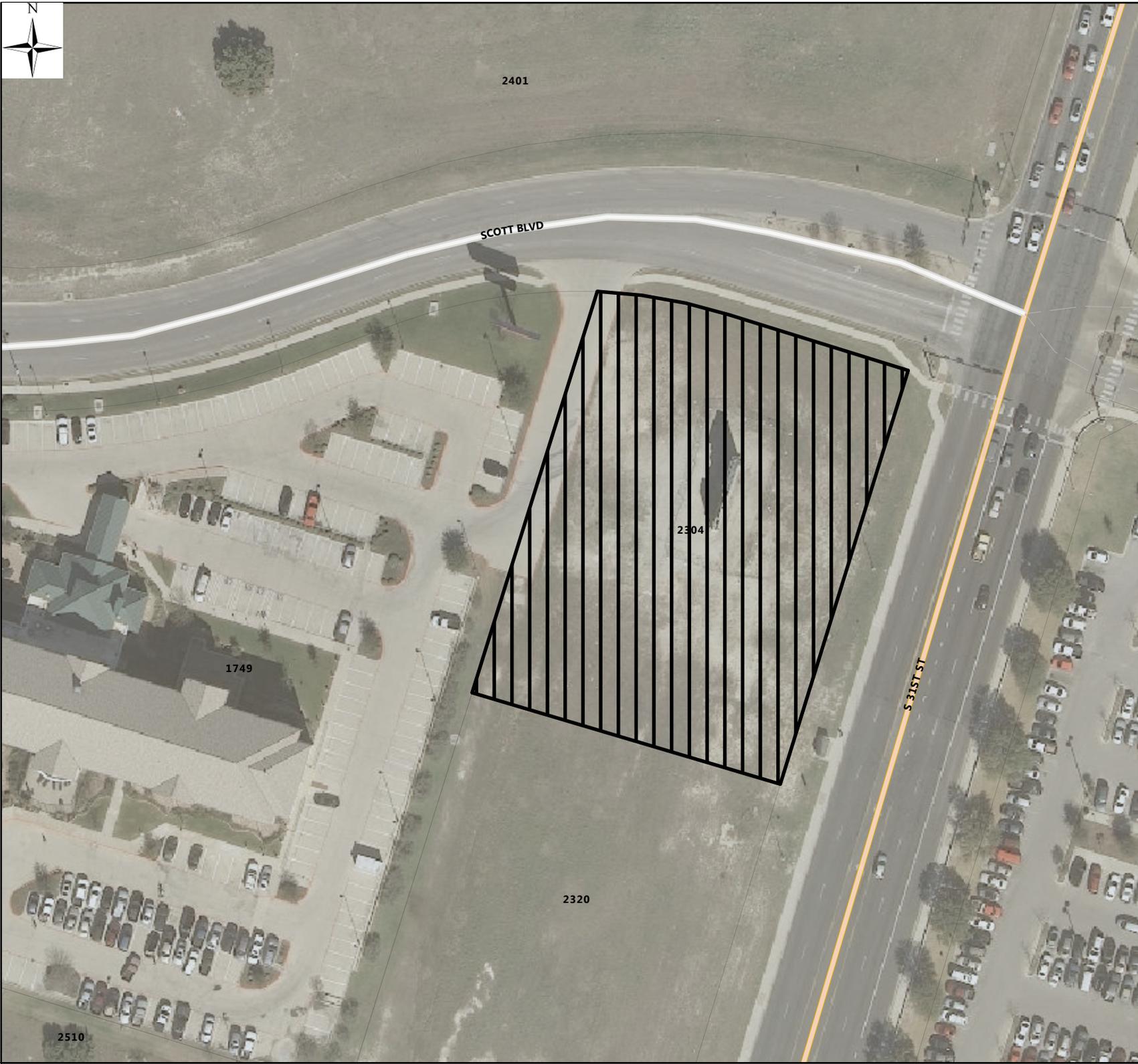
Streets

-  EXPRESSWAY
-  MAJOR ARTERIAL
-  COLLECTOR
-  LOCAL STREET
-  MINOR ARTERIAL
-  PRIVATE
-  RAMP
-  Railroad
-  Temple Municipal Boundary
-  Parcels
-  ETJ Parcels
-  CaseArea

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dredmond
Date: 2/24/2016





PD-T5-c

AERIAL MAP

Zoning Case :
TMED-FY-16-01

Address :
2304 S 31st Street

- Streets
-  EXPRESSWAY
 -  MAJOR ARTERIAL
 -  COLLECTOR
 -  LOCAL STREET
 -  MINOR ARTERIAL
 -  PRIVATE
 -  RAMP
 -  Railroad
 -  Temple Municipal Boundary
 -  Parcels
 -  ETJ Parcels
 -  CaseArea

