

**NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
CITY MUNICIPAL BUILDING, 2 NORTH MAIN STREET
PLANNING CONFERENCE ROOM
AUGUST 5, 2013, 5:00 P.M.
WORK SESSION AGENDA**

Staff will present the following items:

1. Discuss, as may be needed, Regular Meeting agenda items for the meeting posted for Monday, August 5, 2013.
2. Receive and discuss the Planning Director's Report containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code (UDC).

**NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
CITY MUNICIPAL BUILDING, 2 NORTH MAIN STREET
CITY COUNCIL CHAMBERS, 2ND FLOOR
AUGUST 5, 2013, 5:30 P.M.
REGULAR MEETING AGENDA**

1. _____ Invocation
2. _____ Pledge of Allegiance

A. CONSENT ITEMS

All items listed under this section, Consent Agenda, are considered to be routine by the Planning & Zoning Commission and may be enacted in one motion. If discussion is desired by the Commission, any item may be removed from the Consent Agenda at the request of any Commissioner and will be considered separately.

Item 1: [Approval of Minutes](#): Work session and the regular meeting of July 15, 2013.

B. ACTION ITEMS

Item 2: [P-FY-13-35](#): Consider and take action on the Final Plat of Hills of Westwood Phase V, a 16.402 ± acre, 64-lot, 4-block residential subdivision, located at the northeast corner of Hogan Road and Southern Draw Drive.

Item 3: [Z-FY-13-26](#) – Hold a public hearing to consider and recommend action on a Conditional Use Permit to allow a freestanding personal wireless cell tower in an existing Commercial District, located on 0.02 ± acres out of Lot 2, Block 1, Glendale Park, Section VI at 2615 South 37th Street and Tract A, Block 3, Glendale Park Section III, at 2707 South 37th Street.

C. REPORTS

Item 4: Receive and discuss the [Planning Director's Report](#) containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code. (*continued, if not completed in Work Session*)

I hereby certify that a true and correct copy of this Notice of Meeting was posted in a public place at 8:45 AM, on August 2, 2013.



Lacy Borgeson, TRMC
City Secretary

SPECIAL ACCOMMODATIONS: Persons with disabilities, who have communication or accommodation needs and desire to attend the meeting, should notify the City Secretary’s Office by mail or by telephone 48 hours prior to the meeting.

I certify that this Notice of Meeting Agenda was removed by me from the outside bulletin board in front of the City Municipal Building at _____ the _____ day of _____, 2013. Title _____.

**PLANNING AND ZONING COMMISSION
JULY 15, 2013
5:30 P.M.**

PLANNING AND ZONING MEMBERS PRESENT
Chair James Staats

COMMISSIONERS:

H. Allan Talley	Chris Magaña
David Jones	Patrick Johnson
Greg Rhoads	Will Sears

PLANNING AND ZONING MEMBERS ABSENT:

Derek Martin	Randy Harrell
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STAFF PRESENT:

Kim Foutz, Assistant City Manager
Beverly Zendt, Interim Dir. of Planning
Trudi Dill, Deputy City Attorney
Eddy Mitchell, Fire Inspector
Tammy Lyerly, Senior Planner
Mark Baker, Planner
Mary Maxfield, Planning Technician
Leslie Evans, Administrative Assistant
Tiffany Miles, Planning Intern

The agenda for this meeting was posted on the bulletin board at the Municipal Building, July 12, 2013 at 1:30 p.m. in compliance with the Open Meetings Law.

The following is a summary of the proceedings of this meeting. It is not intended to be a verbatim translation.

Chair Staats called Meeting to Order at 5:30 P.M.

Invocation by Commissioner Jones; Pledge of Allegiance by Commissioner Rhoads.

A. CONSENT ITEMS

Item 1: Approval of Minutes: Work session and the regular meeting of July 1, 2013.

Approved by general consent.

B. ACTION ITEMS

Item 2: P-FY-13-13: Consider and take action on the Final Plat for Brazos Bend Subdivision, a + 5.50 acre, 19-lot, 2 tract, 1- block, Office-2 (O-2) residential subdivision, located on the west side of Old Waco Road, north of Brandon Drive. The property is addressed as 510 Old Waco Road. (All County Surveying)

Mr. Mark Baker, Planner, stated this was the final plat for Brazos Bend Subdivision and P&Z is the final authority since the applicant did not request any exceptions to the Unified Development Code (UDC).

The DRC deemed this plat administratively complete on July 3, 2013. The property is zoned Office-Two (O-2) and the plat proposes 19 residential lots developed as duplexes. The plat also proposes to create a local street called Cameron Park Road which would have a 50 foot right-of-way and a 30 foot paved section.

Water will be provided through an eight-inch water line extended down Cameron Park Road from Old Waco Road and wastewater services will be provided through an eight-inch sanitary sewer line extended from Brandon Drive through Old Waco Road and down Cameron Park Road.

Old Waco Road is identified as a proposed major arterial and anticipated to be built to major arterial standards when final right-of-way acquisition and design is completed in the future. The Citywide Trails Master Plan calls for a minimum 10 foot wide trail along the property frontage of Old Waco Road and a six foot sidewalk is required along Old Waco Road per UDC Section 8.2.3. The combined sidewalk and trail will be constructed as part of the overall road improvement project. Park fees equal \$8,550 based on 19 lots developed as duplexes.

Staff recommends approval of the Brazos Bend Subdivision.

Commissioner Talley made a motion to approve Item 2, **P-FY-13-13**, and Vice-Chair Sears made a second.

Motion passed: (7:0)

Commissioners Martin absent

Commissioner Harrell attended the meeting but not as a Commissioner

Chair Staats stated the Commission would skip Item 3 until after Items 4 and 5 for expediency.

Item 4: P-FY-13-32: Consider and take action on the Final Plat of Wyndham Hill Addition Phase III, a 15.534 ± acres, 60-lot, 5-block residential subdivision, located on the west side of South 5th Street, west of Wyndham Hill Parkway. (Gary Freytag for Belfair Development, Inc.)

Ms. Tammy Lyerly, Planner, stated the applicant was not requesting exceptions from the UDC and the P&Z Commission would be the final plat authority.

DRC reviewed the plat on June 19, 2013 and deemed it administratively complete on July 8, 2013.

This is a continuation of the Wyndham Hill Addition that is already established. The property is zoned Planned Development Single Family-Two (PD-SF-2) and the development agrees with the zoning.

Water would be provided through six-inch and eight-inch water lines. Wastewater services will be provided through a six-inch and eight-inch wastewater lines as well as a 20 foot wide off-site wastewater easement at the north edge of Markham Drive.

Regarding park fees, the developer will need to ensure that all Letters of Credit for previous phases of the development are up to date and provide a new Letter of Credit for this phase of the development in the sum of \$13,560 (\$225 per residential lot). The Letter of Credit will need to be updated annually until such time public park land is dedicated. As an alternative, one Letter of Credit to cover all three phases could be done in the sum of \$52,260.

Staff recommends approval of the final plat of Wyndham Hill Addition.

Commissioner Jones made a motion to approve Item 4, **P-FY-13-32**, and Commissioner Johnson made a second.

Motion passed: (7:0)

Commissioners Martin absent

Commissioner Harrell attended the meeting but not as a Commissioner

Item 5: Z-FY-13-27: Hold a public hearing to discuss and recommend action on a zone change from Agricultural District (AG) to Single Family Dwelling 1 District (SF-1) on 17.65 ± acres, being part of the S.P. Terry survey, Abstract No. 812, in Bell County, Texas, located on the north side of FM 2305 east of Arrowhead Point Road. (Applicant: Brad Dusek)

Mr. Baker stated this item would go to City Council for first reading on August 15th and second reading on September 3, 2013.

The Comprehensive Plan Future Land Use and Character Map designate the property as Estate-Residential. There is a six-inch water line at FM 2305 that fronts the property and a 12 inch sewer line on FM 2305 a short distance to the east.

Surrounding properties include scattered single family residential and non-residential uses to the south, Eagles Oaks at the Lakes subdivision to the north, and to the east and west are mixed residential and non-residential uses.

Estate-Residential District is for rural residential development on larger lots on the city fringes. Single Family-One (SF-1) zoning does not completely comply with the Future Land Use and Character Map. Surrounding areas are currently zoned Agricultural (AG) and SF-1 is the existing residential zoning to the north and some to the further northeast.

Some allowed and prohibited residential and non-residential uses within SF-1 are stated.

Comparisons of Development Regulations are given.

Sidewalks are required on both sides of arterials per UDC Section 8.2.3 and the six foot sidewalk will be required at the time of development.

Seventeen notices were mailed out. Two were received in favor of the request and two were in opposition. Copies of returned notices, received after the P&Z packet was distributed, were given to the Commissioners.

When the proposed rezoning does not agree with the Future Land Use and Character Map, Staff takes the following into account:

1. Is the proposed land consistent with the Comprehensive Plan / Future Land Use Map?
2. Do surrounding uses seem compatible and similar to the proposed zoning?
3. Do surrounding zoning designations seem compatible or similar to the proposed rezoning?

Regarding item 1, it has already been established this request is not completely consistent. Regarding items 2 and 3, there is an established SF-1 adjacent and north of the subject property and the proposed zoning will extend the same type of use already established and continue the suburban pattern.

Staff recommends approval of the request for a zone change from AG to SF-1 for the following reasons:

The proposed zoning does not comply with the Future Land Use Plan Map which identifies this area as Estate Residential, but is consistent with the adjacent SF-1 District to the north and with the suburban character of the area;

The request complies with the Thoroughfare Plan;

The proposed zoning is compatible with the surrounding uses; and

Public facilities are available to serve the subject property.

Chair Staats opened the public hearing.

Mr. Jason Dawkins, 13024 FM 2305, Temple, Texas, stated he was representing his parents, Edward and Sarah Dawkins, property owners adjacent to the subject property directly south.

Mr. Dawkins asked the Commission that since they were located within 200 feet of the development, how would this request affect the Dawkins' property and would they still be allowed to have livestock/animals or would it prohibit them from doing what they are currently doing? Mr. Baker responded the zoning request would not change the Dawkins' property since it is not included with the request. It only reflects the property described from AG to SF-1. Mr. Dawkins stated that as long as it did not change anything on their property, they welcomed the development by Mr. Dusek. Chair Staats stated the zoning request would have no effect on the Dawkins' property which is zoned AG. The Dawkins also own property on the back side of Mr. Dusek's development and had some problems in the past. The Dawkins do not want to go through that process again. Chair Staats stated again it would not change their property.