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dredmond
Date: 2/24/2016



PD-T5-c

UTILITY MAP

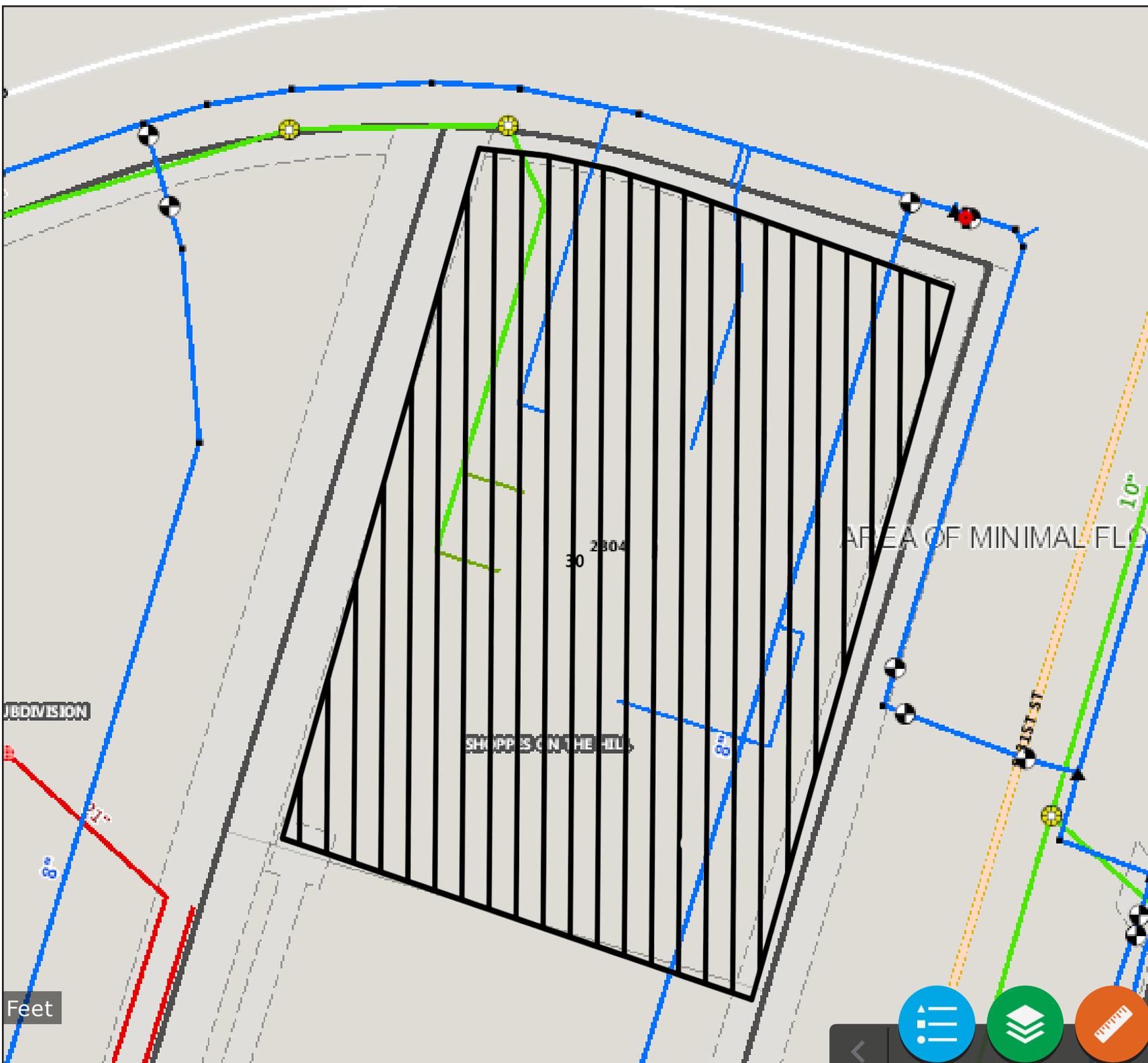
Zoning Case :
TMED-FY-16-01

Address :
2304 S 31st Street

-  Manhole
-  Gravity Main
-  Hydrant
-  Main
-  Parcels
-  CaseArea

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dredmond
Date: 2/24/2016



UBDIVISION

SHIPPERS ON THE HILL

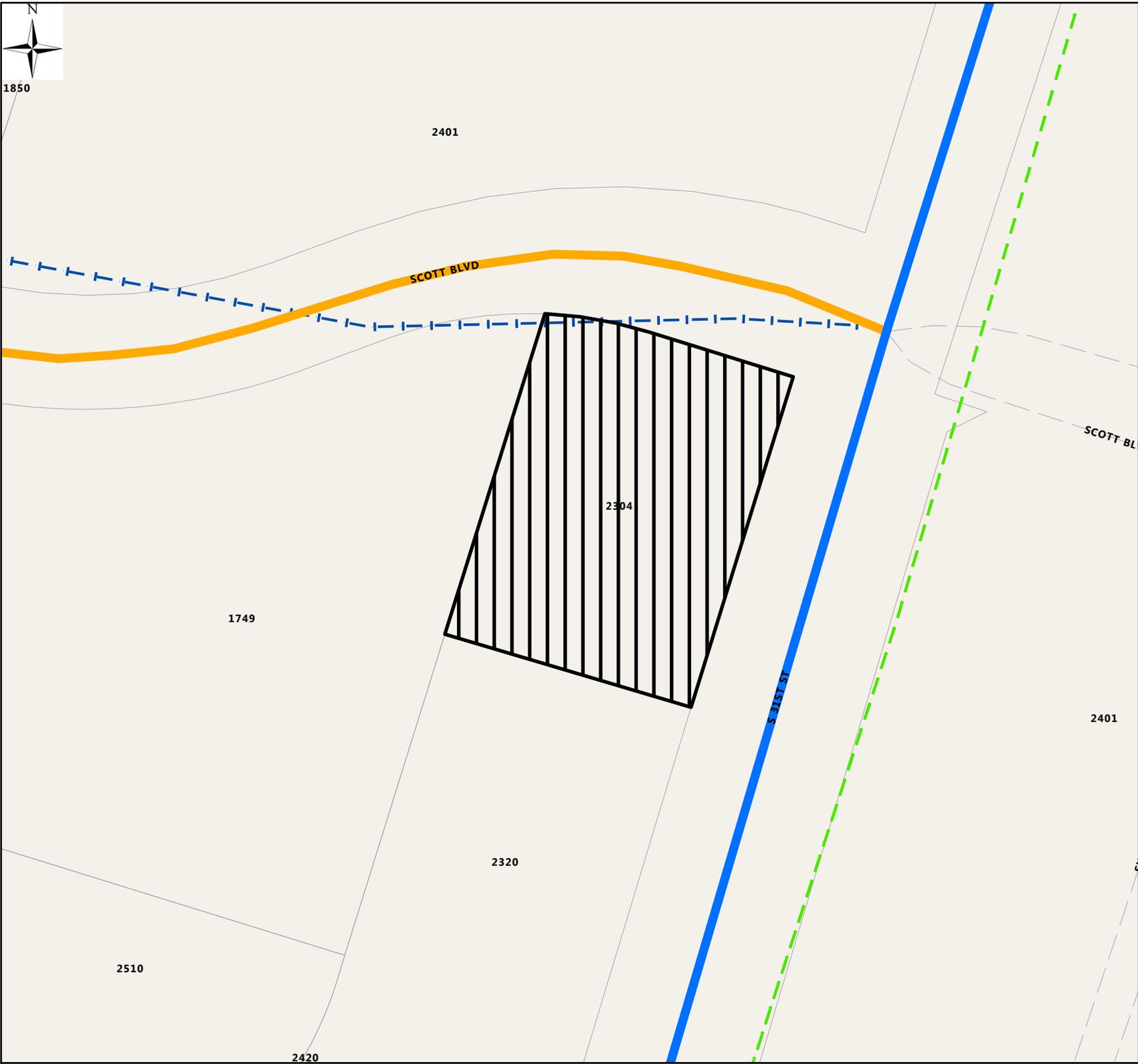
2304
30

AREA OF MINIMAL FLOW

31ST ST

Feet





PD-T5-c
THOROUGHFARE
AND TRAILS MAP

Zoning Case :
 TMED-FY-16-01

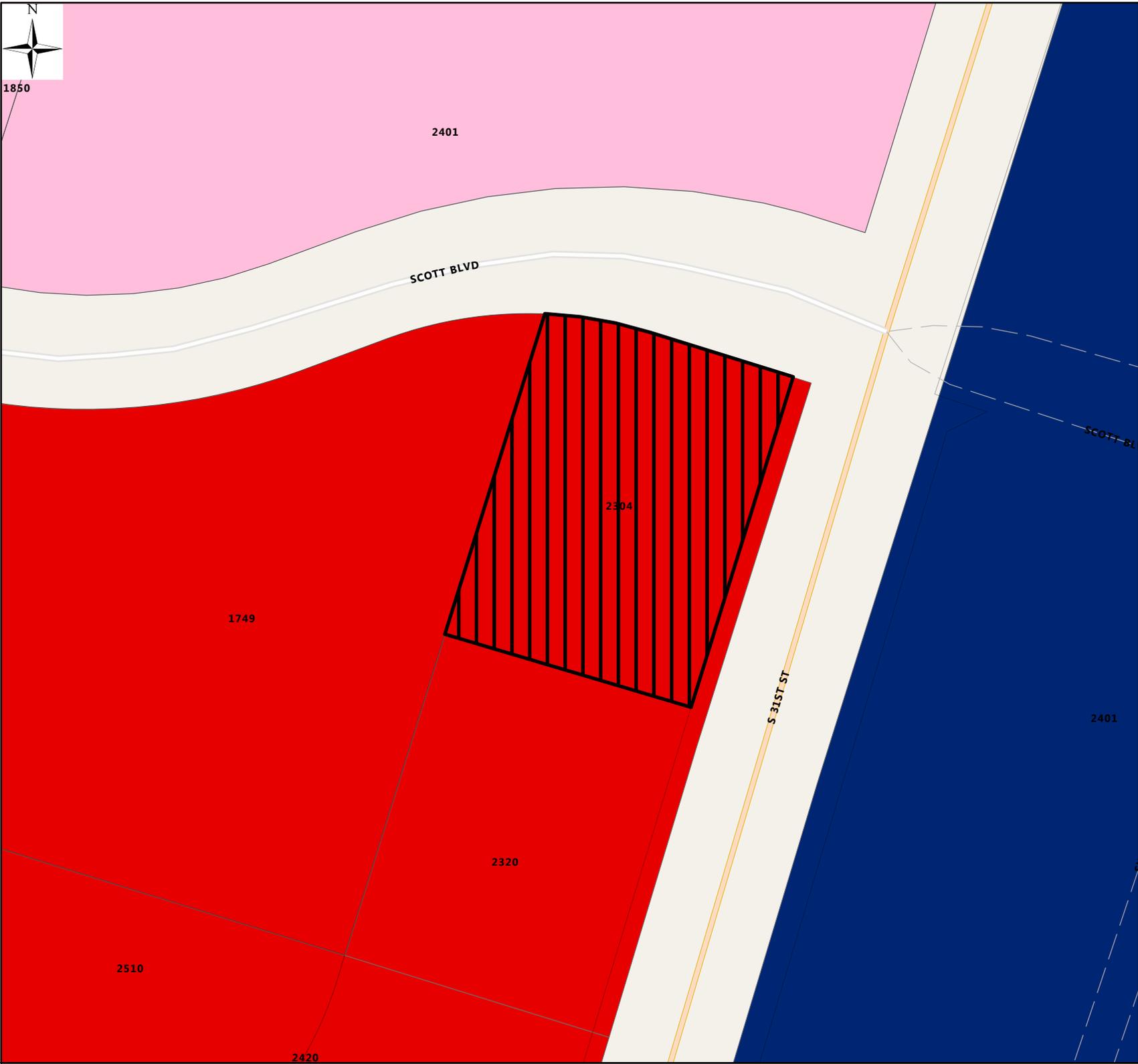
Address :
 2304 S 31st Street

- Parcels
- Expressway
- Major Arterial
- Proposed Major Arterial
- Minor Arterial
- Collector
- Proposed Collector
- PROPOSED, COMMUNITY WIDE CONNECTOR
- PROPOSED, LOCAL CONNECTOR
- CaseArea
- EXISTING, CITY WIDE SPINE
- EXISTING, COMMUNITY WIDE CONNECTOR
- EXISTING, LOCAL CONNECTOR
- PROPOSED, CITY WIDE SPINE

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dredmond
 Date: 2/24/2016





PD-T5-c
**FUTURE LAND
 USE MAP**
 Zoning Case :
 TMED-FY-16-01
 Address :
 2304 S 31st Street

- EXPRESSWAY
- MAJOR ARTERIAL
- COLLECTOR
- LOCAL STREET
- MINOR ARTERIAL
- PRIVATE
- RAMP
- Parcels
- CaseArea
- Future LUP
 - Agricultural/Rural
 - Auto-Urban Commercial
 - Auto-Urban Mixed Use
 - Auto-Urban Multi-Family
 - Auto-Urban Residential
 - Business Park
 - Estate Residential
 - Industrial
 - Neighborhood Conservation
 - Parks & Open Space
 - Public Institutional
 - Suburban Commercial
 - Suburban Residential
 - Temple Medical Education District
 - Urban Center

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dredmond
 Date: 2/24/2016



Looking south down 31st Street.

31st Street

subject property

PROPOSED LAND USE CASE
#...
For information, call
(254) 298-5668

PIPE
DIVISION
ATMOS

2011.5

Looking south through subject property.



For Information:
254.778.6675
CHARTER
REAL ESTATE

2304

subject property

Looking east through subject property.

subject property

Scott Blvd.

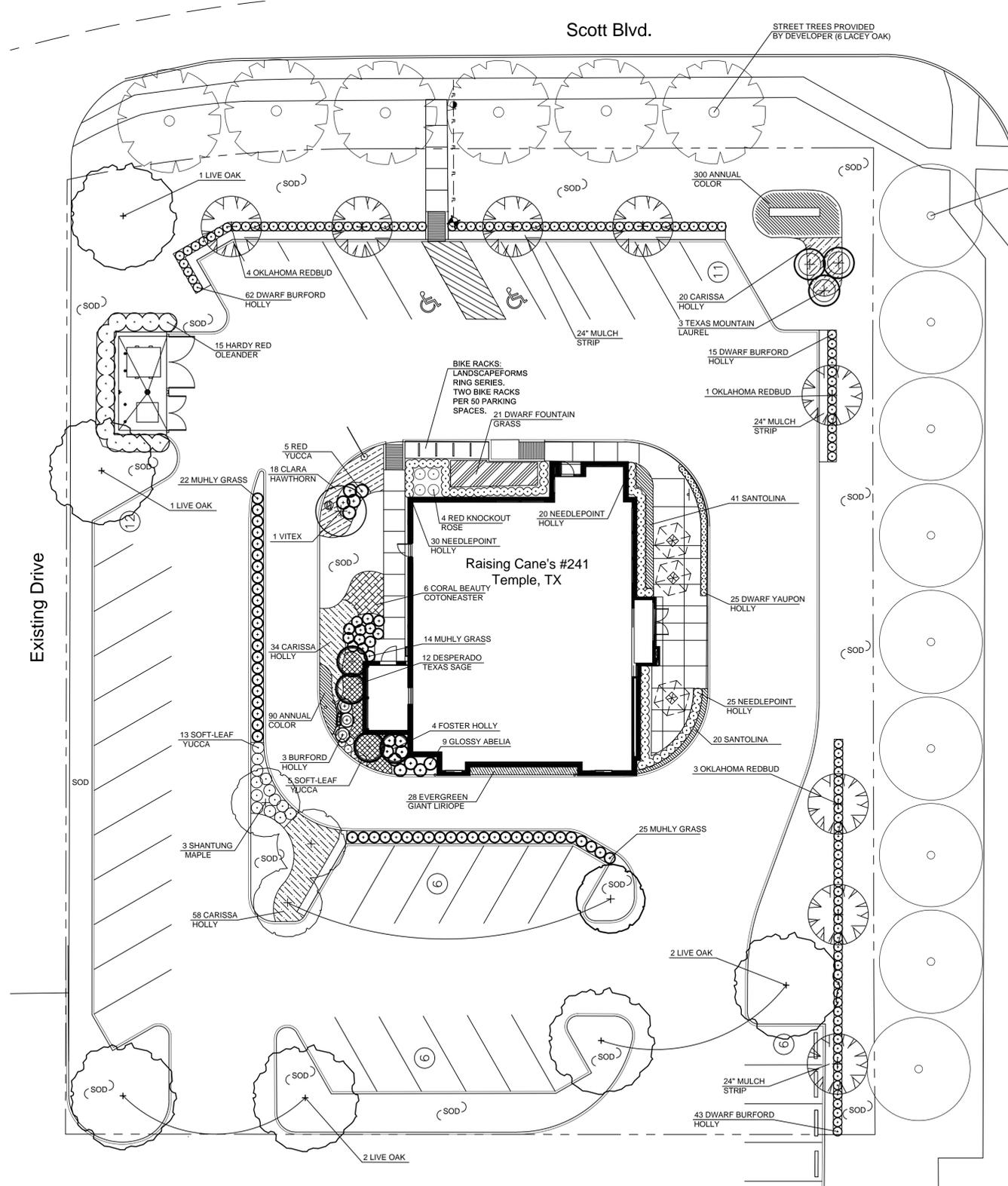


Looking east down Scott Blvd.



subject property

Scott Blvd.

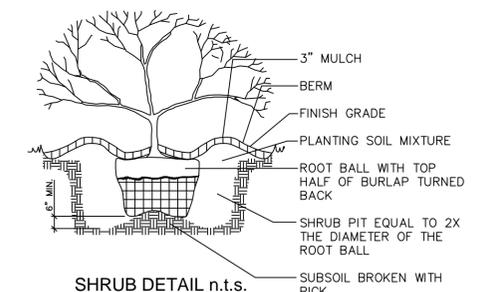
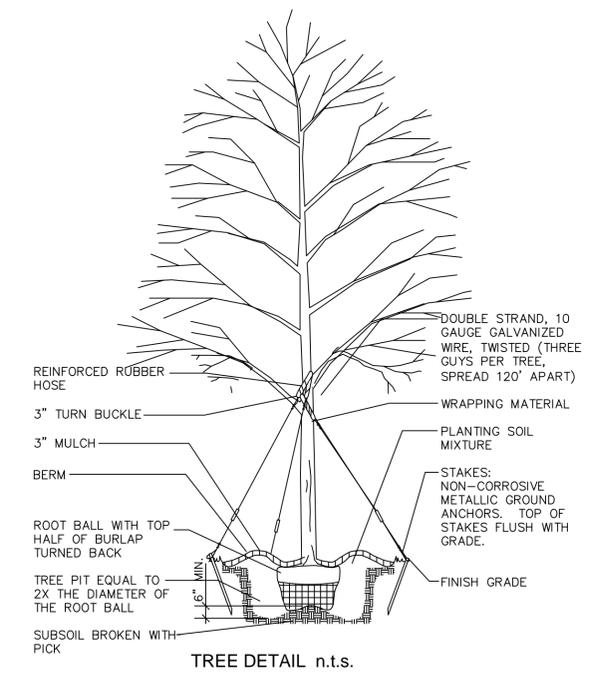


Plant Schedule RC#241 Temple TX 03/01/2016

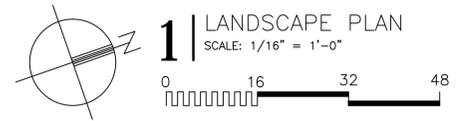
Qty	Common Name	Botanical Name	Size	Planting	Remarks
6	Live Oak	Quercus virginiana	3" DBH	as shown	Full, container grown
8	Oklahoma Redbud	Cercis reniformis 'Oklahoma'	2"	as shown	Full, container grown
3	Texas Mountain Laurel	Sophora secundiflora	6"	as shown	Full, specimen form, container grown
1	Abbeville Blue Vitex	Vitex agnus-castus 'Abbeville Blue'	6"	as shown	Full, specimen form, container grown
4	Foster's Holly	Ilex x attenuata 'Fosteri'	6"	as shown	Tree form, container grown
15	Hardy Red Oleander	Nerium oleander 'Hardy Red'	5"	as shown	Full, container grown
3	Burford Holly	Ilex cornuta burfordii	4-5'	as shown	Full, container grown
112	Carissa Holly	Ilex cornuta 'Carissa'	3 gal	@ 20" o.c.	Full, container grown
18	Clara Hawthorn	Raphiolepis indica 'Clara'	3 gal	@ 30" o.c.	Full, container grown
6	Coral Beauty Cotoneaster	Cotoneaster dammeri 'Coral Beauty'	3 gal	@ 30" o.c.	Full, container grown
12	Desperado Texas Sage	Leucophyllum frutescens 'Desperado'	3 gal	@ 30" o.c.	Full, container grown
210	Dwarf Burford Holly	Ilex cornuta 'Dwarf Burford'	3 gal	as shown	Full, container grown
120	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hamelin'	3 gal	@ 22" o.c.	Full, container grown
25	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	3 gal	@ 15" o.c.	Full, container grown
4	Knockout Rose Red	Rosa spp. Red Knockout	3 gal	as shown	Full, container grown
5	Red Yucca	Hesperaloe parviflora	3 gal	as shown	Full, container grown
61	Muhly Grass	Muhlenbergia capillaris	3 gal	as shown	Full, container grown
75	Needlepoint Holly	Ilex cornuta 'Needlepoint'	3 gal	as shown	Full, container grown
9	Purple Diamond Loropetalum	Loropetalum chinensis 'Purple Diamond'	3 gal	as shown	Full, container grown
18	Softleaf Yucca	Yucca recurvifolia	3 gal	as shown	Full, container grown
28	Evergreen Giant Liriope	Liriope muscari 'Evergreen Giant'	1 gal	@ 12 o.c.	Full, container grown
61	Santolina	Santolina chamaecyparissus	1 gal	@ 12 o.c.	Full, container grown
390	Annual Color	Seasonal choice	4" pot	@ 8" o.c.	Full, container grown

LANDSCAPE CALCULATIONS 3/1/2016
RC 241 Temple TX

Item	Area	Planting Density	Quantity	Requirement
1. Site Area	42,780 s.f.	20%	8,556 s.f.	Required
		30%	13,540 s.f.	Provided
2. Street Trees	A. S. 31st St. = 2301 f.	25	9	Trees Required
			9	Cedar Elm (by others) Trees Provided
	B. Scott Blvd. = 1871 f.	25	7	Trees Required
			1	Live Oak
			6	Lacey Oak (by others)
			7	Trees Provided

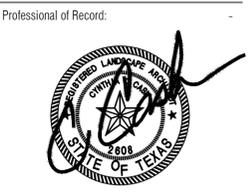


- LANDSCAPE NOTES:**
- INSTALL 4" MIN. TOP SOIL TO ALL SOD AND SEED AREAS. CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SOD AND SEED AREAS. REMOVE STONES, STICKS, AND DEBRIS LARGER THAN 1".
 - ALL SHRUB AREAS, UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 3" DEPTH OF PARTIALLY DECOMPOSED HARDWOOD MULCH OVER WEED BARRIER.
 - PLANTING SOIL SHALL CONSIST OF 50% SELECT LOAMY TOPSOIL, 25% PEAT MOSS, 25% PIT RUN SAND.
 - GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY AS PER DIRECTION OF OWNER.
 - MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
 - WATER AND MAINTAIN ALL PLANT MATERIALS, SEED AND SOD UNTIL INITIAL ACCEPTANCE.
 - REPAIR AT NO COST TO OWNER ALL DAMAGE TO PROPERTY RESULTING FROM LANDSCAPE WORK.
 - CALL 811 TO NOTIFY UTILITY COMPANY FOR LOCATING ALL UNDERGROUND UTILITIES. AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. REPAIR ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.
 - COORDINATE INSTALLATION WITH WORK OF OTHER SECTIONS.
 - STAKING AND GUYING OF TREES PER NATIONAL NURSERYMANS STANDARDS.
 - SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
 - FIELD VERIFY SOD LIMITS PRIOR TO INSTALLATION.
 - UNDERGROUND IRRIGATION SYSTEM PLANS DESIGNED BY A LICENSED IRRIGATOR WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ROCK TO BE LOCAL RIVER ROCK (3'-6") SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL.



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 214-465-7776

Prototype Issue Date:
Store:
Raising Cane's
S 31st Street
Temple, TX
Prototype 1
Store #241



Designer's Information:
CSRS
IMAGINE SHAPE DELIVER
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Telephone: 225 769-0546 Fax: 225 767-0060
www.csronline.com

PRELIMINARY PLAN ONLY. NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, OR SALES.

Set Control Information:

#	Date:	Description:

FOR PERMIT

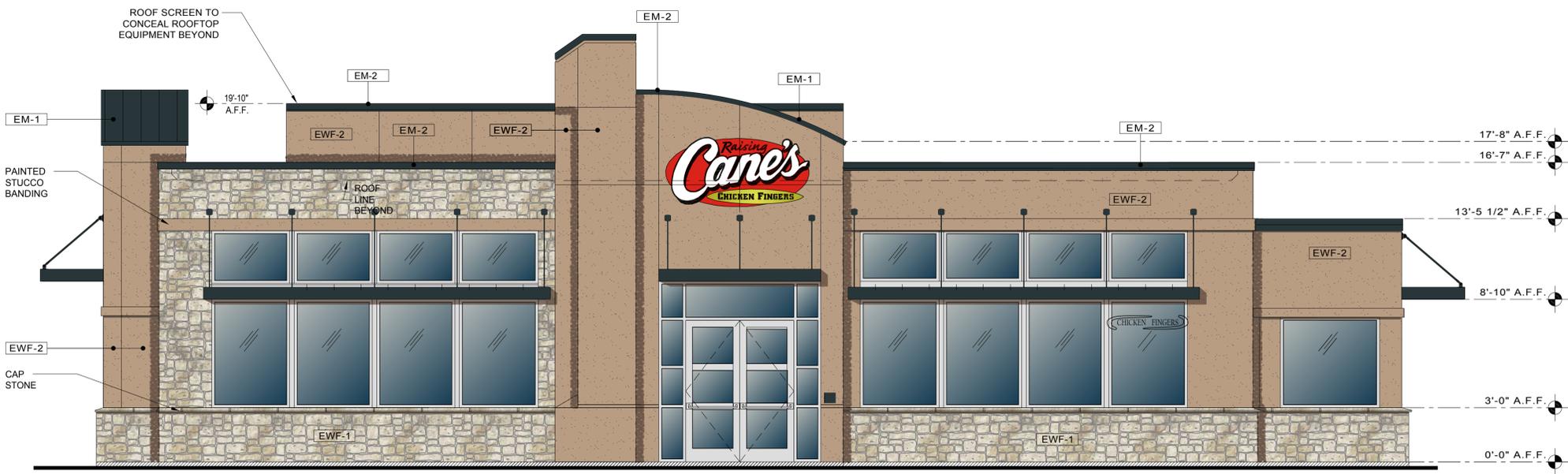
Sheet Revisions:

#	Date:	Description:
01	02/22/2016	Parking layout changed

Sheet Title:
Landscape Plan
Date: January 8, 2016
Project Number: 215000
Drawn By: CCC / FJS 01/27/2016

Sheet Number:

L1.0



01 FRONT ELEVATION
1/4" = 1'-0"
01:A4.1



02 DRIVE-THRU ELEVATION
1/4" = 1'-0"
02:A4.1

KEY NOTES

MARK	DESCRIPTION
①	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D. (4'-0"x8'-0" OVAL)
②	FLAG, WHEN PERMITTED
③	WALL SIGN BY OWNER
④	EXTERIOR LIGHTING, RE: ELEC.
⑤	CONTROL JOINT
⑥	PRE-FABRICATED METAL AWNING OR CANOPY, G.C. TO PERMIT SEPARATELY
⑦	8" STUCCO OR BRICK BAND AS SHOWN
⑧	6" STUCCO OR BRICK BAND AS SHOWN
⑨	2" WIDE STUCCO REVEAL (1/4" DEEP)
⑩	NEON CHANNEL & NEON BY OWNER NEON TO BE WHITE
⑪	ROOF ACCESS LADDER RE: SP3. PROVIDE ALL REQ'D. BLOCKING FOR INSTALLATION.
⑫	METAL ROOF, GUTTER & DOWNSPOUT (RE: DETAIL 1A10.2)

- NOTES:
- SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
 - CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET CS-1, G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.

EXTERIOR MATERIALS

MARK	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR.
EM-2	METAL CAP FLASHING GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR.
EM-3	STAINLESS STEEL COVER PANEL FASTENED TO WALL W/ STAINLESS STEEL SEAT AND SCREWS PROVIDED BY OWNER INSTALLED BY G.C.

EXTERIOR WINDOW SYSTEMS

MARK	DESCRIPTION
EWS-1	DRIVE THRU WINDOW
EWS-2	4 1/2" ALUM. STOREFRONT KAWNEER TRIFAB 451 II ANODIZED, TYP. U.N.O.

EXTERIOR WALL FINISHES

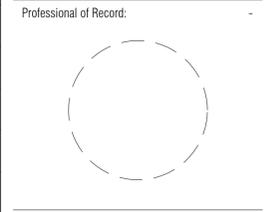
MARK	DESCRIPTION
EWF-1	NEVIL STONE (WWW.NEVILSTONE.COM)- VENEER STYLE: AUSTIN STONE, 50/50 MIXTURE OF AZURE AND NORTHWOOD. MORTAR COLOR= BUFF.
EWF-2	7/8" STUCCO FINISH ON SELF FURRING GALV. METAL LATH W/ FRY REGLET CORNERS, MOLDING & TRIM AS REQUIRED (RE: SPECIFICATIONS), PAINTED: DRYVIT #383 HONEY TWIST

SEALANT

- PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- TWO-PART NONSAG POLYURETHANE SEALANT BY SONNEBORN BUILDING PRODUCTS. CUSTOM COLOR TO MATCH STUCCO AT ALL DOOR FRAMES, STOREFRONT & WINDOWS, WALL PENETRATIONS AND STUCCO TO MASONRY CONNECTIONS.



Prototype Issue Date: 15-1001
Store:
Raising Cane's
31st Street & Scott Blvd.
Temple, TX
Prototype 1
Store #241



Designer's Information:
CSRS
IMAGINE SHAPE DELIVER
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Telephone: 225 769-0546 Fax: 225 767-0060
www.csrsline.com

Set Control Information: (ARCH use only)

Setup / Update Date: YY-MMDD | YY-MMDD

#	Date:	Description:

FOR PERMIT

Sheet Revisions: (sheet specific per Designer)

#	Date:	Description:

Sheet Title:

EXTERIOR ELEVATIONS

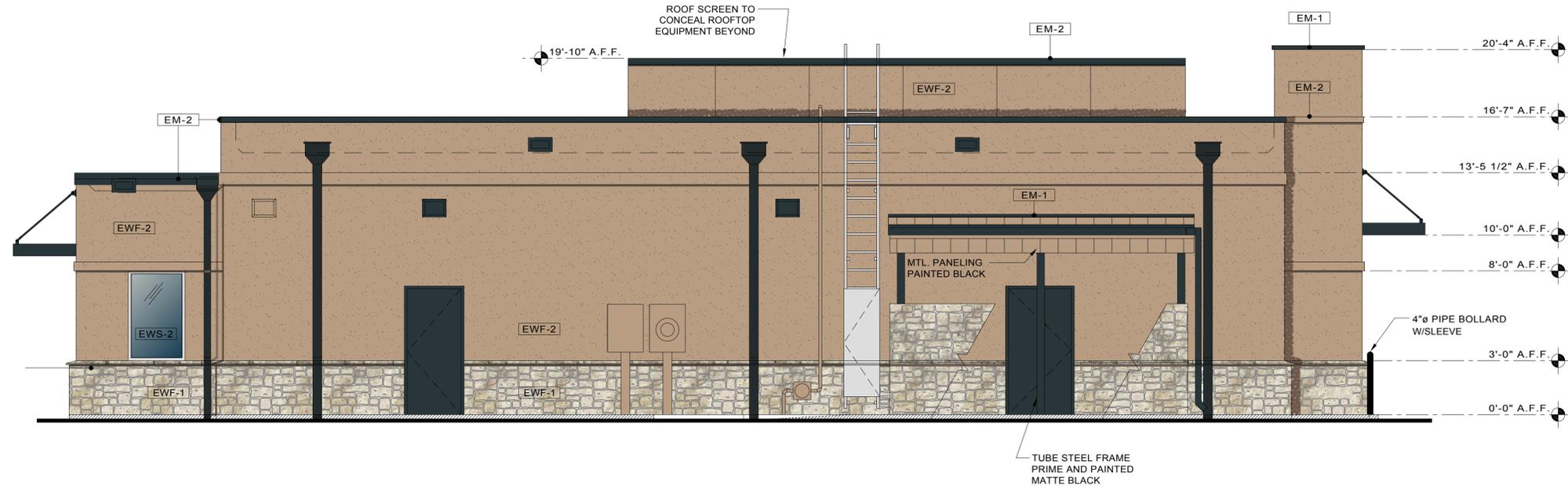
Initial sheet issue date: 16-0107

Project Number: 215000.23.018

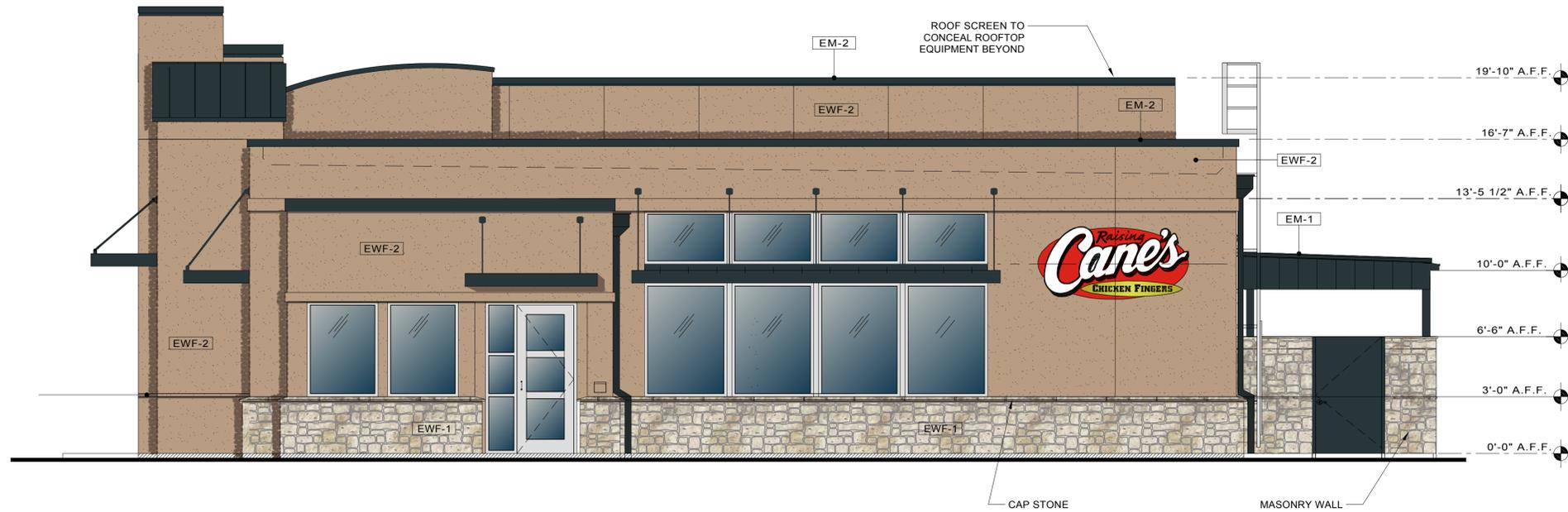
Project Manager: JS

Sheet Number:

A04.1



01 REAR ELEVATION
 1/4" = 1'-0"
 01:A4.2



02 SIDE ENTRY ELEVATION
 1/4" = 1'-0"
 02:A4.2

KEY NOTES

MARK	DESCRIPTION
①	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D. (4'-0"x8'-0" OVAL)
②	NOT USED
③	NOT USED
④	EXTERIOR LIGHTING, RE: ELECTRICAL
⑤	CONTROL JOINT
⑥	METAL COVERED CANOPY, GC TO PERMIT SEPARATELY
⑦	8" STUCCO OR BRICK BAND AS SHOWN
⑧	6" STUCCO OR BRICK BAND AS SHOWN
⑨	2" WIDE STUCCO REVEAL (1/4" DEEP)
⑩	NEON CHANNEL & NEON BY OWNER NEON TO BE WHITE
⑪	ROOF ACCESS LADDER RE: SP3. PROVIDE ALL REQ'D. BLOCKING FOR INSTALLATION.
⑫	METAL ROOF, GUTTER & DOWNSPOUT (RE: DETAIL 1A10.2)
⑬	ROOF SCUPPER & DOWNSPOUT OMIT STUCCO BAN @ DOWNSPOUT (RE: 1A10.2)
⑭	OVER FLOW SCUPPER
⑮	ELECTRICAL CABINETS, PAINT TO MATCH STUCCO (PT-10). COORDINATE EXACT REQUIREMENTS WITH ELEC. SUB-CONTR.
⑯	GAS METER & PIPING, PAINT TO MATCH STUCCO (PT-10)
⑰	COMBUSTION AIR LOUVERS, PROVIDE INSECT SCREENS, PAINT TO MATCH STUCCO (RE: MECHANICAL) (PT-10)

- NOTES:
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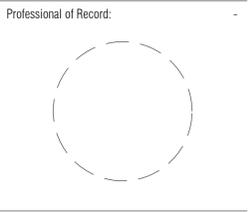
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Restaurant Support Office
 6800 Bishop Road, Plano, TX 75024
 Tel: 972-769-3100 Fax: 972-769-3101

Prototype Issue Date: 15-1001

Store:
Raising Cane's
31st Street & Scott Blvd.
Temple, TX
Prototype 1
Store #241



Designer's Information:
CSRS
 IMAGINE SHAPE DELIVER
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EXTERIOR ELEVATIONS