There being no further speakers, Chair Staats closed the public hearing.

Commissioner Talley made a motion to approve Item 5, **Z-FY-13-27**, and Commissioner Rhoads made a second.

Motion passed: (7:0)

Commissioners Martin absent

Commissioner Harrell attended the meeting but not as a Commissioner

Item 3: P-FY-13-30: Consider and recommend action on the Preliminary Plat of Brayson Crossing, a 6.008 ± acres, 9-lot, 1-block residential subdivision with a requested exception to Unified Development Code Section 8.3 C: Park Land Dedication: General Requirements in the Extraterritorial Jurisdiction to waive park fees and a requested exception to Chapter 12 of the Code of Ordinances, Section 12-10, Fire Apparatus Access Roads, to allow a private apparatus access road that has a combined pavement and concrete ribbon curb width of no less than thirteen feet, instead of the minimum required width of eighteen feet on both sides of an entrance island, located in the western E.T.J., at the northeast corner of FM 439 and Sparta Loop. (Applicant: Mitchell & Associates for JRBC Investments LLC)

Ms. Lyerly stated the item has changed since the last meeting because the applicants are now requesting an exception to the required park fees. The item has been changed to include their waiver for park fee requirements.

The applicant is proposing private roads and they meet the private road width. This item was tabled at the last meeting because of the road width at the entrance island.

This plat was deemed administratively complete on June 26, 2013. The property is located in the ETJ so there are no zoning regulations for this subdivision. Water will be provided through proposed six-inch and eight-inch water lines and the development will be serviced by septic system. Tract A consists of two private streets with 20 foot wide right-of-way widths and 20 foot pavement widths. The developer proposes entrance islands at FM 439 that do not meet the requirements of Chapter 12 of the Code of Ordinances which deals with the fire code.

Chapter 12 of the Code of Ordinances, Section 12-13, d) Location of Private Fire Apparatus Access Roads and Fire Lanes, requires the following:

No building, other than single-family or two-family dwellings, shall be constructed so that any part of the perimeter of the building is greater than one hundred and fifty (150) feet from a public way or public place unless the owner or property manager constructs and maintains a private apparatus access road or fire lane having a minimum width of twenty (20) feet and a minimum overhead clearance throughout of no less than thirteen (13) feet six (6) inches and terminating within one hundred and fifty (150) feet from the furthestmost point of said building. The same being reflected on the first plat of the property.

The developer requests an exception to required park fees in the amount of \$2,025 (\$225 per dwelling) per the UDC.

Ms. Lyerly states the following information is from a newer section of the UDC and if an applicant meets the three criteria, park fees are not required within the ETJ. The applicants meet the conditions except for one: if the proposed subdivision has fewer than nine lots than they are allowed with the other conditions to have the park fees waived. In this case they have exactly nine lots. Staff supports the request for waiver of park fees.

The previously requested exception dealt with the fire code. The section the applicant quoted initially actually meets the section. The whole subdivision is at least 20 feet wide in street width and the section they asked for is the 18 feet. What they do not meet are the street widths on both sides of the entrance island.

At the last meeting the applicant had 13 feet on each side of the island. That has been revised to 14 feet and an extra foot at the entrance has been added.

Staff still supports the City of Temple's Fire Code but the applicant has submitted letters of support from the first responders in the ETJ area, Bell County, and from the City of Belton. Staff recognizes that although they support the Fire Code they recognize the Commission needs to consider the opinions of the first responders in the ETJ and County.

Staff recommends approval of the preliminary plat of Brayson Crossing, with the developer's requested exception to UDC Section 8.3. C and subject to meeting the minimum required 20-foot pavement width for private apparatus access road, per Chapter 12 of the Code of Ordinances, Section 12-13, d) Location of Private Fire Apparatus Access Roads and Fire Lanes.

Commissioner Talley had questions regarding authors of the letters of support. Ms. Lyerly stated the applicant was in attendance and could answer any questions.

Chair Staats asked for someone to respond.

Ms. Rebecca Taylor, 3700 South Lake Drive, Belton, Texas, responded with who the individuals were that wrote the letters.

Commissioner Magaña asked about the 14 feet and Ms. Taylor responded they were able to add an additional foot on each side of the gate as well as changing the curbing to ribbon.

Commissioner Magaña commented that at the last meeting his first inclination was to go with 18 feet. However, when Commission Magaña went home after that meeting, he discovered his subdivision gates were 14 feet. Commissioner Magaña stated if he and his family are safe with 14 foot gates, the applicant should have 14 foot gates as well.

Commissioner Talley made a motion to approve Item 3, **P-FY-13-30**, and Commissioner Magaña made a second.

Motion passed: (7:0)

Commissioners Martin absent

Commissioner Harrell attended the meeting but not as a Commissioner

Item 6: Z-FY-13-28: Hold a public hearing to consider and recommend action on a zone change from Planned Development-Single Family Two District to Multiple Family One

District on 35.22 ± acres; Planned Development-Single Family Two District to General Retail District on 3.40 ± acres; Planned Development- General Retail District to Multiple Family One District on 1.27 ± acres; and Planned Development-General Retail District to General Retail District on 10.80 ± acres, being out of and part of a called 50.691 ± acres of land out of the Maximo Moreno Survey, Abstract 14, Bell County, Texas located at the northeast corner of South 5th Street and F.M. 93.

Ms. Beverly Zendt, Interim Director of Planning, stated this was a multi-request zoning and the applicant was W. Randy Harrell on behalf of Boose-Mitchell. This item will go to City Council for first reading on August 15th and second reading on September 5, 2013.

Ms. Zendt gave an overview of the property. In 2008 the subject property was rezoned and resulted in the Planned Development General Retail (PD-GR) and the Planned Development Single Family-Two (PD-SF-2) designation that is being considered for change. In the original rezoning case, Staff was directed to work with the applicant and neighboring property owners to develop a PD scheme that was acceptable to all parties at that time. Staff looked at buffering and screening the proposed uses and what resulted was the Ordinance included in the Commissioner's packets.

The Ordinance includes detailed information about the landscaping and screening, specifically, landscaped walls and buffers between retail and residential uses; landscaping along FM 93; landscaped islands in non-residential parking lots, buffering walls and when they would be triggered for the nonresidential portions, and continued maintenance of those landscaped improvements in the residential area by means of a Home Owners Association. The full Ordinance sets out various other details such as types of wall materials (brick or rock wall), types of trees, 25 on center, etc. Tonight the Commission will be looking to eliminate most of these things only to propose rezoning.

Ms. Zendt shows a map of the area and states the proposed rezoning classifications do not line up exactly with the boundaries. The current zoning districts are indicated by a pink line and due to the inaccuracies, there are essentially four rezonings. The area indicated previously as GR would be MF-1 (north) and the area indicated previously MF-1 would be GR (south). The end result would be two zoning classifications only.

Ms. Zendt indicates the subject property currently zoned PD-SF-2 and PD-GR. To the south across South 5th Street is a residential area zoned AG and some undeveloped property. To the east is AG and a residence is in the area and beyond the residence outside the city limits, is mostly undeveloped land. To the north is a church and SF-2 residential area and to the west is AG undeveloped property.

Ms. Zendt stated the Future Land Use and Character Map does not line up with the zoning: three of proposed areas for zoning fall into the Suburban-Residential future land use area and the southern piece falls into the Suburban-Commercial area. The church is Public Institutional, additional SF-2 surround the property, and additional Suburban-Commercial area.

The pieces are numbered to keep track of them:

1. PD-SF-2 to MF-1 Suburban-Residential
2. PD-SF-2 to GR Suburban-Residential

- 3. PD-GR to MF-1 Suburban-Residential
- 4. PD-GR to GR Suburban-Commercial

Suburban-Commercial is appropriate for office, retail and other service uses near residential neighborhoods. Development should maintain a suburban character compatible with the residential area.

Suburban-Residential is the second least intensive residential land use designation and is appropriate for mid-sized single family lots, allowing for more separation between buildings and greater emphasis on green spaces versus streets and driveways.

Uses allowed in GR and MF-2 are given along with dimensional requirements for both.

The Thoroughfare Plan designates South 5th Street and FM 93 as major arterials. A 12 inch water line is available to serve the subject site on S. 5th Street. Sewer lines are available north (WB Development) of the subject tract and to the north and west (Wyndham Hill) and will have to be extended. There is extension of sewer by means of an off-site private easement to the church. Six foot sidewalks will be required on both FM 93 and S. 5th Street. This area is not on the Trails Master Plan but sidewalks are required on arterials.

When Staff looks at a rezoning which is not entirely consistent with the Future Land Use and Character Map, several items are considered:

- 1. Is the proposed land consistent with the Comprehensive Plan/Future Land Use and Character Map?

This case is not consistent. Three of the four areas (the northern sections) are all designated as Suburban-Residential which is identified for single family detached homes, mid-sized, which is what is predominately in this area.

- 2. Do surrounding uses seem compatible and similar to the proposed rezoning?
- 3. Do surrounding zoning designations seem compatible or similar to the proposed rezoning?

Surrounding uses are agricultural and single family-two to the north of the subject property. This seems to be a pattern that will likely extend since it is consistent with the Suburban-Residential use of the area. However, this area has a very suburban feel and is highly undeveloped and the surrounding zoning and uses are suburban and/or rural. The uses and zonings around the subject property are consistent with that character.

In summary:

- 1. PD-SF-2 to MF-1 Suburban-Residential -
Staff recommends disapproval
- 2. PD-SF-2 to GR Suburban-Residential -
Staff recommends disapproval
- 3. PD-GR to MF-1 Suburban-Residential -
Staff recommends disapproval
- 4. PD-GR to GR Suburban-Commercial -

Staff recommends approval as it is compliant with the Future Land Use and Character Map.

Ms. Zendt also stated that Tract 2 (PD-SF-2 to GR) is adjacent to a tract that Staff is proposing to recommend approval for, if Tract 1 (PD-SF-2 to MF-1) should go multi-family, there would be a stronger sense that this would be appropriate as GR. With SF-2 at that location, Staff did not feel comfortable calling it GR since the Future Land Use and Character Map does not support it, especially since it is not located at the corner. There is some exposure in terms of the additional buffering required to protect the existing SF-2 use. Based on previously required buffering, its location (farther away from the corner), and based on the Future Land Use and Character Map, Staff recommended disapproval but would like some special consideration given to that depending on whether or not the Commission approves the multi-family portion.

Staff is more comfortable with a Neighborhood Service (NS) designation for Tract 2 which is next to single family residential areas. Staff recognizes the area has commercial value based on its location.