Initial sheet issue date: 16-0107

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Project Manager: JS

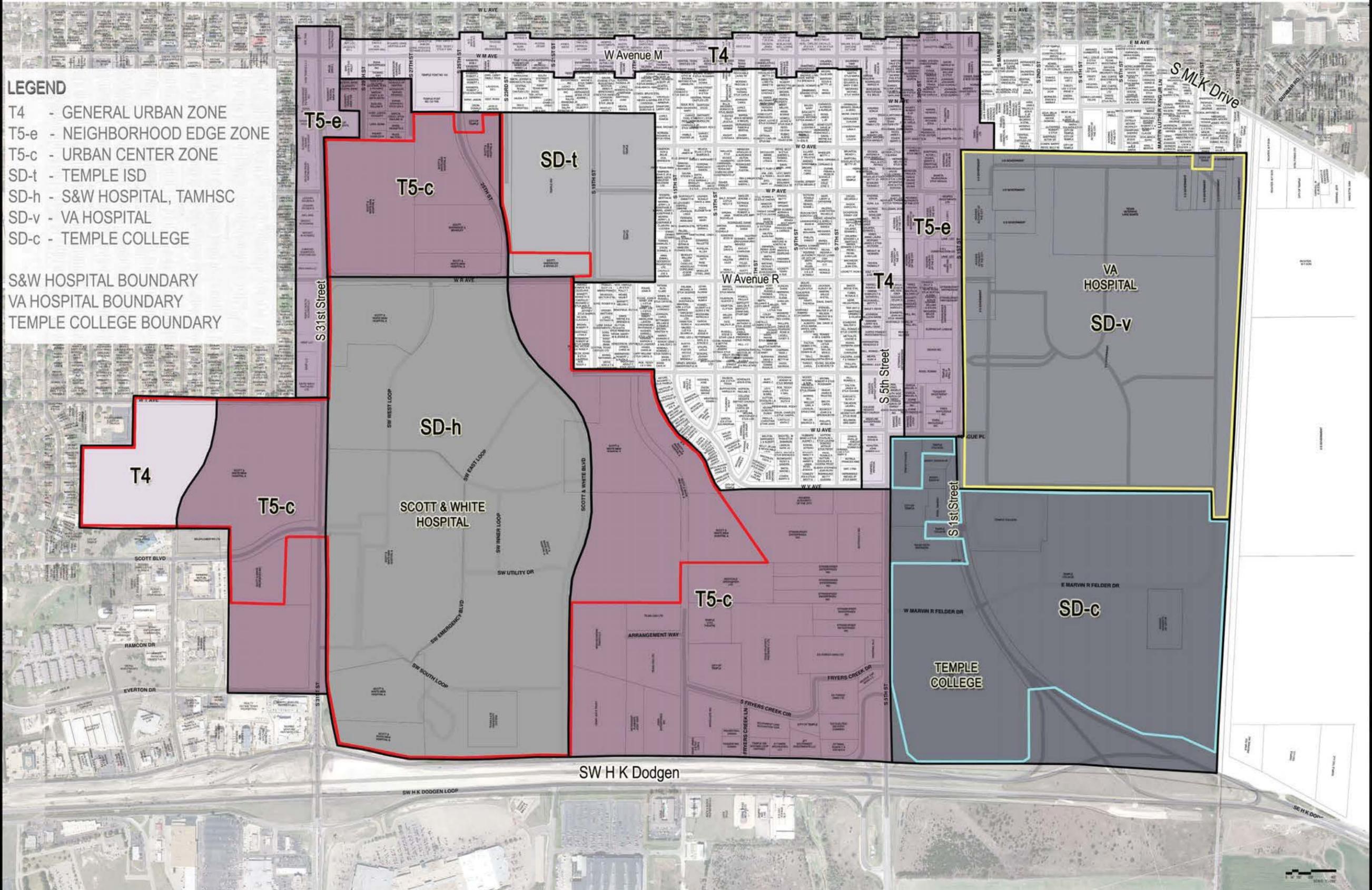
Sheet Number:

A04.2

TEMPLE MEDICAL EDUCATIONAL DISTRICT

LEGEND

- T4 - GENERAL URBAN ZONE
- T5-e - NEIGHBORHOOD EDGE ZONE
- T5-c - URBAN CENTER ZONE
- SD-t - TEMPLE ISD
- SD-h - S&W HOSPITAL, TAMHSC
- SD-v - VA HOSPITAL
- SD-c - TEMPLE COLLEGE
- S&W HOSPITAL BOUNDARY
- VA HOSPITAL BOUNDARY
- TEMPLE COLLEGE BOUNDARY



REGULATING PLAN TRANSECT MAP



AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TEMPLE, TEXAS, AUTHORIZING A ZONING CHANGE FROM TMED (T5-c) TO PD-T5-c (PLANNED DEVELOPMENT DISTRICT – TMED T5-c) ON A PORTION OF LOTS 2 AND 3, BLOCK 1, SCOTT AND WHITE PROPERTIES SUBDIVISION, LOCATED ON THE SOUTHWEST CORNER OF SCOTT BOULEVARD AND SOUTH 31ST STREET; PROVIDING A SEVERABILITY CLAUSE; PROVIDING AN EFFECTIVE DATE; AND PROVIDING AN OPEN MEETINGS CLAUSE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TEMPLE, TEXAS, THAT:

Part 1: The City Council approves a zoning change from TMED (T5-c) to PD-T5-c (Planned Development District – TMED T5-c) on a portion of lots 2 and 3, block 1, Scott and White Properties Subdivision, located on the southwest corner of Scott Boulevard and South 31st Street, as outlined in the map attached hereto as Exhibit 'A,' and made a part hereof for all purposes and subject to the following exceptions from Section 6.3 (TMED) of the Unified Development Code:

- Exceeds 12' maximum front setback (Sec. 6.3.5.B.)
- 80 percent impervious cover limitation (Sec. 6.3.5.B.) to allow:
 - Lot 1: 85.1% impervious cover
 - Lot 2: 87.3% impervious cover
 - Note: Lot 3 is under the maximum with 75.1% impervious cover
- Less than the 2-story building height requirements (Sec. 6.3.5.D.)
- Allowing a commercial surface parking lot (Sec. 6.3.6.D. prohibits commercial surface parking lots in T5-c)
- A drive-through would be permitted for a proposed restaurant (6.3.6.D. prohibits drive-through restaurants in T5-c)
- 1 tree per 12 parking spaces (Sec. 6.3.10.D. requires 1 tree per 10 parking spaces)
- 5 foot sidewalk with no 6 foot planting strip between curb and sidewalk to allow for the preservation of an existing sidewalk along Scott Blvd. (Sec. 6.3.11.B.5.)
- 8 foot sidewalk with no 6 foot planting strip between curb and sidewalk to allow for the preservation of an existing sidewalk along S. 31st Street (Sec. 6.3.11.D.2.)
- 50 foot maximum building façade length without articulation (Sec. 6.3.13.D. requires a 5-foot building offset at least every 50 feet of façade length)
- Two 8 foot x 9 foot freestanding single-tenant monument signs and two 12 foot x 10 foot multitenant monument signs (Sec. 6.3.16.C)

Part 2: The City Council approves a zoning change subject to the following conditions:

- Street lighting is consistent with the TMED lamp standards (lighting found along South 1st and South 5th Streets adjacent to Temple College)
- Pedestrian connections from South 31st Street and Scott Boulevard sidewalks to the retail development.

Part 3: The City Council directs the Director of Planning to make the necessary changes to the City Zoning Map accordingly.

Part 4: It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses, and phrases of this ordinance are severable and, if any phrase, clause, sentence, paragraph or section of this ordinance should be declared invalid by the final judgment or decree of any court of competent jurisdiction, such invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such phrase, clause, sentence, paragraph or section.

Part 5: This ordinance shall take effect immediately from and after its passage in accordance with the provisions of the Charter of the City of Temple, Texas, and it is accordingly so ordained.

Part 6: It is hereby officially found and determined that the meeting at which this Ordinance is passed was open to the public as required and that public notice of the time, place, and purpose of said meeting was given as required by the Open Meetings Act.

PASSED AND APPROVED on First Reading and Public Hearing on the 2nd day of October, 2014.

PASSED AND APPROVED on Second Reading on the 16th day of October, 2014.

THE CITY OF TEMPLE, TEXAS



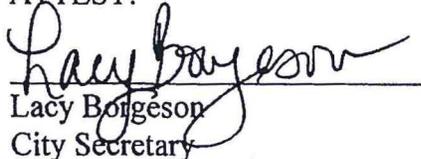
DANIEL A. DUNN, Mayor

APPROVED AS TO FORM:



Kayla Landeros
City Attorney

ATTEST:



Lacy Borgeson
City Secretary



LANDSCAPE REQUIREMENTS - TYPED OVERALL TOTAL

LOT NO.	AREA TO BE PLANTED	AREA TO BE MAINTAINED	AREA TO BE REMOVED	TOTAL
1	24,135.00	11,278.77	6,183.10	29,230.67
2	12,515.18	11,072.44	13,503.83	10,083.79
3	31,153.50	11	11	31,153.50
TOTAL	67,803.76	22,362.32	19,697.94	70,468.14

*FIGURES INCLUDE SCISSORING, SURFING, PUBLIC PLANTING, AND SOIL REMEDIATION.

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LANDSCAPE NOTES

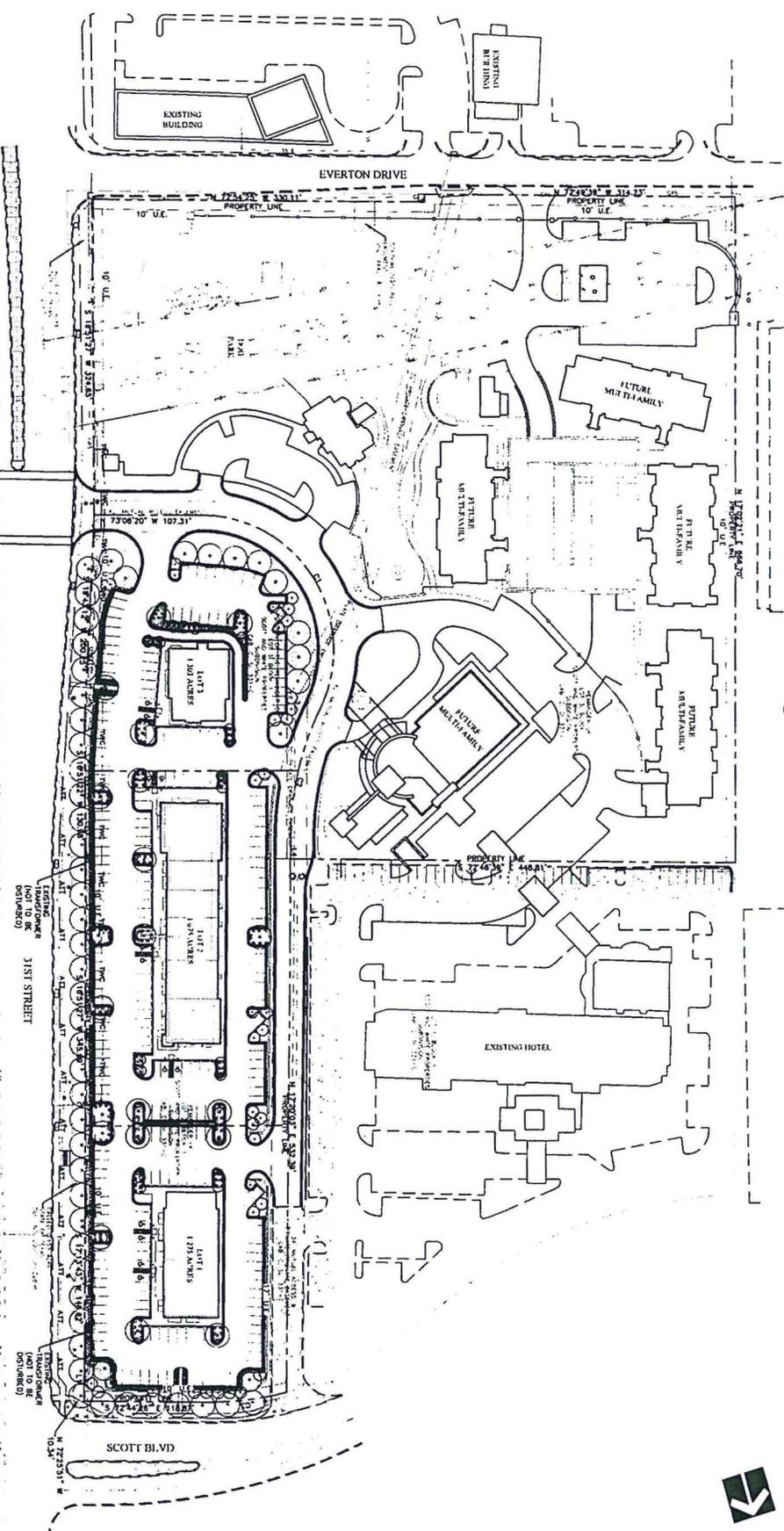
1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CONDUCT A SURVEY OF EXISTING STRUCTURES, PLANTING, SECTIONS, VEGETATION, ETC. WITH OWNER.
2. EXISTING UTILITIES WERE LOCATED BY FIELD RESEARCH/OBSERVATION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND COORDINATE UTILITY REMOVAL AND RELOCATION WITH OWNER AND APPROPRIATE UTILITY COMPANIES.
3. PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL CORRECT THE TYPE AND LOCATION OF NEW CURBS, TREES AND PLANTINGS WITH OWNER.
4. ALL PLANTING AND LANDSCAPE SHALL BE PLANTED AT SUCH A MANNER TO ADOPTIVELY AFFECT DRAINAGE ON UTILITY DRAINAGE.
5. ALL AREAS NOT COVERED BY APPROVED SURFACES SHALL HAVE NEW GRASS SEED, GRASS SEEDING, MULCH, WASHED GRAVEL, PAVEMENT, SAND OR OTHER DECORATIVE COVERS.
6. NEW LAND TO BE SAVED OR HORIZONTALIZED SHALL BE REMOVED, REPAIRED, REPAIRED GRASS OR OTHER IMPROVED TOLERANT GRASS OR TURF APPROVED BY OWNER.
7. PROPOSED NEW TREES SHALL BE OF SPECIES ON THE CITY OF TEMPLE TROPIC APPROVED TREE LIST.

CRANE TABLE

CRANE	LENGTH	WIDTH	DEPTH	MODEL	CRANE	CRANE LENGTH
C1	128.00	13.00	11.00	200	H	128.00
C2	128.00	13.00	11.00	200	H	128.00
C3	128.00	13.00	11.00	200	H	128.00
C4	128.00	13.00	11.00	200	H	128.00
C5	128.00	13.00	11.00	200	H	128.00

LINE TABLE

LINE	SECTION	LENGTH
L1	1	11.00
L2	2	11.00
L3	3	11.00
L4	4	11.00
L5	5	11.00



PRELIMINARY LANDSCAPE PLAN

SP1.2	Plot Date: 9-10-14 Project No: 141489 00 Drawn By: BUK Designed By: JBF	<p>CLARK & FULLER CIVIL ENGINEERING • DESIGN • PLANNING</p>		SHOPPES ON THE HILL NEW SITE DEVELOPMENT TEMPLE, TEXAS	DRAWING STATUS THESE DRAWINGS WERE PREPARED UNDER THE AUTHORITY OF JUSTIN E. FULLER, P.E., LICENSE NUMBER 100181, STATE OF TEXAS, EXPIRES 09/30/2018.
	Date: 9/10/14 REVISIONS: REVISIONS PER CITY OF TEMPLE COMMENTS.				<input type="checkbox"/> ALL CONSTRUCTION SHALL BE COMPLETED. <input type="checkbox"/> ALL CONSTRUCTION SHALL BE COMPLETED.



PLANNING AND ZONING COMMISSION ITEM MEMORANDUM

03/07/16
Item #5
Regular Agenda
Page 1 of 2

APPLICANT / DEVELOPMENT: Kimberli Gray

CASE MANAGER: Tammy Lyerly, Senior Planner

ITEM DESCRIPTION: P-FY-16-14 Consider and take action on the Final Plat of Cedar Cove Replat, a 4.895 +/- acres, 2 Lot, 1 Block, being a replat of Lot 2, Block 1, Cedar Cove Subdivision, a residential subdivision, with a requested exception to Unified Development Code Section 8.2.1.C: Right-of-Way and Pavement Dimensional Standards, to allow a reduced right-of-way dedication, located in Temple's western ETJ north of Cedar Cove Road, south of Westcliff Road, and west of Fullview First Street.

STAFF RECOMMENDATION: Staff recommends approval of the Final Plat of Cedar Cove Replat and the applicant's requested exception to Unified Development Code Section 8.2.1.C.

ITEM SUMMARY: The Development Review Committee reviewed the Final Plat of Cedar Cove Replat on February 4, 2016. It was deemed administratively complete on February 17, 2016.

The Final Plat of Cedar Cove Replat is a replat of Lot 2, Block 1, Cedar Cove Subdivision. City Council will be the final plat authority since the applicant requests an exception to Unified Development Code Section 8.2.1.C: Right-of-Way and Pavement Dimensional Standards, to allow a reduced right-of-way dedication.

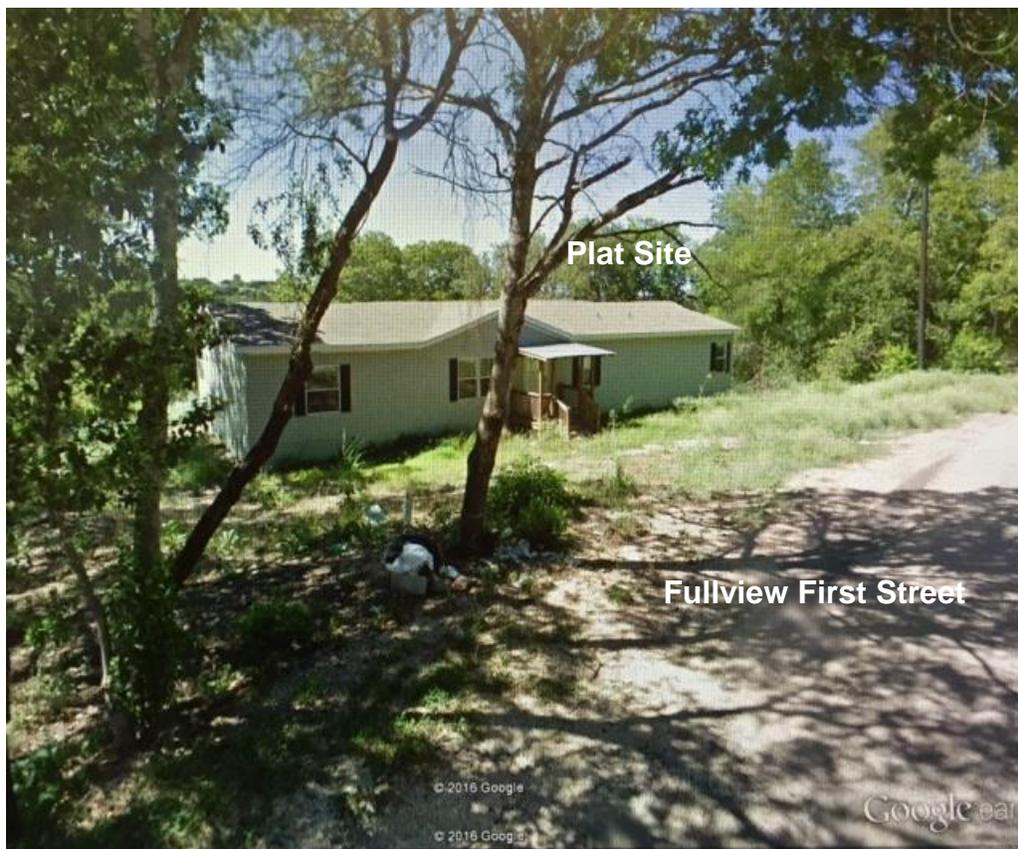
The subject property is located within Temple's western extra-territorial jurisdiction (E.T.J.) and fronts Fullview First Street, which is a Bell County maintained road that has approximately 24 feet of right-of-way. Unified Development Code (U.D.C.) Section 8.2.1.C: Right-of-Way and Pavement Dimensional Standards requires 50 feet of right-of-way for rural local street. The applicant is unable to dedicate the required 13 feet of right-of-way needed along Fullview First Street due to a manufactured home on the property located within 4.7 feet from the right-of-way along Fullview First Street. The applicant is only able to dedicate 4 feet of right-of-way. Bell County is in agreement with the applicant's proposed right-of-way dedication of 4 feet.

Please see the applicant's attached letter of requested exception. The anticipated City Council meeting for this plat is April 7, 2014.

A 30-foot wide private access easement to the lake borders the west boundary of the subject property. A 20-foot wide private access easement to the lake is located at the subject property's east boundary at Fullview First Street.

439 Water Supply Corporation provides water services to the subject property and existing subdivision through 1-1/4 inch, 4 inch, 6-inch, and 12 inch water lines. Sewer services are provided by septic system.

No park fees are requested, provided no more than one dwelling is proposed per lot created. However, fees will be required for proposed multi-family or any additional dwellings created of more than one per lot. Fees are assessed at \$225 per dwelling.



FISCAL IMPACT: Not Applicable

ATTACHMENTS:

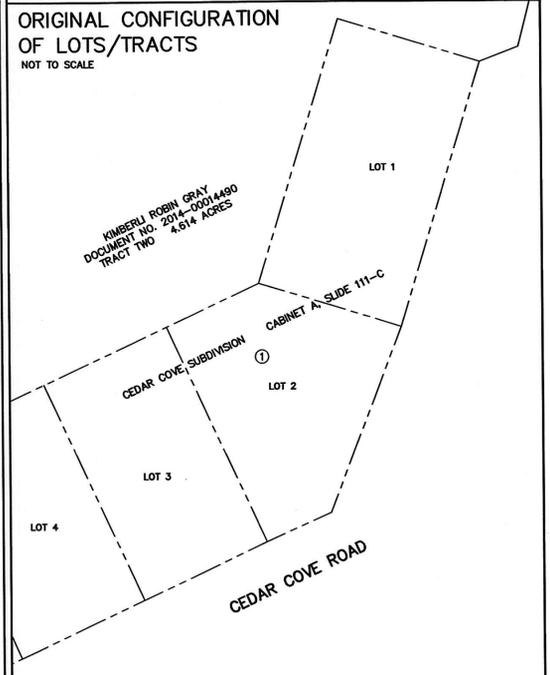
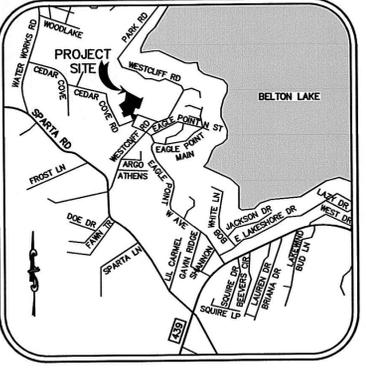
- Final Plat
- Utility Sheet
- Letter of Requested Exception

OWNERS' RESPONSIBILITIES
 IN APPROVING THIS PLAT BY THE COMMISSIONERS' COURT OF BELL COUNTY, TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES AND ANY BRIDGES OR CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IS THE RESPONSIBILITY OF THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONERS' COURT OF BELL COUNTY, TEXAS. SAID COMMISSIONERS' COURT ASSUMES NO OBLIGATION TO BUILD ANY OF THE STREETS, ROADS, OR IMPROVEMENTS IN CONNECTION THEREWITH. THE COUNTY WILL ASSUME NO RESPONSIBILITY FOR DRAINAGE WAYS OR EASEMENTS IN THE SUBDIVISION, OTHER THAN THOSE DRAINING OR PROTECTING THE ROAD SYSTEM AND STREETS. THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATION BY OTHER PARTIES IN THIS PLAT. FLOOD PLAIN DATA, IN PARTICULAR, MAY CHANGE DEPENDING ON SUBSEQUENT DEVELOPMENT.

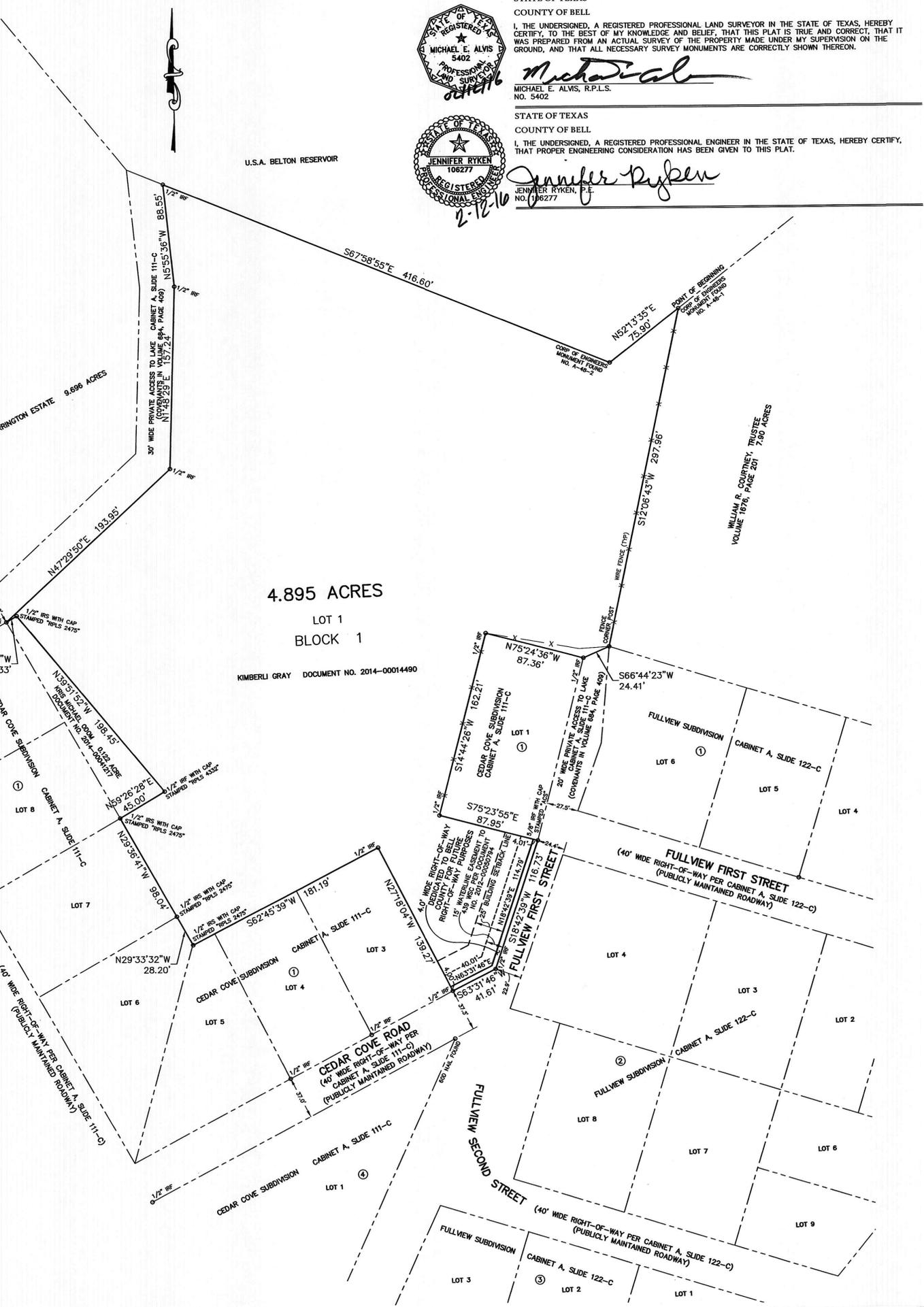
LETTER OF COMPLIANCE
 THE OWNERS ACKNOWLEDGE THAT IT IS THE RESPONSIBILITY OF THE OWNERS, NOT THE COUNTY, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS RELATING TO THE ENVIRONMENT INCLUDING (BUT NOT LIMITED TO) THE ENDANGERED SPECIES ACT, STATE AQUIFER REGULATIONS, AND MUNICIPAL WATERSHED ORDINANCES.

NOTE:
 1. THE PURPOSE OF THIS REPLAT IS TO ADD ADDITIONAL ACREAGE TO LOT 2 TO ACCOMMODATE THE SEPTIC SYSTEM.
 2. THIS TRACT IS NOT WITHIN THE SPECIAL FLOOD HAZARD AREA AS PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION MAP NO. 48027C0325E, DATED SEPTEMBER 26, 2008.
 3. ALL PROPERTY CORNERS ARE 1/2" IRON ROD WITH CAP STAMPED "RPLS 2475" SET, UNLESS OTHERWISE SPECIFIED.
 4. BL = BUILDING LINE, UE = UTILITY EASEMENT, AND DE = DRAINAGE EASEMENT.
 5. ALL PUBLIC ROADWAYS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS.
 6. EXISTING STRUCTURES SHALL BE ALLOWED TO REMAIN IN THEIR CURRENT LOCATION UNTIL SUCH TIME THAT THEY ARE REMOVED OR RELOCATED BY THE LANDOWNER. IF EXISTING STRUCTURES ARE RELOCATED OR ARE REMOVED IN CONNECTION WITH NEW CONSTRUCTION, THE RELOCATED STRUCTURES OR NEWLY CONSTRUCTED STRUCTURES SHALL BE LOCATED ON THE PROPERTY AS DESIGNATED BY THE RIGHT-OF-WAY DEDICATION AND BUILDING SETBACK LINE AS SHOWN HEREON.