Each item was noticed separately as they all have different zonings.

Tract 1 (PD-SF-2 to MF-1) – Four property notices were mailed out. Zero were returned in favor, two were returned in opposition.

Tract 2 (PD-SF-2 to GR) – Two property notices were mailed out: Zero were returned in favor, zero were returned in opposition.

Tract 3 (PD-GR to MF-1) – One property notice was mailed out: One notice was returned in opposition.

Tract 4 (PD-GR to GR) – Five property notices were mailed out: One was returned in favor, two were returned in opposition, and one was returned undecided.

Staff recommends disapproval for Tracts 1, 2, and 3 and approval for Tract 4.

Commissioner Rhoads asked if any of the homes currently in the area were duplexes. Ms. Zendt stated not that she was aware of; it was all SF-2.

Commissioner Johnson asked what the major differences were in PD-GR to GR. Ms. Zendt replied some of the considerations of the PD were landscaping within the parking lot and substantial buffering between the retail use and the proposed residential use. Typically, a fence or landscaping is required and in this case they required both. In addition, considerably landscaping within the site. Under the current zoning, Staff would still require buffering between residential and non-residential uses and would ask for a fence or vegetative screen.

Chair Staats opened the public hearing.

Mr. Randy Harrell approached the podium to speak when Ms. Zendt interrupted the proceedings to state the Legal Department just advised Staff that Mr. Harrell, as a member of the P&Z Commission, was not an item Mr. Harrell was allowed to speak on. Mr. Harrell stated he would then ask for a continuance so the applicant would be able to make a presentation because this was the first they were notified of this. Mr. Harrell requested a continuance so the applicant could have an opportunity to prepare and be heard. Ms. Trudi Dill, Deputy City

Attorney, stated that the public hearing has already been advertised and opened and the citizenry in attendance would be allowed to speak.

Ms. Zendt asked Mr. Harrell for clarification that that once the public hearing was concluded, the applicant was requesting the item to be tabled and Mr. Harrell responded yes.

Ms. Cynthia Bankston, 218 W. FM 93, Temple, Texas, stated she lives in the middle of Tract 4. Ms. Bankston stated that while high quality multi-dwellings (townhomes and town house apartments) do exist in areas of Temple, there also exist examples of "other types of high density areas of development" which is what she is now referring. These "other multi-family units" whether large scale or small, are now properties that may have been a good idea at the time of construction but have turned out to be problematic.

Ms. Bankston commented that news stations consistently provide many examples (violence, theft, burglary) of events that occur in loosely regulated high density locations, along with traffic congestion that causes detrimental conditions. Ms. Bankston stated she and her "associates" are in opposition of any type of high density residences being constructed there.

Ms. Bankston explained there are communities currently located on both sides of South 5th Street extending down to the intersection of South 5th Street and FM 93. The SF-2 housing communities currently found in these locations conform to or exceed stipulations made by the City for SF-2. The attractiveness of the landscaping and common areas vary from one development to the other, and it is obvious they are communities of modest middle-class dwellings with yards and constructions neatly maintained by their owners. These people need to be encouraged to continue residing in these communities and these communities have low instances of crime and very high in productivity. The individuals make house payments and pay taxes that support city services and maintenance and the value of their investments will be depreciated by the intrusion of any type of high density or unregulated growth in the area.

Ms. Bankston stated the City's long range Comprehensive Plan calls for single family residential development in the area. Residents in the area are depending on the P&Z Commission to share their vision of a long term community of family homes that are secure, safe, and worthwhile investments. If the current rezoning requests are not altered and controlled by the City, the value and safety of these neighborhoods could be severely compromised. Ms. Bankston feels the City needs to take steps now and in the future to ensure that the best possible PD for this entire area is a matter of City regulations and records. Temple has ample reason to protect the prosperity and growth and communities.

Ms. Bankston stated concerned citizens have been visiting with City developers regarding the current rezoning proposals and also identified the residents were only given one week's notice of the rezoning proposals in order to educate themselves about this matter.

Ms. Bankston commented that the areas were zoned to the residents' satisfaction in 2008 with the residential zoning as SF-2-PD and the corner of S. 5th Street and FM 93 zoned as PD-GR. These zonings were approved by the Mayor and City Council and recommended by the P&Z Director and Commission in 2008. Residents and officials were in agreement with the best possible future for the area.

Ms. Bankston indicated the developer now appears to be hoping that recent changes in the City's governing bodies and offices may have opened the door to a new era for Temple, characterized by an anything goes attitude for development.

Ms. Bankston reiterated that the current zonings for the areas in question are reasonable and right and asked the P&Z Commission to uphold that decision.

Dr. Stephen Crawford, 275 W. FM 93, Temple, Texas, stated he lived on the south side of FM 93 and concurred with Ms. Bankston's comments. Dr. Crawford stated in 2008 a zoning change proposal was requested by the same developer, Boose-Mitchell, and at that time the land was zoned AG. The request was for 150 duplexes to be built. At that time, the residents of the area made their voices known in strong opposition to that proposal. Consequently, the P&Z Commission rendered their decision on the two zonings currently in place, PD-GR and the SF-2. Since that time, several housings projects have begun to the north and to the west of the subject property. These homes were built in compliance with current zoning ordinances by multiple builders and developers. More single family homes on S. 5th Street and FM 93 would probably be welcomed by the current residents that would not require any changes to the current zoning in place.

Mr. John Hughling, 225 W. FM 93, Temple, Texas, stated he was Mr. Crawford's neighbor on the south side of FM 93. Mr. Hughling commented a lot of work was done in 2008 to have those properties zoned to something the residents were happy with and would not like to see the zonings change.

Mr. Hughling stated the residents are very particular about the GR area (PD-GR) and had limitations they liked to see for what could be proposed in the area. Mr. Hughling asked the P&Z Commission to consider those points and deny the request.

Brief discussion regarding the 2008 uses allowed in the PD-GR.

Commissioner Rhoads asked Mr. Hughling what his thought was in 2008 about a service station when everyone agreed to the PD-GR and Mr. Hughling stated he did not have an objection to the service station; it was tattoo parlors and other sundry stores they did not want in the area. The PD-GR with limitations covered that for the area and would not like to see it disregarded.

Ms. Zendt stated there were no trails in this general area.

Ms. Carol Brazzil, 341 W. FM 93, Temple, Texas, representing her family and herself, stated she was not happy with the limitations of the service station put on the PD-GR. Ms. Brazzil indicated she and her family oppose the proposed zoning changes. Ms. Brazzil implied it would be better if No. 1, 2, 3 were all single family dwellings since that would continue the residential pattern coming down 5th Street. If this cannot happen, the current zoning should remain in place.

Ms. Brazzil commented the current residents would prefer to see the area developed similarly to West Temple 2305 which would add to the existing beauty along with modest housing and minimum retail. There needs to be firm restrictions, including, but not limited to, landscaping, nice entrances, good building materials, attractive store fronts, and signage restrictions, basically what was set in place several years ago.

Ms. Brazzil stated the population density in the subject area is low; however, potential future residents and consumers need to feel safe and secure, and be an attractive area inviting people to shop, work, and reside there. Ms. Brazzil again states the subject area needs to be more like the well planned communities existing along 2305 leading into the Belton area and the Bird Creek Crossing area.

Ms. Brazzil stated the decision of the P&Z Commission will impact and influence future growth, commercially and residentially. No matter what zoning it is, the entire area needs to be a PD which gives an overlay to adhere to higher standards and not the minimum. The area should not become just brick, concrete, and boxes. Ms. Brazzil commented that all the PDs will establish and lockdown tighter and higher development standards and provide the opportunity to be a well planned community as evidenced by the past work done to make it so.

Ms. Brazzil requested the Commission leave the zoning as it is since it is the gateway to the south side of Temple.

Vice-Chair Sears asked what Ms. Brazzil thought about keeping the PD-GR but allowing the MF in the back since it was fairly shielded from the site line of 5th Street. Ms. Brazzil responded she was opposed to any multi-family and would like to see it remain what it was in 2008 with SF-2. If Tract 2 were SF-1 or SF-2 it would need to have a PD on it for control, the whole area needs some control. Ms. Brazzil's objective is to make sure the area is in keeping with other well planned communities. Ms. Brazzil feels MF-1 is denser with more units per acre and SF-2 would be more limiting. If it was good enough in 2008 to leave it SF-2 why is it being changed.

Mr. Dick Stafford, 4609 Chestnut Road, Temple, Texas, stated he was the Chairman of the Deacons for Memorial Baptist Church. Mr. Stafford stated several years ago an historic old church was moved out to S. 5th Street because something beautiful was envisioned on the hill and the surrounding area. Mr. Stafford would like to see the area remain single family and to look like what is across the street to the north of the area and not change.

Mr. Steve Hubbard, 8716 Laurel Ridge, Temple, Texas, stated he was a Deacon-in-Training and a member of Memorial Baptist Church. Mr. Hubbard stated he supported the single family development since multi-family development would increase the flow of traffic to one narrow section. That tremendous volume of traffic would create a dangerous atmosphere with the available access. Keeping the zoning the way it is would be a wise move from a public safety standpoint.

Mr. Randy Harrell, Attorney at Law, 2106 Birdcreek Drive, Temple, Texas, approached the podium when Ms. Zendt interrupted to announce that Mr. Harrell has resigned his position from the P&Z Commission and therefore was entitled to speak at the meeting on behalf of the applicant. Mr. Harrell stated his first duty was to his client.

Mr. Harrell remarked that South 5th Street is a major arterial and FM 93 is a State Highway. These thoroughfares are well suited for general retail and not well suited for single family residences. This is borne out by the Staff's support of Tract 4 that it receive a GR designation and the same holds true for Tract 2, which is along South 5th Street, which is not unlike South 31st Street or FM 2305, which are also major arterials. Mr. Harrell pointed out that one of the opponents suggested she would like to see South 5th Street developed like FM 2305.

Mr. Harrell indicated that on FM 2305 there were several convenience stores, a new Stripes, real estate and law offices, a spa, several restaurants, several apartment complexes, and some duplex developments a short distance off the street, which is exactly what is being proposed for the subject property—general retail on the main arterial with multi-family behind it.

Mr. Harrell stated MF-1 zoning has long been used in Temple as a buffer between general retail and single family residences. Copies of several examples were handed to the Commissioners and Mr. Harrell briefly described each one.

Mr. Harrell stated having single family behind general retail is not the most sensible transition but have a residential use such as multi-family would be, similar to the examples just handed out and discussed.