NOTE: This project is referenced in NAD 1983 Central Texas State Plane. All distances are horizontal surface distances unless noted, and all bearings are grid bearings.
 All coordinate values are referenced to City Monument No. B517.
 The theta angle of said monument is 01°26'57".
 The Combined Correction Factor (CCF) is 0.999847.
 Published City Coordinates are N=10379340.11, E=3176937.07.
 The tie from the above City Monument to the Point of BEGINNING is N.12°36'50"W., 787.49 feet.
 Grid Distance= Surface Distance X CCF
 Geodetic North= Grid North + theta angle.



BEARING BASE: TEXAS STATE PLAIN COORDINATE SYSTEM (NAD 1983) AS DETERMINED BY G.P.S. OBSERVATION.
 4.895 ACRES MORE FULLY DESCRIBED BY METES AND BOUNDS BY SEPARATE FIELD NOTES.



STATE OF TEXAS
 COUNTY OF BELL
 KIMBERLI GRAY
 STATE OF TEXAS
 COUNTY OF BELL
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 2016 BY KIMBERLI GRAY, OWNER.

NOTARY PUBLIC
 STATE OF TEXAS
 COUNTY OF BELL
 I HEREBY CERTIFY THIS PLAT WAS APPROVED THIS ____ DAY OF _____, 2016 BY THE BELL COUNTY COMMISSIONERS' COURT, AND MAY BE FILED FOR RECORD IN THE DEED RECORDS OF BELL COUNTY, TEXAS BY THE COUNTY CLERK.

COUNTY JUDGE
 WITNESS MY HAND THIS ____ DAY OF _____, 2016.

NOTARY PUBLIC
 STATE OF TEXAS
 COUNTY OF BELL
 I, THE UNDERSIGNED, A REGISTERED SANITARIAN IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION, AND ITS WASTEWATER UTILITY SYSTEM HAS BEEN REVIEWED FOR COMPLIANCE WITH APPLICABLE STATE AND OTHER REGULATIONS GOVERNING SUCH SYSTEMS AND IS HEREBY APPROVED FOR INSTALLATION AS INDICATED.

APPROVED: _____ DATE: _____
 TITLE: _____ BCHD

STATE OF TEXAS
 COUNTY OF BELL
 439 WATER SUPPLY CORPORATION, AN APPROVED PUBLIC WATER SUPPLY SYSTEM, CERTIFIES THAT THE PROPOSED WATER SUPPLY AND DISTRIBUTION SYSTEM IS ADEQUATE TO PROVIDE WATER IN SUFFICIENT QUALITY, QUANTITY, AND PRESSURE TO SERVE THE PROPOSED SUBDIVISION AND PROVISIONS HAVE BEEN MADE TO PROVIDE SERVICE TO EACH LOT IN ACCORDANCE WITH THE POLICIES OF THE WATER SUPPLY SYSTEM.

DESIGNATED REPRESENTATIVE, TITLE _____ DATE _____
 439 WATER SUPPLY CORPORATION

STATE OF TEXAS
 COUNTY OF BELL
 THIS FINAL PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF TEMPLE, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.
 DATED THIS ____ DAY OF _____, 2016.

CHAIRPERSON _____

SECRETARY TO PLANNING AND ZONING COMMISSION _____

STATE OF TEXAS
 COUNTY OF BELL
 THIS FINAL PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF THE CITY OF TEMPLE, TEXAS, AND IS HEREBY APPROVED BY SUCH COUNCIL.
 DATED THIS ____ DAY OF _____, 2016.

MAYOR _____

CITY SECRETARY _____

TAX CERTIFICATE
 THE BELL COUNTY TAX APPRAISAL DISTRICT, THE TAXING AUTHORITY FOR ALL TAXING ENTITIES IN BELL COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THERE ARE CURRENTLY NO DELINQUENT TAXES DUE OR OWING ON THE PROPERTY DESCRIBED BY THIS PLAT.
 DATED THIS ____ DAY OF _____, 2016.

BELL COUNTY TAX APPRAISAL DISTRICT _____

FILED FOR RECORD THIS ____ DAY OF _____, IN YEAR _____, PLAT NO. _____
 PLAT RECORDS OF BELL COUNTY, TEXAS.

DEDICATION INSTRUMENT NO. _____ OFFICIAL PUBLIC RECORDS OF BELL COUNTY, TEXAS.

FINAL PLAT OF:
CEDAR COVE REPLAT
 BEING A REPLAT OF LOT 2, BLOCK 1, CEDAR COVE SUBDIVISION OF RECORD IN CABINET A, SLIDE 111-C, PLAT RECORDS OF BELL COUNTY, TEXAS
 4.895 ACRES 1 LOT, 1 BLOCK
 W. L. NORVILLE SURVEY, ABSTRACT NO. 627
 A SUBDIVISION IN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF TEMPLE, BELL COUNTY, TEXAS
 4.895 ACRES MORE FULLY DESCRIBED BY METES AND BOUNDS BY SEPARATE FIELD NOTES PREPARED AND ATTACHED TO DEDICATION INSTRUMENT.

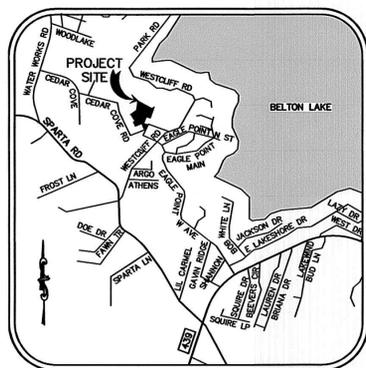
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ENGINEERING • PLANNING • SURVEYING
 CONSTRUCTION MANAGEMENT
 FIRM REGISTRATION NO. F-1658
TURLEY ASSOCIATES, INC.
 301 N. 3rd ST. TEMPLE, TEXAS
 E-MAIL: VDTURLEY@AOL.COM
 (254) 773-2400
 (254) 773-3998

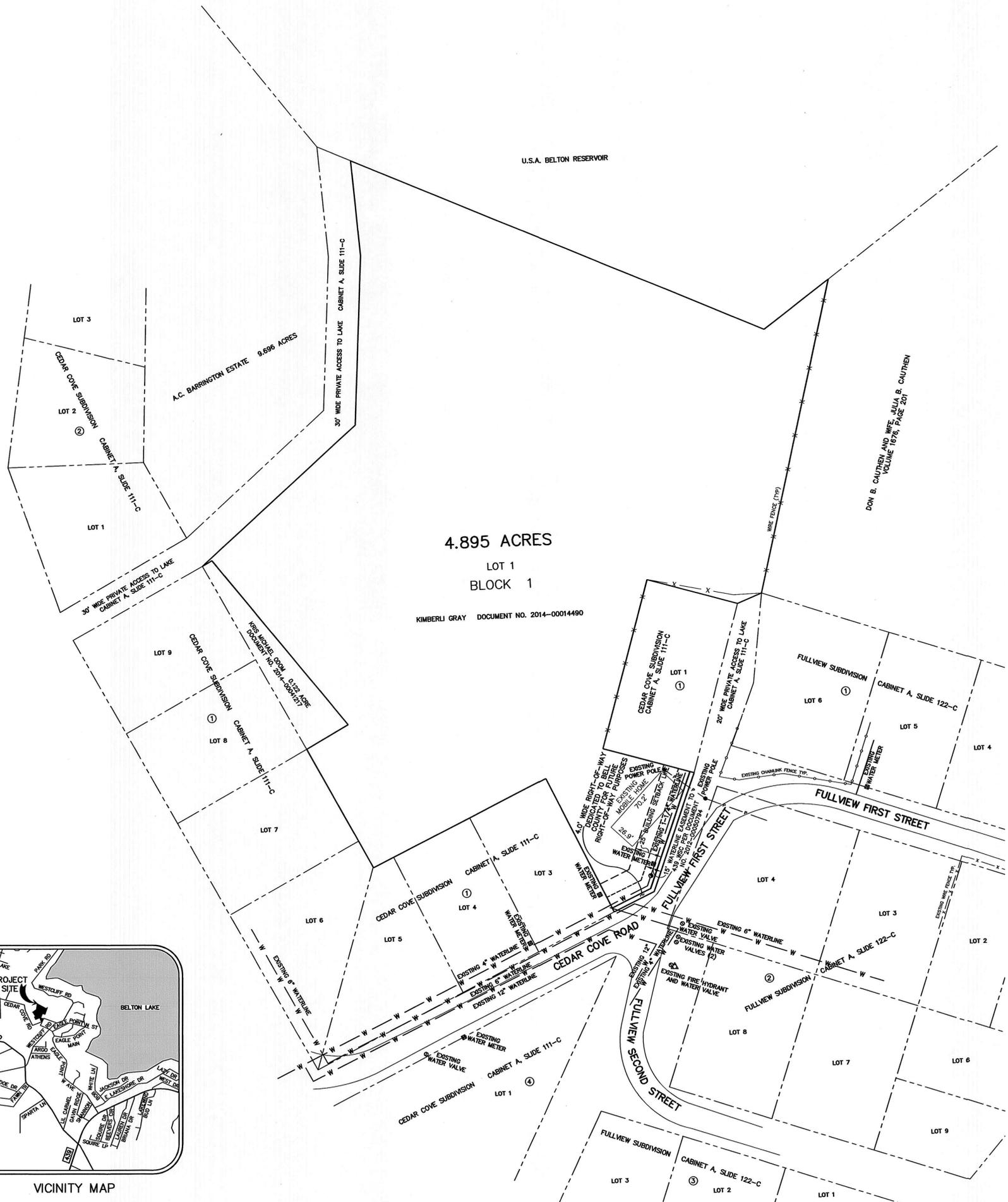
FINAL PLAT OF: **CEDAR COVE REPLAT**
 BEING A REPLAT OF LOT 2, BLOCK 1, CEDAR COVE SUBDIVISION OF RECORD IN CABINET A, SLIDE 111-C, PLAT RECORDS OF BELL COUNTY, TEXAS
 W. L. NORVILLE SURVEY, ABSTRACT NO. 627
 A SUBDIVISION IN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF TEMPLE, BELL COUNTY, TEXAS
 PREPARED FOR: **KIMBERLI GRAY**
 6774 CEDAR COVE ROAD, BELTON, TEXAS 76513

REVISIONS		
02/05/16	CITY/COUNTY COMMENTS	JRG
02/10/16	CITY COMMENTS	JRG

DATE:	12/01/16
DRN. BY:	JRG
REF.:	
FIELD BOOK	-
JOB NO.:	151088
SHEET 1 OF 1	
COMPUTER DWG. NO.	151088
13107-D	
DRAWING NUMBER	



VICINITY MAP



4.895 ACRES

LOT 1
BLOCK 1

KIMBERLI GRAY DOCUMENT NO. 2014-00014490

- NOTES:
1. SITE TO BE SERVICED BY ON-SITE SEPTIC SEWAGE FACILITIES.
 2. DOMESTIC WATER TO BE SUPPLIED BY 439 WATER SUPPLY CORPORATION.
 3. ALL EXISTING WATERLINES SHOWN AS PER 439 WATER SUPPLY CORPORATION. FIRE HYDRANTS, WATER METERS, AND OFFLINE VALVES SHOWN PER ONSITE SURVEY.

UTILITY PLAN OF:
CEDAR COVE REPLAT
BEING A REPLAT OF LOT 2, BLOCK 1, CEDAR COVE SUBDIVISION OF RECORD IN CABINET A, SLIDE 111-C, PLAT RECORDS OF BELL COUNTY, TEXAS
4.895 ACRES 1 LOT, 1 BLOCK
W. L. NORVILLE SURVEY, ABSTRACT NO. 627
A SUBDIVISION IN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF TEMPLE, BELL COUNTY, TEXAS
4.895 ACRES MORE FULLY DESCRIBED BY METES AND BOUNDS BY SEPARATE FIELD NOTES PREPARED AND ATTACHED TO DEDICATION INSTRUMENT.



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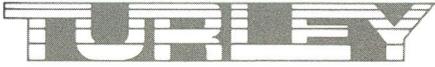
UTILITY PLAN OF: **CEDAR COVE REPLAT**
BEING A REPLAT OF LOT 2, BLOCK 1, CEDAR COVE SUBDIVISION OF RECORD IN CABINET A, SLIDE 111-C, PLAT RECORDS OF BELL COUNTY, TEXAS
W. L. NORVILLE SURVEY, ABSTRACT NO. 627
A SUBDIVISION IN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF TEMPLE, BELL COUNTY, TEXAS

PREPARED FOR: **KIMBERLI GRAY**
6774 CEDAR COVE ROAD, BELTON, TEXAS 76513

REVISIONS		
DATE	CITY/COUNTY COMMENTS	JRG
02/05/16		

DATE:	12/01/15
DRN. BY:	JRG
REF.:	
FIELD BOOK	-
JOB NO.:	151088
SHEET	1 OF 1
COMPUTER DWG. NO.	151088

13107-D
DRAWING NUMBER



TURLEY ASSOCIATES, INC.

301 NORTH THIRD STREET • TEMPLE, TEXAS 76501 • (254) 773-2400
F-1658 FAX • (254) 773-3998

February 12, 2016

City of Temple
2 North Main Street
Temple, TX 76051

RE: Cedar Cove Replat of Lot 2, Right of Way Dedication

Dear: Mayor and City Council Members

This letter is in reference to a replat of Lot 2 of Cedar Cove which is located in the City of Temple's ETJ. This property is adjacent to a Bell County maintained roadway (Fullview First Street) that currently has between 23 and 24 foot of right-of-way width. This property also currently has a mobile home located on it with the northeast corner of the home being approximately 4.7 ft. from the existing property line.

The City of Temple Unified Development Code specifies a minimum width of 50 ft. for a rural local street right of way and Bell County Subdivision Regulations also specifies a minimum right of way width of 50 ft. Fullview First Street is currently deficient in right of way width.

In their review of this plat Bell County has requested "that the developer dedicate property (by plat) along the roadway, equal to the maximum width possible *without* creating an encroachment of the existing mobile home, for future roadway expansion." The plat has been updated to reflect a dedication of 4 ft. of right of way along the property leaving a little less than a foot of distance to the northeast corner of the home.

On behalf of our client Turley Associates, Inc. requests that the City Council of the City of Temple grant an exception to Section 8.2.1 C of the Unified Development Code for minimum right of way widths and instead allow the 4 ft. dedication of right of way width which is in conformance with Bell County's request for dedication.

Turley Associates, Inc., appreciates your consideration in this matter. Please feel free to call or email if you would like to discuss further.

Sincerely,

TURLEY ASSOCIATES, INC.

Jennifer Ryken, P.E., C.F.M.
Project Engineer

CC: Bryan Neaves, P.E., Bell County Engineer



Planning & Zoning Commission Item Memorandum

03/07/16
Item #6
Regular Agenda
Page 1 of 1

Applicant: Scott Brooks, Yalgo, LLC

Case Manager: Dessie Redmond, Planner

Item Description: P-FY-16-21 Consider and take action on the Final Plat of Lake Pointe Phase III, 67.69 +/- acres, 300-lot, 11-block residential subdivision, situated in, and being out of the Baldwin Robertson Survey, Abstract No. 17, Bell County, Texas, located east of Lake Pointe Subdivision Phases II and II-A-2, west of the intersection of N. Pea Ridge and Prairie View Road.

Staff Recommendation: Staff recommends approval for the Lake Pointe, Phase III Final Plat.

Summary: Lake Pointe, Phase III is a final plat for approximately 67.69 acres for one tract of land. The applicant proposes to subdivide the subject properties into 300 single family residential lots. The Development Review Committee (DRC) reviewed and requested revisions to the Final Plat on February 25, 2016. The applicant responded to requested revisions during the DRC process per staff and per the Unified Development Code (UDC). It was deemed administratively complete by staff on March 3, 2015 and is now before the Planning & Zoning Commission to approve, approve with conditions or deny the plat.

The subject property is zoned Single-Family 2 (SF-2). The property is mostly vacant undeveloped land. There is a warehouse with an automotive shop along with other buildings on the north, central portion of the property (site photos).

To the north of the property is Prairie View Road; a minor arterial, which is proposed to have a 70 foot right-of-way (ROW) with 49 feet of pavement. A sidewalk on the south side of Prairie View Road is required by the UDC. A note on the plat requiring the sidewalk has been provided. However, a Cat 7 Grant has been awarded to upsize to an 8 foot wide sidewalk on the North side and a 10 foot wide sidewalk on the south side (this documentation is included in the Resolution for the plat which was the recommendation of the City's Legal Department). To the east of the property is N Pea Ridge Road; a collector street, which is proposed to have a 55 foot right-of-way (ROW) with 36 feet of pavement. A four foot wide sidewalk will be constructed on the west side of N Pea Ridge Road. A four foot wide sidewalk will be constructed along the south side of Lake Pointe Drive by the home builder.

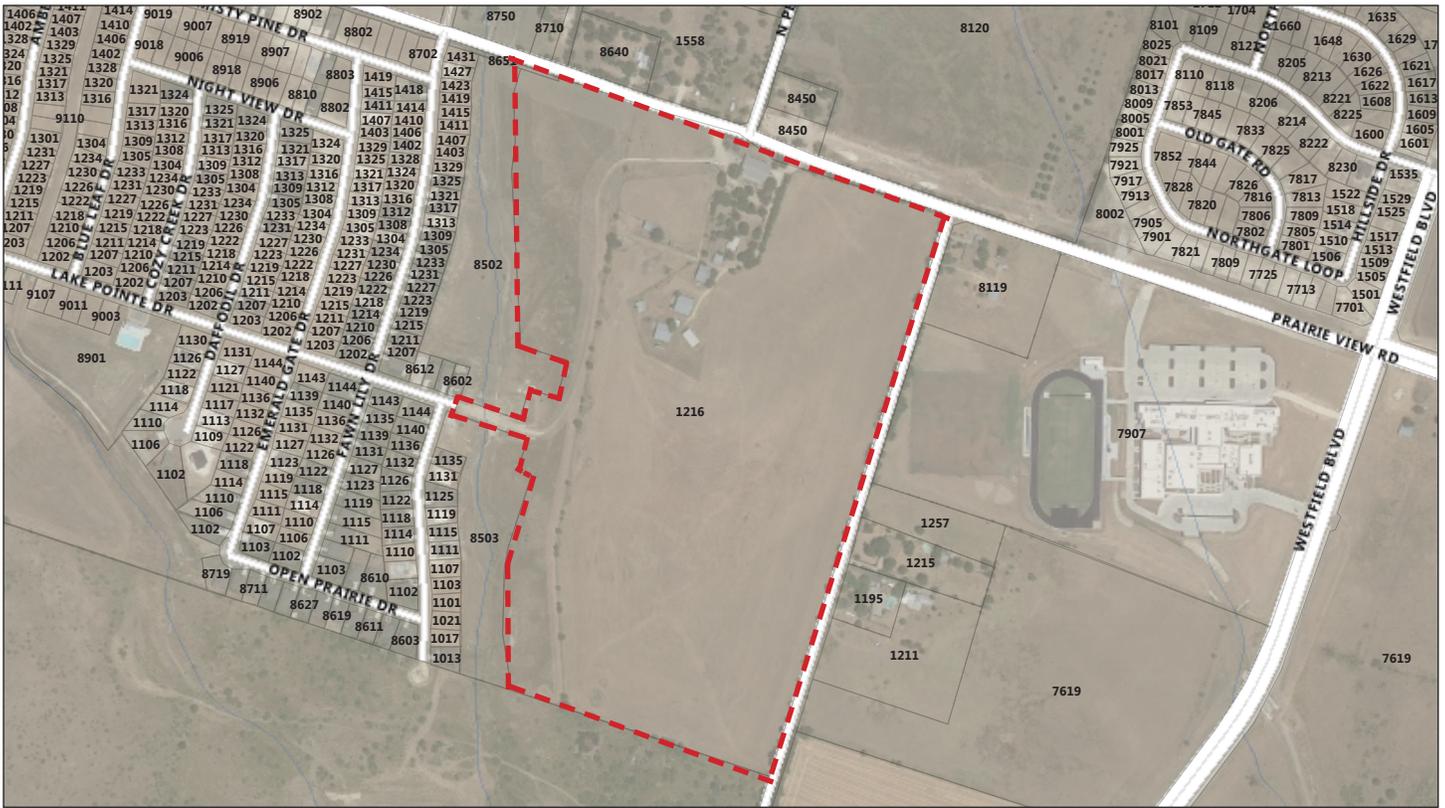
Sewer is available to the subject properties by a 10 inch sewer line that exists toward the south of the property line and then proposed to come into the property by a six inch sewer line. Water will be available through a 12 inch waterline which currently exists along Prairie View Road. There is also a two inch waterline along North Pea Ridge Road (Topo/Utility Map).

The Planning and Zoning Commission is the Final Plat authority for the Lake Pointe, Phase III Final Plat because the applicant has not requested any exceptions to the UDC.

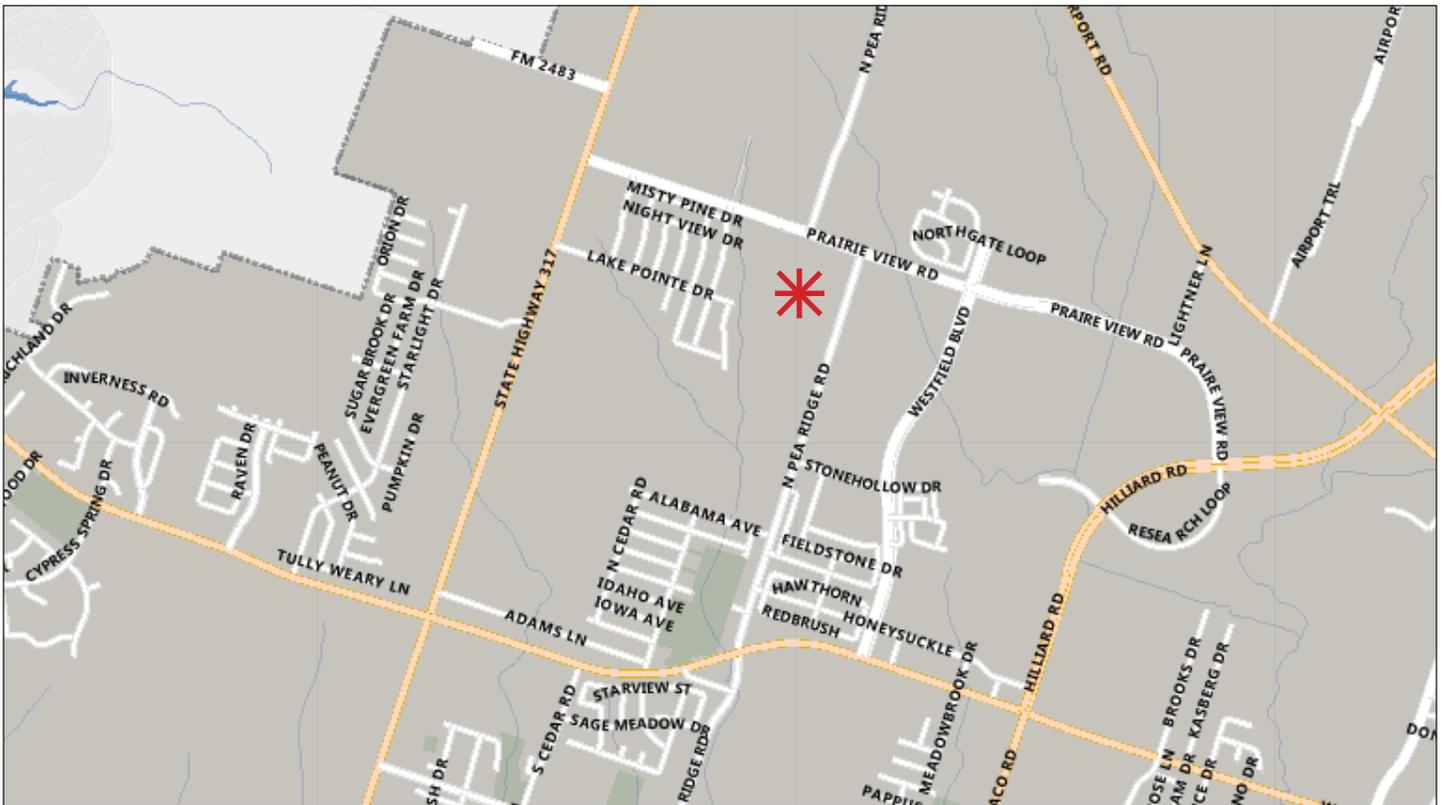
Fiscal Impact: Not Applicable

Attachments:

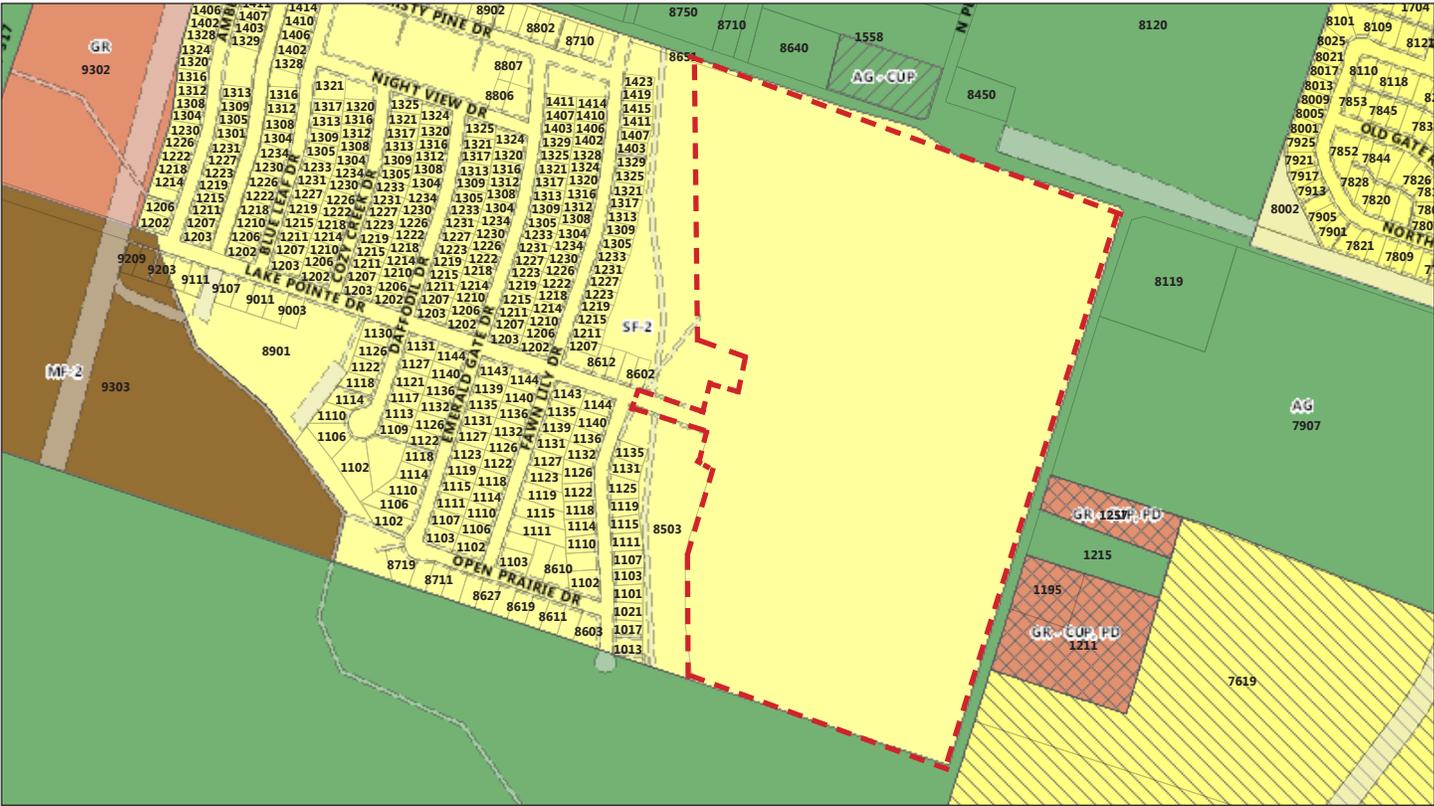
Aerial, Vicinity Map, Zoning Map, Utility Map, Site Photos, Final Plat, Topo/Utility Plan



Aerial



Vicinity Map



Zoning Map



Utility Map.



Photo 1: Google Earth image showing bird's eye view of subject property area.



Photo 2: On N Pea Ridge Road looking west into site.



Photo 3: On Prairie Ridge Road looking north into property at existing warehouse for an automotive shop.