Mr. Harrell cites a definition for general retail and then states any undesirable/objectionable uses would require a Conditional Use Permit (CUP) before those uses are allowed. Mr. Harrell points out that the definition states any general retail should be located at the intersection of major arterials which is where the subject property is located.

Mr. Harrell cites a definition for multiple family dwelling and indicates that MF should be near or accessible to collectors and arterials due to the traffic generating capacity of medium density multiple family dwellings. MF-1 is medium density.

Mr. Harrell indicated the person who has not spoken is the person who has invested a lot of money in the property since they are the ones that fuel development and growth in the city. Mr. Harrell remarked that the Temple City Council and P&Z Commission have approved MF next to SF on one side and GR on the other quite often.

Mr. Harrell stated the developer intends to have a Property Owners Association, architectural control, require irrigation and sprinkler systems for the units, and full property management to include landscaping and lawn maintenance. There are a lot of developments in Temple that are done right. The applicant is asking for a zone change only.

Mr. Harrell mentioned the Future Land Use and Character Map is just a guide, a suggestion, and it does not have to be followed; it is not binding and should not strap the hands of the owners/buyers of the subject property. Mr. Harrell stated the Commission routinely departs from the land use map. With respect to property values and negative impact, Mr. Harrell is not aware of any studies that support that view.

Mr. Harrell asked for the Commission's vote for the development and to grant a zone change on all four parcels resulting in two distinct zonings of GR and MF-1.

Commissioner Rhoads asked about the current owner of the property and Mr. Harrell replied Boose-Mitchell is the current owner and under contract to a new owner that is intending to do a multi-family development on the back part. If the zoning does not get approved, the contract and development/project will not happen.

Chair Staats asked Mr. Harrell if he was withdrawing his request to table the item and Mr. Harrell replied yes.

Commissioner Johnson asked why the client wanted GR and not PD-GR. Mr. Harrell responded the client might be willing to do PD-GR on Tract 2. Tract 4 already had recommended approval by Staff. The hesitance to a PD is it is not an ordinary PD—it prohibited all kinds of uses which makes it difficult to be able to move forward on projects. The conditions are different now than back in 2008. There are a lot of front end costs on a PD such as engineering, surveying, and attorneys' fees just to get to this point.

Commissioner Rhoads asked if there were some kind of idea from the owner about the proposed project on the site and Mr. Harrell stated there was and it would not be any type of multi-story, multi-family development, and in all likelihood, a one-story, possibly duplex or four-plex type of units, much like what is on Hogan and Pea Ridge. Dimensional shingles, stone, hardi-plank, fully landscaped and fully irrigated, these would look very much like the homes in the area. Mr. Harrell stated these would be higher end rental properties.

Ms. Zendt stated for clarification Mr. Harrell was incorrect in stating that they could come back at some other time for the PD and would not need to be decided tonight. Ms. Zendt indicated when the zoning is assigned to this area, every use within that district is permitted by right so tonight is the night to decide this. The zoning that is assigned tonight carries the weight and the applicant does not have to come back for the PD, the zoning is assigned by right. If the Commission decides to go with GR they do not have to come back with a PD unless they choose to.

Ms. Zendt also clarified another point about the three things Staff looks at to make a determination.

1. Is the proposed land consistent with the Comprehensive Plan/Future Land Use and Character Map?
2. Do surrounding uses seem compatible and similar to the proposed rezoning?
3. Do surrounding zoning designations seem compatible or similar to the proposed rezoning?

No. 1 carries a bit more weight. The Local Government Code requires that zoning be based on some adopted Comprehensive Plan. When Staff goes against the Comprehensive Plan, Staff is required to come back to P&Z Commission and update the Comprehensive Plan to reflect that zoning change. Nos. 2 and 3 are more common sense issues where as No. 1 is more specific. Cities use their Local Government Code to look to have their zoning based on something or it becomes spot zoning.

Ms. Zendt stated that should the Commission approve the zoning, Staff would at some future date update the Comprehensive Plan, not just with this one but with all rezonings that Staff has applied 2 and 3 and gone against it. Things change in the Comprehensive Plan. Sometimes areas are designated one way may later recommend something that is not consistent because the character of the area may have changed. There are different reasons why Staff recommends those changes.

Chair Staats closed the public hearing.

Chair Staats stated he felt the corner was a natural development for business entities and TxDOT has limited the development of some corners. It was his feeling Neighborhood

Services (NS) would be a good buffer. Ms. Zendt stated it was Staff's recommendation to be NS; the applicant requested GR-NS.

Discussion of the uses allowed in 2008 and the ones allowed since the Unified Development Code was adopted.

Ms. Zendt reminded the Commission that this was the time to discuss the PD because if the zoning is approved this evening, that becomes the zoning by right and there is nothing that says the applicant has to return for a PD. The PD is the zoning and if there is a recommendation, this is the time.

Commissioner Magaña asked if Tract 4 were changed to GR, would that open the door to more uses allowed. Ms. Zendt stated she was unsure but thought the alcohol serving establishments would be permitted (with a CUP), some of the landscaping standards adopted would fall away, and the full range of uses would be allowed.

Discussion about increased traffic, TxDOT control, and aesthetics of the new development.

Ms. Zendt explained again that, if approve, this would be it—it would not come with the plat. The Commissioners would be approving it with the zoning that would open up to all the uses within that zoning and subject only to the General Development Standards. The UDC already contains screening requirements between non-residential and residential properties. Ms. Zendt was not certain if you had to buffer between multi-family and non-residential.

Commissioner Rhoads asked if any of the opponents could give their opinions of a new developer who proposes a nicer development.

Chair Staats re-opened the public hearing.

Ms. Cynthia Bankston, 218 W. FM 93, Temple, Texas, stated she wanted to see concrete evidence of what was proposed or she had an objection.

Mr. Pat Patterson, 4212 S. 5th Street, Temple, Texas, stated he was involved with the development. A lot of information is unknown at this point and it takes a lot of money per lot to get to this point. The zoning is typically first and then the plat is presented.

Mr. Patterson stated he has built various developments in both east and west Temple and currently only builds duplexes. Mr. Patterson describes his properties in both areas.

According to Mr. Patterson, there are no rental properties in this part of town on South 5th. Mr. Patterson received multiple requests weekly regarding property in the Academy School District. Mr. Patterson proposes the property off of 5th Street be GR which is appropriate for that corridor. Behind the retail Phase I would be approximately 50 duplexes which is probably the extent Mr. Patterson would go since he does not know what the market is. These duplexes would have stone fronts, fully landscaped with sprinkler systems, and Mr. Patterson would own them, he does not sell his duplexes. Mr. Patterson stated he would be solely responsible for the maintenance of his duplexes.

Ms. Carol Brazzil, 341 W. FM 93, Temple, Texas, stated that it did not really make any difference who the developer was. Her concern is the zoning since tonight is when the zoning

is decided, and once it is done it will not be changed unless the applicant returns to change it. Ms. Brazzil remarked if there were no PD on the zoning, it would be loosest restriction possible and would be basic and minimal. If this property is to be developed why not have a PD on it. If the development is to be upscale, nice, and beyond the minimal standards, why not have a PD. Ms. Brazzil commented if the applicant did not want a PD on there, there must be some reason.

Commissioner Johnson asked Ms. Brazzil if she wanted a PD on the MF and she replied yes. When asked what the PD would be, Ms. Brazzil stated from what she understood, the PD designation on anything, allows the ability to customize things that go in there. Ms. Zendt indicated that if the Commission approved the zoning that would preclude that from coming back. Based on the previous staff report, Staff was sent back to the table with the applicant and property owners and worked it out which is what if before you today. If tabled, that PD could still be worked out if that is the Commissioners' will. If approved as is, it would eliminate that opportunity to explore a PD.

Ms. Brazzil stated that was her request—do not eliminate the opportunity.

Ms. Zendt offered clarification on an earlier point. On the question about the buffering, buffering is required on a common boundary between non-residential and multi-family and residential zoning districts. They put non-residential and MF together in saying this use must be buffered against residential development. This means MF does not need to be buffered from commercial uses, it means commercial and MF together need to be buffered against other residential uses. That buffer should consist of fences, walls, constructed of wood, masonry, stone or pre-cast concrete or can consist of evergreen hedges composed of plants purchased in five gallon or larger containers with a minimum planting height of six feet.

Ms. Zendt stated the church was a non-residential use but the SF portion to the north would have to be buffered and no buffer would be required between the non-residential and MF but any residential to include where Tract 4 is.

Mr. Stephen Crawford, 275 W. FM 93, Temple, Texas, stated the homeowners have known about this for a week and only one week to prepare. The developer's attorney was part of the P&Z Commission until 6:00 tonight when he resigned and now he is representing his client. The citizenry needs more time than just a week to develop their ideas. Commissioner Rhoads asked about notification timeline. Ms. Zendt stated notices must be mailed 10 days before the hearing and it has to be published in the paper 10 days before the hearing.

Mr. Dick Stafford, 4609 Chestnut Road, Temple, Texas, stated he was representing both himself and the church. Mr. Stafford clarified that what they (the church) wanted was just what the Commission would want. As property owners, everyone wants to see the value of their property remain at the highest level possible. Mr. Stafford stated they wanted the area to remain a good area for resale purposes and for raising families for the church membership. Mr. Stafford did not want the area to lose value in any form or fashion and renters do not always take care of the property the way owners would. Mr. Stafford commented it would be up to Mr. Patterson to oversee that situation and make sure the development is not run down. Mr. Stafford stated they were not against poor people at all; but they would like to be able to see a development that is attractive, remains attractive, and is maintained properly.

Commissioner Jones commented that coming from a church that not everyone is welcomed and should live in a single family house and not rent. Mr. Stafford started to respond and Commissioner Jones stated he was making a comment and not asking a question. Commissioner Jones expressed concern with the idea that the church was built here and someone else must build a house to our standards next to it. Mr. Stafford stated he understood Commissioner Jones' concern and assured him that the church had many poor people. Commissioner Jones stated that the church just did not want them to build or live beside it because it may not look quite right.

Commissioner Jones asked Mr. Patterson about the screening and Mr. Patterson replied there would have to be screening between any types of property that is next to the church.

Vice-Chair Sears asked if this product would be similar to the development off of Hogan Road and Mr. Patterson responded yes.

Ms. Zendt stated Mr. Patterson said there would be screening between the uses and the church which is what the Commission would like to see; however, the only standards the applicant will be held to and required with the zoning if approved as is, will be the general development standards. That screening would not be a requirement.

Ms. Cynthia Bankston reminded the Commission that the current recommendations given at the beginning of the meeting were not for MF-1 on the designated property. It is recommended that you do not do that.

Chair Staats closed the public hearing.

Commissioner Magaña stated that if the zoning were passed he would like to see some type of screening involved.

Ms. Trudi Dill, Deputy City Attorney, stated the PD conditions would not be effective if the applicant was not agreeing to them. Mr. Randy Harrell, on behalf of the applicant, stated that they would agree to the vegetative or fence screening between the development and the church that would be required between the MF and the SF and would agree to the same quality of screening, at a minimal. Ms. Zendt stated it would be Tract 1 and be continuous screening required upon the northern most boundary of parcel 1, to be extended the entire length, which needs to be agreed to by the applicant and the applicant needs to amend the request to include it.

Vice-Chair Sears asked about Tract 2 being a PD-GR or a NS and Ms. Zendt stated the applicant would need to again amend their request.

Ms. Zendt clarified that the first change the Commission would like is on Tract 1, there be continuous screening along the entire north boundary in accordance with UDC Section 7.7 and the applicant would have to agree to this.

Ms. Zendt stated on Tract 2 the applicant would have to agree to extend the PD-GR request in that direction as long as the PD did not intensify.

Commissioner Rhoads asked Ms. Zendt to restate Staff's recommendation.

Vice-Chair Sears asked if the applicant would agree to make Tract 2 PD-GR or NS and Mr. Randy Harrell responded on behalf of the applicant that NS for Tract 2 would be okay. Ms. Zendt commented that Tract 2 is currently PD-SF-2 and in guidance from the Deputy City Attorney, Staff would need to state that terms and conditions would be extended of Ordinance No. 2008-4263 which established the PD-GR and would need to be part of the recommendation or the applicant could request NS.

Ms. Zendt cites the NS description for the Commission.

Vice-Chair Sears made a motion to approve Tract 1 from PD-SF-2 to PD-MF-1 with the condition that a continuous screen and buffer be provided along the entire northern boundary per the UDC Section 7.7, approve Tract 2 from PD-SF-2 to NS, with approval of the applicant, approve Tract 3 from PD-SF-2 to MF-1 as requested by the applicant, and approve Tract 4 from a PD-GR to GR as requested by the applicant. Commissioner Jones made a second.

Mr. Randy Harrell stated for the record that the applicant was in agreement with the recommended motion.

Motion passed: (4:3)

Commissioner Martin absent

Commissioner Harrell resigned effective 6:31 p.m. (prior to speaking on this item)

C. REPORTS

Item 7: Receive and discuss the **Planning Director's Report** containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code. *(continued, if not completed in Work Session)*

There being no further business, Chair Staats adjourned the meeting at 8.15 p.m.

Respectfully submitted,
Leslie Evans

**PLANNING AND ZONING COMMISSION
MONDAY, JULY 15, 2013
5:00 P.M.
WORK SESSION**

PLANNING AND ZONING MEMBERS PRESENT

Chair James Staats

COMMISSIONERS:

Will Sears	Chris Magaña
H. Allan Talley	Randy Harrell
David Jones	Greg Rhoads
Patrick Johnson	

PLANNING AND ZONING MEMBERS ABSENT:

Derek Martin

STAFF PRESENT:

Kim Foutz, Assistant City Manager
Beverly Zendt, Interim Director of Planning
Trudi Dill, Deputy City Attorney
Tammy Lyerly, Senior Planner
Mark Baker, Planner
Mary Maxfield, Planning Technician
Leslie Evans, Administrative Assistant

The agenda for this meeting was posted on the bulletin board at the Municipal Building in compliance with the Open Meetings Law.

The following is a summary of the proceedings of this meeting. It is not intended to be a verbatim translation.

With a quorum present, Chair Staats opened the work session at 5:00 p.m. and asked Ms. Beverly Zendt, Interim Director of Planning, to proceed.

The Director's Report was given:

The final plat of S&W Memorial Hospital is also working on an abandonment and street realignments are needed. This should come forward in the near future.

The final plat of Central & 31st (Walgreens) will not be brought forward until the ownership has been consolidated.

The final plat of Lake Pointe Phase III should be going to the next DRC. This is a large subdivision off of 317.

The final plat of Hills of Westwood should be going to the next P&Z meeting.

The final plat of Centrifugal Castings should be going to the next P&Z meeting.

City Council status given.

Ms. Zendt gave a brief overview of Item 6, Z-FY-13-28. Four additional responses came in after the packet had gone out and copies were given to the Commissioners. This is moving from a PD-SF-2 to PD-GR to MF-1 and GR.

When this came to Staff for rezoning the lines did not line up exactly so the map shows some overlap which create four rezonings: PD-GR to GR and PD-SF-2 to MF-1. There was a portion of the GR that was going MF-2 and a portion of the SF-2 that was going to GR which created a flag of land. Ultimately if approved, it would result in only two pieces moving from PD-GR to GR and PD-SF-2 to MF-1.

Surrounding properties include residential to the east, a church and residential to the north, undeveloped land to the west.

The Future Land Use and Character Map does not line up exactly with the zoning. There are three pieces that are Future Land Use for Suburban-Residential and one piece that is Future Land Use for Suburban-Commercial.

Suburban-Commercial is appropriate for retail near residential neighborhoods and development should maintain a suburban character compatible to a residential area. Suburban-Residential is the second least intensive residential land use designation available next to Urban Estates, calls for mid-size family lots, more separation between buildings and greater emphasis on green spaces.

MF-1 allows single family detached and attached dwellings, townhouses subject to limitations, triplexes, two family dwellings (duplexes), asphalt plant and gym. Most retail commercial uses are not allowed in MF-1.

Dimensional requirements are given.

Water is available to the site via a 12 inch water line. There is sewer in the area (WB Subdivision and Wyndham Hill) which has been extended to the church via private utility easement and would have to come to the subject tract via another private off-site easement or public extension. The property is not on the Trails Master Plan but sidewalks are required on arterials.

Staff looks at three things when dealing with the Future Land Use and Character Map:

1. Is it compatible with the Comprehensive Plan and Future Land Use and Character Map?
2. Do the surrounding uses seem compatible and similar to the proposed rezoning?
3. Do surrounding zoning designations seem compatible or similar to the proposed rezonings.

Three of the four rezonings are not supported by the Future Land Use and Character Map. It is zoned Suburban-Residential and the applicant is asking for multi-family in something that is intended to be SF-1 to SF-3.

The surrounding uses seem compatible.

Staff recommendation is disapproval for Item 1, 2, and 3 and approval for Item 4.

Ms. Zendt specifically talks about Tract 2 (flag lot) proposed as GR. Should the other sections go MF, Staff could support a GR designation on that lot; however, Staff would be more comfortable with NS.

Four separate notifications were sent out. Tract 1 had a couple of folks in disagreement; no responses on Tract 2, one disagreement on Tract 3, and Tract 4 there was one undecided, one approval and two in opposition.

Commissioner Johnson asked if it were approved, how would sewer get to it. Ms. Zendt stated it would be the applicant's responsibility to extend that sewer.

Ms. Zendt stated Tract 2 might get Staff approval depending on how the Commission votes. It is adjacent to GR but based on the Future Land Use and Character Map designation and that fact that it not the corner, GR is the most intensive commercial use typically allowed for Suburban-Residential land use designation.

The applicant indicated they were looking to do duplexes or multi-family. The 30 acre lot could have as many as 200 duplexes. Ms. Kim Foutz, Assistant City Manager, stated that was what she had been told as well.

Brief discussion regarding Brayson Crossing. The Fire Marshall stands by the requirement for the 20 feet on each side of the gate but encouraged the Commission to take into consideration some of the other things that have been submitted by the applicant, especially the letters of support by the emergency providers.

Discussion about rearranging the agenda items for expediency.

Commissioner Harrell stated he would be taking an absence for the meeting since he was bringing forth Item 6, Z-FY-13-28.

There being no further discussion, Chair Staats adjourned the meeting at 5:20 P.M.



PLANNING AND ZONING COMMISSION ITEM MEMORANDUM

08/05/13
Item #2
Regular Agenda
Page 1 of 2

APPLICANT / DEVELOPMENT: Victor Turley for John Kiella

CASE MANAGER: Tammy Lyerly, Senior Planner

ITEM DESCRIPTION: P-FY-13-35 Consider and take action on the Final Plat of Hills of Westwood Phase V, a 16.402 ± acre, 64-lot, 4-block residential subdivision, located at the northeast corner of Hogan Road and Southern Draw Drive.

STAFF RECOMMENDATION: Staff recommends approval of the Final Plat of The Hills of Westwood Phase V.

ITEM SUMMARY: The Development Review Committee reviewed the Final Plat of The Hills of Westwood Phase V on July 3, 2013. The proposed plat was deemed administratively complete on July 25, 2013. It is in agreement with the Amended Master Preliminary Plat of The Hills of Westwood.

This proposed final plat is a continuation of the existing Hills of Westwood development. It proposes 64 single-family residential lots, with a proposed gated entry at Westwood Hills Boulevard and Hogan Road. Hogan Road is classified as a collector on the City of Temple Thoroughfare Plan and requires a 4-foot wide sidewalk, per UDC Section 8.2.3. The required 4-foot wide sidewalk along Hogan Road is noted on the plat.

The Final Plat of The Hills of Westwood Phase V reflects existing and proposed 6-inch and 8-inch water lines, as well as existing and proposed 6-inch and 8-inch sanitary sewer lines for this development.

The existing Hills of Westwood private pool and future Von Rosenberg Park public playground will serve this portion of the Hills of Westwood. The playground will begin to be installed once 89 lots are developed starting on the date of March 29, 2011 as agreed upon and noted in the agreement letter from the developer on this date.

The Planning and Zoning Commission is the final plat authority since the applicant has not requested any exceptions to the Unified Development Code.