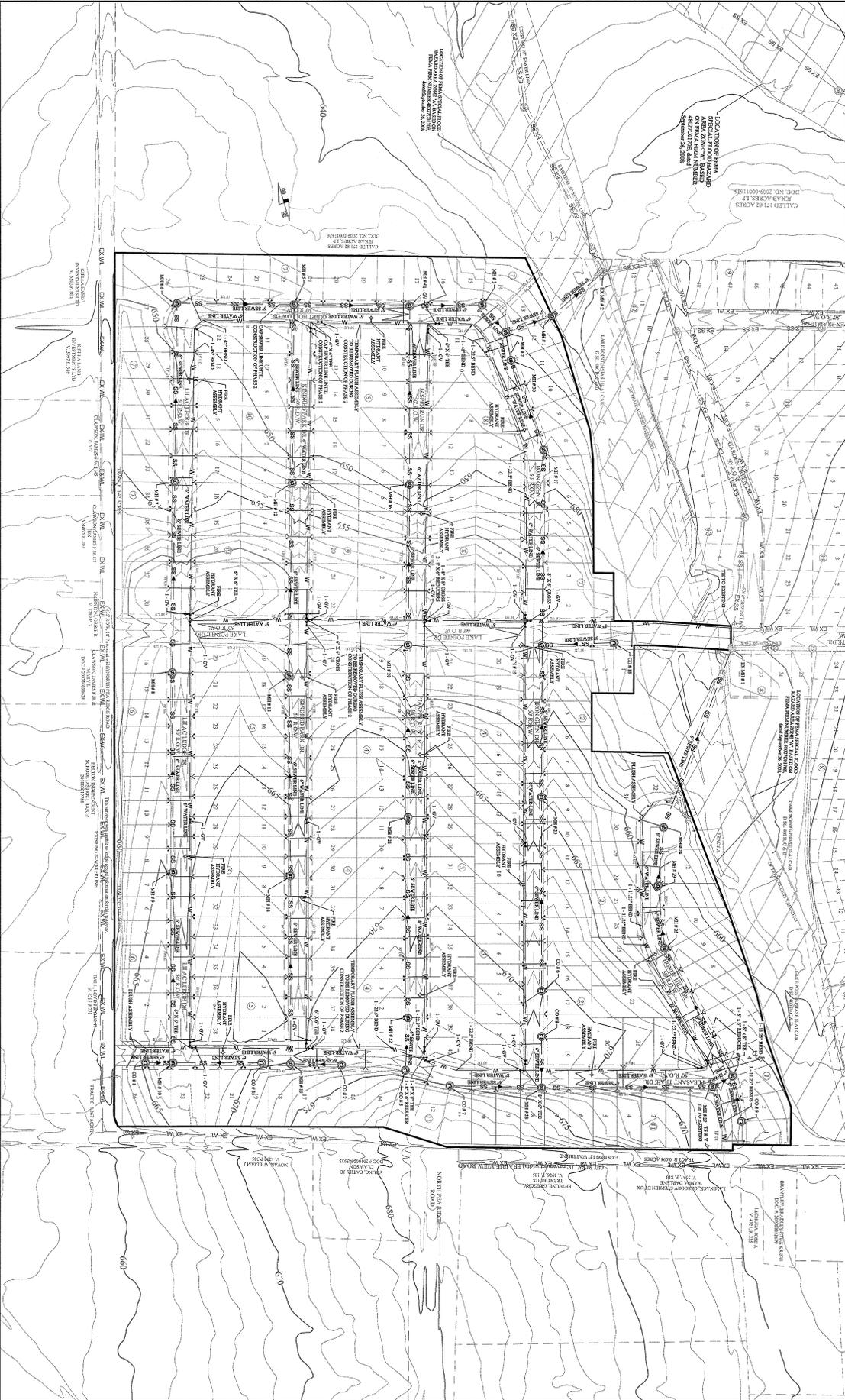


Photo 4: On existing Lake Pointe Drive looking west into site.

NO.	DESCRIPTION	DATE	BY	PROJECT INFORMATION
1	ORIGINAL RELEASE			TOTAL ACRES: 29.99 ACRES
2	REVISIONS			TOTAL SHEETS: 30
3	REVISIONS			DATE: 02/03/16
4	REVISIONS			BY: [Signature]
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TOPO/UTILITY MAP
LAKE POINTE PHASE III
CITY OF TEMPLE, BELL COUNTY, TEXAS

ENGINEER'S APPROVAL	
THIS DOCUMENT IS RELEASED FOR THE ATTENTION OF NORTH A. BROOKS, P.E. 8989 FM 1979, SUITE 100, TEMPLE, TEXAS 76788.	Yargo, LLC 31001 JIMMIE AVE., SUITE 100 FM 1204, SUITE 100 TEMPLE, TEXAS 76788 Telephone: 817-251-1104 Fax: 817-251-1104 www.yargo.com
SHEET	1
OF	1



Topo/Utility Map



PLANNING AND ZONING COMMISSION AGENDA ITEM

03/07/16

Workshop Agenda

ITEM DESCRIPTION: Receive and discuss the Planning Director's Report containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments (if any) to the Unified Development Code (UDC).

BACKGROUND: The Planning & Zoning Commission will consider several items at future meetings which may also require City Council review for a final decision, shown on the following table.

Future Commission Projects	Status	Applicant	Project Mgr.
P-FY-15-27 - Consider and take action on the Final Plat of Legacy Ranch Phase Two, a 78.07 +/- acre, 156 lot, 8 block residential plat with 3 non-residential tracts (lots) subdivision, located at the northwest corner of FM 93 and FM 1741 (South 31st Street).	DRC 11/25/15 Awaiting Revisions from Applicant	All County Surveying	Tammy
P-FY-15-28 - Consider and take action on the Final Plat of Heritage Crossing, a 9.587 +/- acre, 5-lot, 1 block, non-residential subdivision, located at the northeast corner of West Adams Avenue and Research Parkway, situated in the Nancy Chance Survey, Abstract No. 5, City of Temple, Bell County, Texas.	DRC 5/04/15 Recorded Feb. 26, 2016	Turley Associates	Mark
P-FY-15-36 - Consider and take action on the Final Plat of Morgan Ridge Estates, a 5.143 +/- acre 2-lot, 1-block residential subdivision within the E.T.J of the City of Temple. Bell County , Texas, being a portion of the Maximo Moreno Survey, Abstract No. 14, Bell County, Texas, located at the southwest corner of the Morgan Drive and Hartrick Bluff Road intersection	DRC 7/06/15 (administrative approval) awaiting mylars for signatures	All County Surveying	Tammy
P-FY-15-46 - Consider and recommend action on the Final Plat of Highline Addition, a 7-lot, 1-block, 12.59 +/- acre nonresidential subdivision, out of the Redding Roberts Survey, Abstract No. 692, Bell County, Texas, located at the northwest corner of Scott Boulevard and South 31st Street.	DRC 11/25/15 Pending Prelim Plat	Advanced Surveying and Mapping	Tammy

<p>P-FY-15-47 - Consider and take action on the Final Plat of Baylor Scott & White Distribution Center, a 64.62 +/- acres, a 1-lot, 1-block non-residential subdivision, being part of the Vincent Barrow Survey, Abstract No. 64, situated in Temple, Bell County, Texas, at the northeast corner of H.K. Dodgen Loop and north General Bruce Drive, located at 5141 N. General Bruce Drive.</p>	<p>Approved by P&Z and awaiting mylars for signatures</p>	<p>Ron Carroll</p>	<p>Tammy</p>
<p>P-FY-16-08 - Consider and recommend action for the Final Plat of Spurlock's Arbour Addition, in the southeastern ETJ, a 5.87 +/- acre, 2 lot, 1 block, residential subdivision, out of the MAXIMO MORENA SURVEY, Abstract No. 14, in Bell County Texas, with exceptions to UDC for fire hydrant and sidewalks (project manager look at exceptions on application), located south of Barnhart Road, west of State Highway 95, and north of State Highway 93.</p>	<p>Waiting for applicant's response to post-DRC comments</p>	<p>Advanced Surveying and Mapping</p>	<p>Dessie</p>
<p>P-FY-16-09 – Consider and take action on a final plat of Hills of Westwood Phase IX, a 20.720 +/- acre, 96 lots, 4 blocks residential subdivision, situated in the NANCY CHANCE Survey, Abstract No. 5, located west of Old Waco Road, south of Freedom Drive, and east of Neuberry Cliffe.</p>	<p>Out for recordation</p>	<p>Turley Associates</p>	<p>Dessie</p>
<p>P-FY-16-14 - Consider and take action on the Final Plat of Cedar Cove Replat, a 4.895 +/- acres, 2 Lot, 1 Block, being a replat of Lot 2, Block 1, Cedar Cove Subdivision, a residential subdivision, located in Temple's western ETJ north of Cedar Cove Road, south of Westcliff Road, and west of Fullview First Street.</p>	<p>PZC 3/07/16</p>	<p>Kimberli Gray</p>	<p>Tammy</p>
<p>P-FY-16-16 - Consider and take action on the Final Plat of Las Colinas Replat, 5+ acres, Lots 9, 10, & 11, Block 1, and Lots 13 & 14, Block 3, Las Colinas Subdivision, located at 1710 & 1719 Las Lomas Court & 1545, 1605, 1615 Altavista Loop.</p>	<p>DRC 2/04/16 Awaiting revisions from applicants</p>	<p>Mark Rendon</p>	<p>Tammy</p>
<p>P-FY-16-17 - Consider and take action on the Final Plat of Angelica Acres, a 3.00 +/- acres, situated in the Baldwin Robertson Survey, Abstract 17, Bell County, Texas, embracing all of a called 2.00 Acre tract, conveyed as Tract One, and all of a called 1.00 Acre tract, conveyed as Tract Two, located at 9151 State Highway 317.</p>	<p>DRC 2/04/16 Awaiting revisions from applicants</p>	<p>Ronald & Angelica Cox</p>	<p>Mark</p>
<p>P-FY-16-18 - Consider and take action on the Preliminary Plat of Park Ridge Single Phase Residential Development, a 5.888 +/- acre, 12-lot, 1 Block, situated in the Mary Cherry Survey, Abstract 175, Bell County Texas, located at the northwest corner of Lyons Park Drive and Hickory Road.</p>	<p>DRC 2/25/16 Awaiting response to Post-DRC comments</p>	<p>Clark & Fuller</p>	<p>Mark</p>

<p>P-FY-16-19 - Consider and take action on the Final Plat of Westfield Development V, Replat No. 1, 12.488 +/- acres, 2-lot, 1-block non-residential subdivision, situated in the Nancy Chance Survey, Abstract No. 5, Bell County, Texas, located north of Stonehollow Drive and west of Hilliard Road</p>	<p>DRC 2/25/16</p>	<p>Turley Associates</p>	<p>Tammy</p>
<p>P-FY-16-20 - Consider and take action on the Final Plat of Carriage House Trails, Phase II, 25.089 +/- acres, 73-lot, 4-block residential subdivision, situated in the Baldwin Robertson Survey, Abstract 17, Bell County, Texas, located south of Skyview, and north and northeast of Thicket Trail and Broken Shoe Trail</p>	<p>DRC 2/25/16 Awaiting response to Post-DRC comments</p>	<p>All County Surveying</p>	<p>Mark</p>
<p>P-FY-16-21 - Consider and take action on the Final Plat of Lake Pointe Phase III, 67.69 +/- acres, 300-lot, 11-block residential subdivision, situated in, and being out of the Baldwin Robertson Survey, Abstract No. 17, Bell County, Texas, located east of Lake Pointe Subdivision Phases II and II-A-2, west of the intersection of N. Pea Ridge and Prairie View Road.</p>	<p>DRC 2/25/16</p>	<p>Yalgo Engineering</p>	<p>Dessie</p>
<p>P-FY-16-22 - Consider and take action on the Amending Plat of Lots 1 & 2, Block 1, Shoppes on the Hill, located at 2304 & 2320 South 31st Street.</p>	<p>Awaiting mylars</p>	<p>All County Surveying</p>	<p>Dessie</p>
<p>P-FY-16-23 - Consider and take action on the Final Plat of Kegley Crossing Addition, a 6.97 +/- acre, 4-lot, 4-block non-residential subdivision, situated in the NANCY CHANCE SURVEY, Abstract No. 5, situated in the City of Temple, in Bell County, Texas, located between Kegley Lane and South Kegley Drive, north of Charter Oak Drive.</p>	<p>DRC 3/10/16</p>	<p>Ron Carroll</p>	<p>Tammy</p>
<p>Z-FY-16-17 - Hold a public hearing to discuss and recommend action on a rezoning from Agricultural (AG) District to AG and Commercial (C), 1.8 +/- acres out of 6.97 acres, Nancy Chance Survey, Abstract No. 5 in the City of Temple, Bell County, Texas, located between Kegley Lane and South Kegley Road, north of Charter Oak Drive.</p>	<p>PZC 3/21/16</p>	<p>Ron Carroll</p>	<p>Tammy</p>

City Council Final Decisions	Status
<p>Z-FY-16-08 – Consider adopting an ordinance authorizing a rezoning from Two Family (2F) zoning district to Commercial (C) zoning district, Lots 5 & 6, Block 011, Temple Heights, located at 1119 South 53rd Street.</p>	<p>APPROVED at 2nd Reading on February 18, 2016</p>
<p>Z-FY-16-13 – Consider adopting an ordinance authorizing a rezoning upon annexation of a 0.278 acre tract of land from Agricultural District (AG) to Single-Family Two (SF-2) District, as part of the subdivision plat for Campus at Lakewood Ranch Phase X, located at the end of Richland Drive, between existing Campus at Lakewood Ranch Phases VIII and IX.</p>	<p>APPROVED at 1st Reading on February 18, 2016</p>
<p>X-FY-16-05 – Consider adopting an ordinance authorizing annexation of 0.278 acres of land out of and part of the George W. Lindsey Survey, Abstract 513, Bell County, Texas</p>	<p>APPROVED at 1st Reading on February 18, 2016</p>
<p>X-FY-16-09 – Consider adopting an ordinance authorizing the annexation of a 20.855 +/- acre tract of land out of the Sarah Fitzhenry Survey, Abstract 312, Bell County, Texas, and located adjacent to the Cedar Ridge Crossing subdivision.</p>	<p>APPROVED at 1st Reading on February 18, 2016</p>

P&Z COMMISSION ATTENDANCE

2016														P	A
	Jan 4	Jan 19	Feb 1	Feb 16	Mar 7	Mar 21	Apr 4	Apr 18	May 2	May 16	June 6	June 20			
Lydia Alaniz	P	P	P	P									4		
Tanya Mikeska-Reed	P	A	P	P									3	1	
Blake Pitts	A	P	P	P									3	1	
Patrick Johnson	P	P	P	A									3	1	
Omar Crisp	P	A	P	P									3	1	
David Jones	P	A	P	P									3	1	
Greg Rhoads	P	P	P	A									3	1	
Will Sears	A	A	P	P									2	2	
Lester Fettig	P	P	P	P									4		

	July 5	July 18	Aug 1	Aug 15	Sept 6	Sept 19	Oct 3	Oct 17	Nov 7	Nov 21	Dec 6	Dec 19	P	A
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Tanya Mikeska-Reed														
Blake Pitts														
Patrick Johnson														
Omar Crisp														
David Jones														
Greg Rhoads														
Will Sears														
Lester Fettig														

not a Board member