FISCAL IMPACT:

ATTACHMENTS:

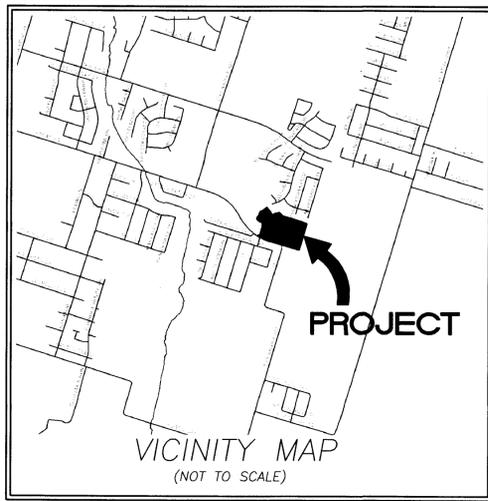
Plat

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD
C1	282.92	973.42	N64°52'27"W, 281.93
C2	85.89	180.00	N07°39'33"E, 85.09
C3	66.03	367.00	N01°14'08"W, 63.94
C4	30.55	525.00	S52°00'32"E, 30.54
C5	97.82	205.00	N07°39'02"E, 96.90
C6	114.52	240.00	N07°39'03"E, 113.44
C7	375.04	342.00	S25°00'44"W, 356.53
C8	249.29	342.00	S14°28'43"W, 243.81
C9	125.73	342.00	S45°43'38"E, 125.04
C10	107.89	367.00	S47°41'17"W, 107.50
C11	176.37	367.00	S17°41'12"W, 174.68
C12	349.59	317.00	S25°12'10"W, 332.14
C13	118.94	300.00	N84°39'39"W, 118.16
C14	109.03	275.00	N84°39'39"W, 108.32
C15	128.85	325.00	N84°39'39"W, 128.01
C16	82.65	165.50	N62°26'38"E, 81.79
C17	212.23	51.50	N73°13'00"W, 98.42
C18	82.65	165.50	S31°03'22"W, 81.79
C19	22.95	50.00	N29°53'56"E, 22.75
C20	156.90	67.50	S23°32'35"E, 123.89
C21	22.95	50.00	N76°59'05"W, 22.75
C22	63.29	45.00	S23°32'33"E, 58.20
C23	281.13	475.00	S02°43'32"E, 25.97
C24	78.48	475.00	S68°34'03"E, 78.39
C25	82.61	500.00	S68°34'09"E, 82.52
C26	86.74	525.00	S68°34'09"E, 86.64
C27	23.32	50.00	N59°56'32"W, 23.11
C28	168.93	67.50	N61°43'25"E, 128.17
C29	23.32	50.00	S03°23'23"W, 23.11
C30	70.64	45.00	N61°43'25"E, 63.61
C31	31.40	20.00	N61°43'25"E, 28.27
C32	19.13	275.00	N18°44'33"E, 19.12
C33	20.87	300.00	N18°44'33"E, 20.86
C34	22.60	325.00	N18°44'33"E, 22.60
C35	82.65	165.50	N35°02'28"E, 81.79
C36	213.23	51.50	S65°15'54"E, 90.42
C37	82.65	165.50	S02°43'32"E, 81.79
C38	56.96	367.00	S08°21'55"W, 56.90
C39	56.96	367.00	S17°15'26"W, 56.90
C40	62.46	367.00	S26°34'44"W, 62.39
C41	76.48	317.00	S00°31'19"W, 76.30
C42	86.56	317.00	S15°13'24"W, 86.30
C43	91.68	317.00	S31°21'55"W, 91.36
C44	94.86	317.00	S48°13'37"W, 94.80
C45	62.35	973.42	N59°08'38"W, 62.34
C46	85.29	973.42	N63°29'20"W, 85.26
C47	95.99	973.42	S70°22'33"E, 95.95
C48	67.25	325.00	S89°54'33"W, 67.13
C49	61.60	325.00	N78°43'58"W, 61.51
C50	38.11	275.00	S87°57'04"W, 38.08
C51	70.92	275.00	N80°41'27"W, 70.73
C52	58.17	67.50	S18°21'31"W, 56.39
C53	43.87	67.50	S24°57'05"E, 43.11
C54	54.85	67.50	S66°51'10"E, 53.36
C55	56.24	475.00	S67°13'41"E, 56.21
C56	22.24	475.00	S71°57'41"E, 22.24
C57	4.59	525.00	S64°05'10"E, 4.59
C58	60.33	525.00	S61°37'43"E, 60.30
C59	21.82	525.00	S72°06'42"E, 21.83
C60	30.41	67.50	S59°29'13"E, 30.15
C61	46.35	67.50	N87°56'17"E, 45.44
C62	37.46	67.50	N52°22'12"E, 36.98
C63	54.71	67.50	N13°15'02"E, 53.23
C64	7.44	50.00	S05°42'55"E, 7.43
C65	15.80	50.00	S07°39'17"E, 15.81
C66	12.48	165.50	N22°53'43"E, 12.48
C67	64.00	165.50	N36°08'03"E, 63.61
C68	6.16	165.50	N48°16'49"E, 6.16
C69	48.31	51.50	S22°28'27"W, 46.56
C70	44.62	51.50	S29°13'14"E, 43.24
C71	41.53	51.50	S71°09'12"E, 40.43
C72	33.13	51.50	N60°10'57"E, 34.47
C73	43.60	51.50	N16°22'33"E, 42.31
C74	12.49	165.50	S05°42'56"E, 12.49
C75	61.22	165.50	S07°02'35"W, 60.87
C76	8.94	165.50	S 19°11'16" W, 8.94
C77	30.48	165.50	N11°28'28"E, 30.43
C78	52.17	165.50	N05°40'54"W, 51.95
C79	15.76	51.50	S09°52'09"E, 15.64
C80	45.44	51.50	S39°24'06"W, 43.98
C81	43.91	51.50	S89°06'27"W, 42.60
C82	44.08	51.50	N45°56'42"W, 42.75
C83	47.78	51.50	N05°09'07"E, 46.08
C84	12.25	51.50	N38°32'44"E, 12.23
C85	31.84	165.50	S36°33'54"W, 31.65
C86	30.78	165.50	S22°04'43"W, 30.74
C87	12.93	973.42	N86°55'42"W, 12.93
C88	26.37	973.42	N66°46'30"W, 26.37

LINE TABLE

LINE	LENGTH	BEARING
L1	90.97	N64°56'04"W
L2	63.14	N72°25'19"E
L3	65.39	N06°01'07"W
L4	72.38	N86°04'51"W
L5	55.64	N47°32'44"W
L6	41.97	N02°56'14"W
L7	50.00	N35°21'36"E
L8	58.65	N63°03'41"E
L9	89.98	S69°57'37"E
L10	131.12	S16°45'00"W
L11	106.35	S73°15'00"E
L12	68.09	N83°58'52"E
L13	43.09	N83°58'52"E
L14	43.10	N83°58'52"E
L15	37.28	N05°01'10"W
L16	19.57	S06°01'15"E
L17	21.14	N06°01'07"W
L18	44.33	N06°01'07"W
L21	32.39	S16°45'00"W
L22	12.85	N21°19'15"E
L23	46.87	N72°25'19"E
L24	91.15	N21°19'15"E
L25	58.44	N21°45'01"W



STATE OF TEXAS
COUNTY OF BELL

KIELLA DEVELOPMENT, INC., OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS HILLS OF WESTWOOD PHASE V, A SUBDIVISION IN THE CITY OF TEMPLE, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, AND WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES AS SHOWN HEREON.

KIELLA DEVELOPMENT, INC., A TEXAS CORPORATION

JOHN KIELLA, PRESIDENT

STATE OF TEXAS
COUNTY OF BELL

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 2013 BY JOHN KIELLA, PRESIDENT OF KIELLA DEVELOPMENT, INC., A TEXAS CORPORATION, ON BEHALF OF SAID CORPORATION.

NOTARY PUBLIC

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF TEMPLE, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS _____ DAY OF _____, 2013.

SECRETARY TO PLANNING & ZONING COMMISSION:

THIS FINAL PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF TEMPLE, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS _____ DAY OF _____, 2013.

CHAIRPERSON:

STATE OF TEXAS
COUNTY OF BELL

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY, THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

Jennifer Ryken
JENNIFER RYKEN, P.E.
No. 108277



STATE OF TEXAS
COUNTY OF BELL

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS PLAT IS TRUE AND CORRECT, THAT IT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SHOWN THEREON.

Michael E. Alvis
MICHAEL E. ALVIS, R.P.L.S.
NO. 5402



TAX CERTIFICATE

THE BELL COUNTY TAX APPRAISAL DISTRICT, THE TAXING AUTHORITY FOR ALL TAXING ENTITIES IN BELL COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THERE ARE CURRENTLY NO DELINQUENT TAXES DUE OR OWING ON THE PROPERTY DESCRIBED BY THIS PLAT.

DATED THIS _____ DAY OF _____, 2013.

BELL COUNTY TAX APPRAISAL DISTRICT

BY: _____

NOTES:

- BL- Building Line
 - UE- Utility Easement
 - DE- Drainage Easement
 - POB- Point of Beginning
 - Block Designation
- Owners: Kiella Development Inc., John Kiella President Total=16.402 Acres
- TRACT C- shall be utilized for drainage purposes and shall be owned and maintained by the Hills of Westwood Homeowners Association.
- TRACT D- shall be owned and maintained by the Hills of Westwood Homeowners Association.
- TRACT E- shall be dedicated to the City of Temple for right-of-way purposes by this plat.
- A four feet wide (4') wide sidewalk shall be constructed along one side of Hogan Road.

Residential lots shall have a 20 feet front building setback line unless otherwise shown hereon and a 10 feet rear building setback line. Side building setback lines shall be 5 feet. There shall be a 15 feet side building setback line adjacent to street rights-of-way.

ALL BOUNDARY CORNERS ARE 1/2" IRON ROD WITH CAP MARKED "RPLS 2475" SET UNLESS NOTED OTHERWISE.
THIS PROJECT IS REFERENCED TO THE CITY OF TEMPLE COORDINATE SYSTEM, AN EXTENSION OF THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE. ALL DISTANCES ARE HORIZONTAL SURFACE DISTANCES UNLESS NOTED AND ALL BEARINGS ARE GRID BEARINGS.

ALL COORDINATE VALUES ARE REFERENCED TO CITY MONUMENT NUMBER 504 THE THETA ANGLE AT SAID CITY MONUMENT IS 01°29'25" THE COMBINED CORRECTION FACTOR (CCF) IS 0.999856 PUBLISHED CITY COORDINATES ARE X=3,202,019.50 Y=10,378,796.21 THE TIE FROM THE ABOVE CITY MONUMENT TO THE POINT OF BEGINNING IS S84°08'07"E, 4487.16 FEET.

This property is not within the Special Flood Hazard Area as per the Federal Emergency Management Agency Federal Insurance Administration Map No. 48027C0335E, dated September 26th 2008.

Tract surveyed April 15, 2013

SCALE: 1"=100'

FINAL PLAT OF:
HILLS OF WESTWOOD PHASE V
4 BLOCKS, 64 LOTS
3 TRACTS

LOTS 96 thru 98, BLOCK 1
LOTS 28 thru 49, BLOCK 5
LOTS 4 thru 14, BLOCK 9
LOTS 22 thru 48, BLOCK 9

LOT 31, BLOCK 10
TRACT C
TRACT D
TRACT E
16.402 ACRES

OUT OF AND A PART OF THE BALDWIN ROBERTSON LEAGUE SURVEY, ABST.#17 A SUBDIVISION IN THE CITY OF TEMPLE, BELL COUNTY, TEXAS

16.402 ACRES MORE FULLY DESCRIBED BY METES & BOUNDS BY SEPARATE FIELD NOTES TRACT SURVEYED MAY 15, 2013

FILED FOR RECORD THIS _____ DAY OF _____, 2013, IN CABINET _____, SLIDE _____, RECORDS OF BELL COUNTY, TEXAS.

REVISIONS		
06/12/13	LOTS	MEA

DATE: June 5, 2013
DRN. BY: MEA
REF.:

FB/LB: DATA COL.
JOB NO.: 13-284
SHEET 1 OF 1
COMPUTER DWG. NO. 13284 FP

12701-D
FILE NO.

ENGINEERING • PLANNING • SURVEYING
CONSTRUCTION MANAGEMENT

TURLEY ASSOCIATES, INC.

301 N. 3rd ST. TEMPLE, TEXAS 76501
E-MAIL: VTURLEY@AOL.COM

(254) 773-2400
(254) 773-3998



PLANNING AND ZONING COMMISSION AGENDA ITEM

08/05/13
Item #3
Regular Agenda
Page 1 of 6

APPLICANT / DEVELOPMENT: Christopher Nixon for Moses Louie Flores c/o A. Lloyd Thomas

CASE MANAGER: Tammy Lyerly, Senior Planner

ITEM DESCRIPTION: Z-FY-13-26 Hold a public hearing to consider and recommend action on a Conditional Use Permit to allow a freestanding personal wireless cell tower in an existing Commercial District, located on 0.02 ± acres out of Lot 2, Block 1, Glendale Park, Section VI at 2615 South 37th Street and Tract A, Block 3, Glendale Park Section III, at 2707 South 37th Street.

STAFF RECOMMENDATION: Staff recommends approval of the requested Conditional Use where for the following reasons:

1. The request is compatible with the Future Land Use and Character Map;
2. The request complies with the Thoroughfare, Plan;
3. Public facilities are available to serve the property; and
4. The applicant has demonstrated compliance with the design standards in Section 5.4.5 of the UDC.

ITEM SUMMARY: This request is to allow a new freestanding personal wireless cell tower due to Verizon Wireless network capacity failures within and around the Scott and White Hospital area. If approved, the 120-foot high monopole cell tower and its equipment shelter would be enclosed by an 8-foot high wood fence with three strands of barbed wire along the top. UDC Section 7.7.5 D allows security fencing for utility facilities to be topped with barbed wire that is not closer than six feet to the ground.

The applicant is pursuing a Conditional Use Permit (C.U.P.) for a personal use wireless cell tower, because although the use is allowed in the property's existing Commercial zoning district, it is not a collocation, per UCD Section 5.4 (Personal Wireless Service Facilities). The applicant has submitted a letter regarding the inability to collocate.

Personal wireless cell towers pursuing C.U.P.s are subject to the following design standards in Section 5.4.5 of the UDC:

A. Boundary and Use Setbacks

1. A guy or guy anchor for a facility must not be closer than 20 feet to a bounding property line. Staff note: The proposed freestanding monopole does not have a guy or guy anchors.

2. The distance between the base of a self-supported tower and the property line of any residential zoning district or use must not be less than 3 times the height of the tower structure. Staff note: The proposed tower is located in the Commercial zoning district and is surrounded by commercial and retail uses.

B. Security Screening Fence

1. A solid, wood or masonry fence, a minimum of eight feet in height, must completely enclose the base of every tower. Staff note: The site plan proposes an eight foot high wood fence enclosed around the tower base and equipment shelter.

2. In a residential zoning district or on property that abuts a residential zoning district or use, a solid wood or masonry fence, a minimum of eight feet in height, must completely enclose all mechanical equipment and accessory structures. Staff note: The request is in the Commercial District and proposes an eight foot high wood fence enclosed around the tower base and equipment shelter.

3. A security screening fence for a facility built or permitted after May 17th, 2001, may not be less than 6 feet in height. Staff note: This request proposes an eight foot high wood fence.

4. A security fence must be built to safely discourage unauthorized access to facilities by climbing. Staff note: The applicants propose an eight foot high fence topped with three strands of barbed wire, as allowed by UDC Section 7.7.5 D.

5. External and internal gates and doors that provide access to a facility must be equipped with a self-locking or self-latching mechanism for purposes of preventing unauthorized access. Staff note: The site plan reflects compliance with this requirement.

6. Screening is not required for a facility located on a building that is not designed or built primarily to support the facility, if the ancillary equipment, including but not limited to the equipment enclosure, is not visible from an abutting property line or public street right-of-way. Staff note: The site plan reflects an eight foot high wood fence for screening around the site's perimeter.

C. Screening

1. As much of the total facility as possible must be screened or located so as to not be visible from prevalent views. Staff note: The proposed tower base and equipment shelter will be screened by an eight foot high wood fence.

2. Landscaping must be continuously maintained in a healthy, growing condition and be trimmed as necessary to comply with ordinances governing height of grass, corner sight obstruction and street and sidewalk obstruction. Staff note: Verizon assures staff a maintenance technician will be responsible for the site.

D. Collocation

A new freestanding tower is not permitted unless the applicant demonstrates to the satisfaction of the approving authority that existing, permitted or proposed alternative support structures cannot accommodate the proposed facilities for the following reasons:

1. Height is not sufficient to meet applicant's engineering requirements;
2. Structural strength is not sufficient to support applicant's proposed facilities and cannot be reinforced in accordance with engineering requirements;
3. Other aspects of structure do not meet applicant's technical design requirements;
4. Electromagnetic interference would result from collocation;
5. Fees or costs for sharing or adapting are unreasonable; any cost that is less than the cost to construct and develop a new tower is presumed to be reasonable;
6. Owners of alternative structures are unwilling to accommodate the applicant's needs within 30 days after the date such owners received applicant's written request; or
7. Other factors render alternative support structures unsuitable.

Staff note: The applicant has submitted a letter regarding the inability to collocate. Please see the attached letter.

SURROUNDING PROPERTY AND USES: The following table shows the subject property, existing zoning and current land uses:

Direction	Zoning	Current Land Use	Photo
Subject Property	C	Undeveloped Land	

Direction	Zoning	Current Land Use	Photo
North	C	Commercial Uses	
South	C	Commercial, Restaurant, & Hotel Uses	
			

Direction	Zoning	Current Land Use	Photo
			
East	GR,	Restaurant, Hotel, & Retail Uses	
			

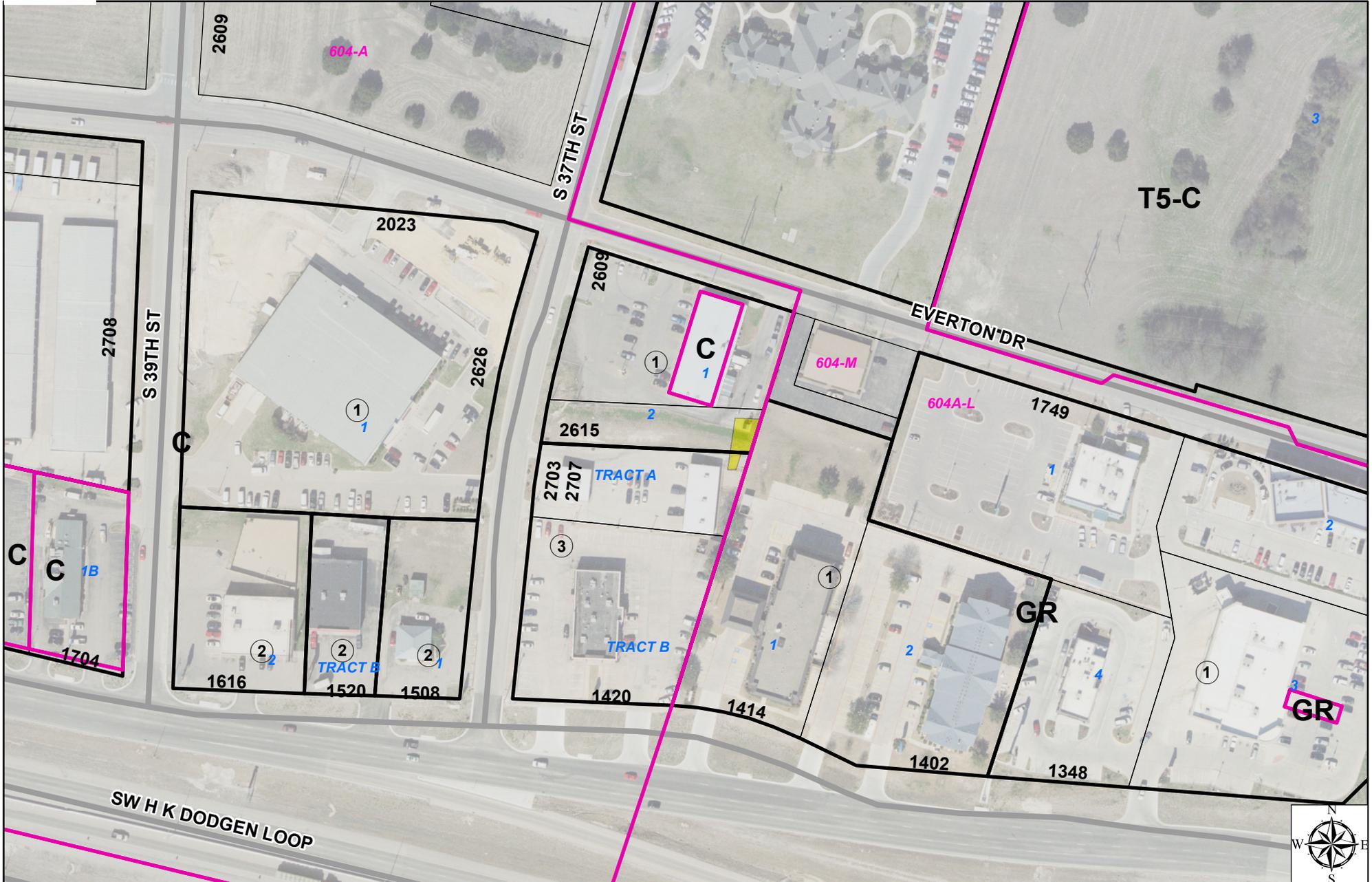
Direction	Zoning	Current Land Use	Photo
West	C	Commercial & Service Uses	

PUBLIC NOTICE: Sixteen notices of the Planning and Zoning Commission public hearing were sent out to property owners within 500-feet of the subject property as required by State law and City Ordinance. As of Thursday August 1, 2013 at 11:00 AM, one notice was returned in favor of the use permit and two notices were returned in denial of the request.

FISCAL IMPACT: Not Applicable

ATTACHMENTS:

- Zoning Map
- Land Use and Character Map
- Buffer Notification Map
- Response Letters
- Applicant's Collocation Letter
- FAA Letter
- Verizon Site Plan Exhibits

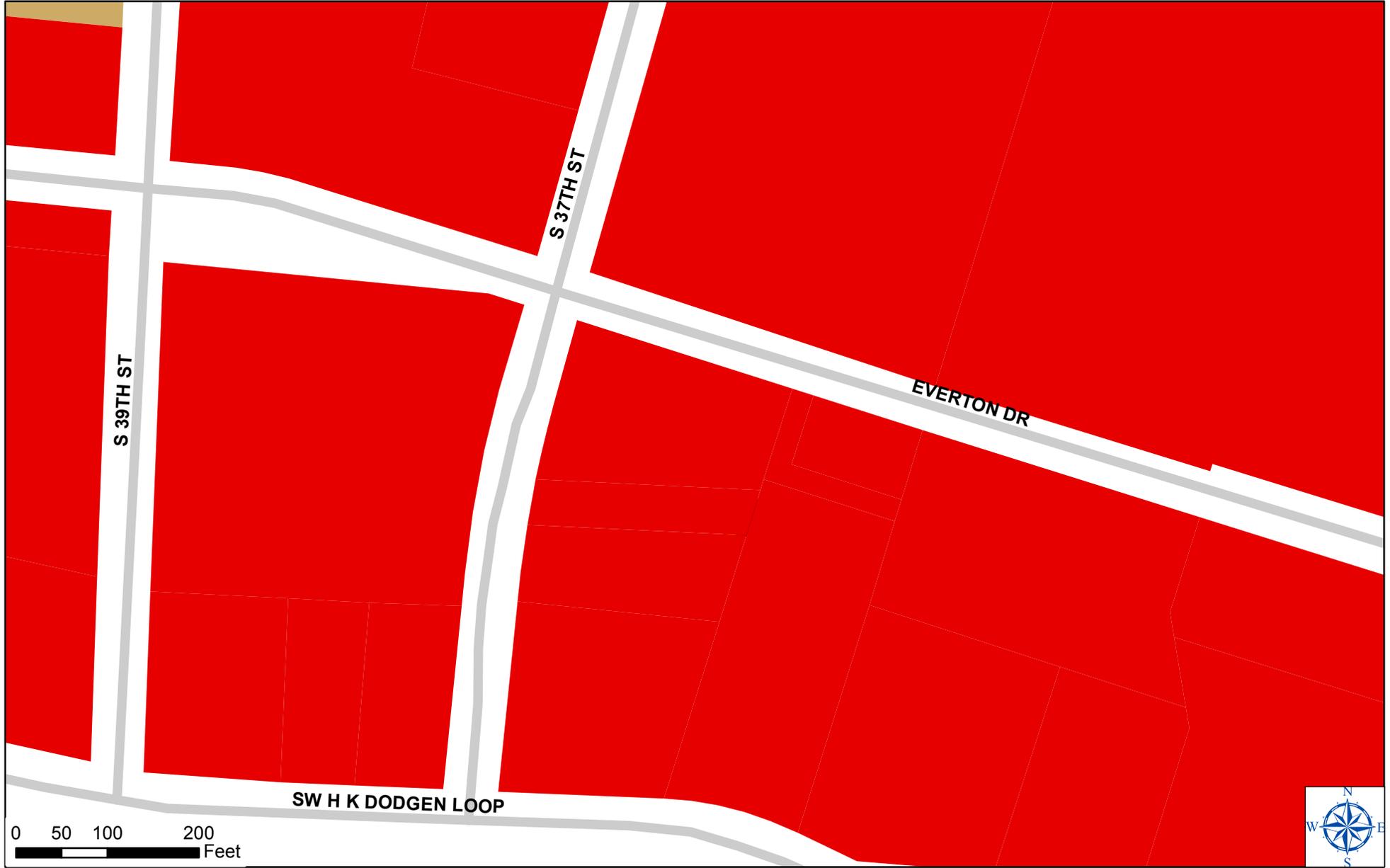


	Case		Subdivisions		1234-A Outblocks		Blocks
	Zoning		Parcel		1234 Addresses		Lots



7/17/2013
City of Temple GIS

GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.



Future Land Use

- | | | | | |
|---------------------------|-------------------------|-----------------------|-----------------------------------|----------------------|
| Neighborhood Conservation | Auto-Urban Residential | Auto-Urban Commercial | Temple Medical Education District | Public Institutional |
| Estate Residential | Auto-Urban Multi-Family | Suburban Commercial | Industrial | Parks & Open Space |
| Suburban Residential | Auto-Urban Mixed Use | Urban Center | Business Park | Agricultural/Rural |
| | | | | Cell_and_Easement |

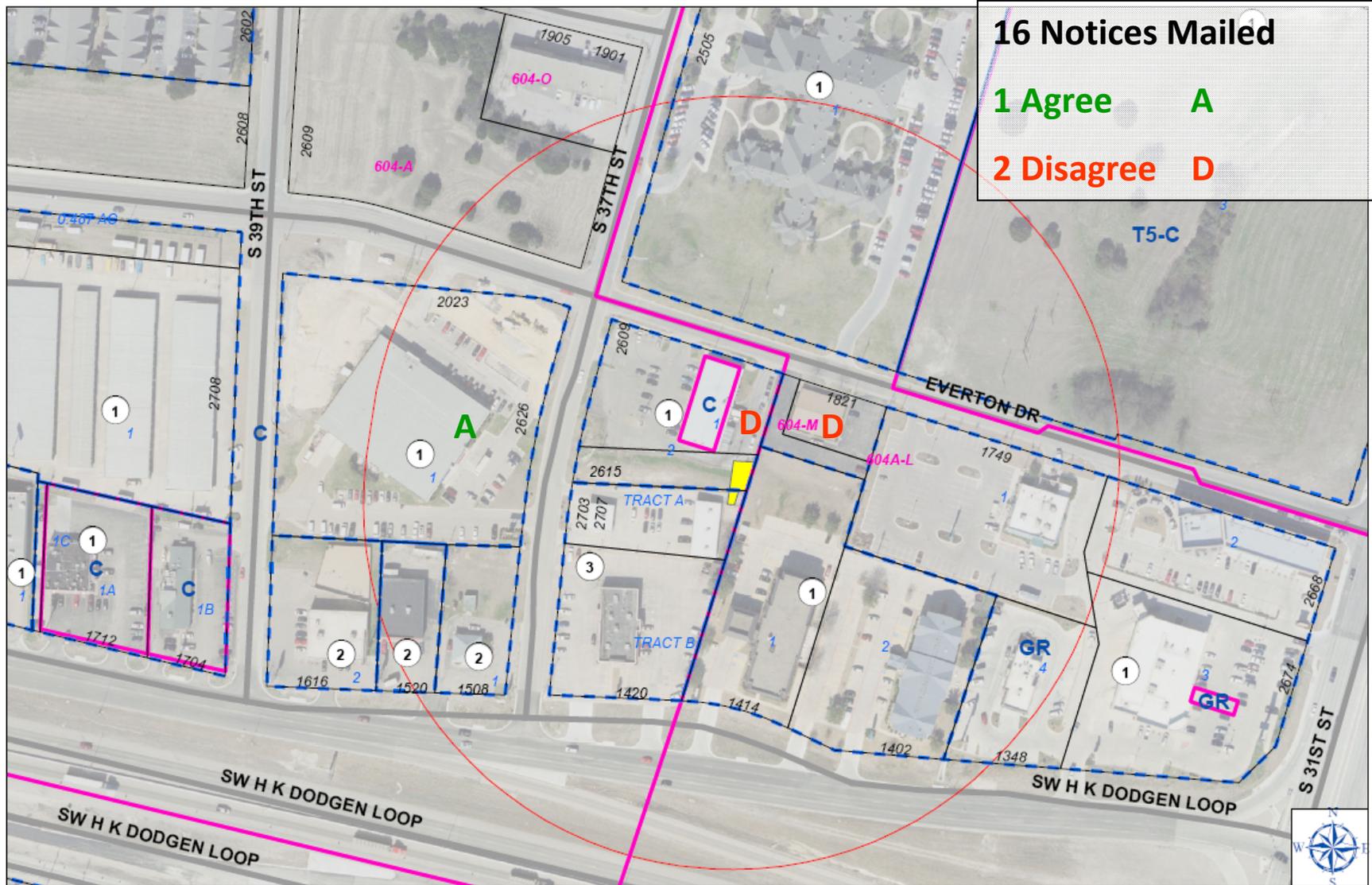
GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.



Z-FY-13-26

C.U.P. for Personal Wireless Cell Tower

2615 & 2707 S. 37th St

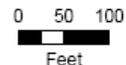


16 Notices Mailed

1 Agree A

2 Disagree D

- Case
- Zoning
- 1234-A Outblock Number
- Block Number
- 500' Buffer
- Subdivision
- 1234 Address
- Lot Number



7/17/2013
 City of Temple GIS
 flyer

GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.



**RESPONSE TO PROPOSED
CONDITIONAL USE PERMIT
CITY OF TEMPLE**

Sidney Kacir
1821 Everton Drive
Temple, Texas 76504

Zoning Application Number: Z-FY-13-26

Project Manager: Tammy Lyerly

Location: 2615 & 2707 South 37th Street

A request for a Conditional Use Permit has been submitted to the City of Temple. The area proposed for a Conditional Use Permit is shown in hatched marking on the attached map. The Conditional Use Permit will allow a personal wireless cell tower in a Commercial District. Because you own property within 500 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the proposed Conditional Use Permit for the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval (x) denial of this request.

Comments:

A tower at the proposed location is HAZARDOUS TO the health and safety OF CITIZENS; ALSO, several hospitals and clinics are located nearby AND helicopters fly into these towers

Sidney Kacir
(Signature)

SIDNEY KACIR
(Print Name)

Please mail or hand-deliver this comment form to the address shown below, no later than August 5, 2013.

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

RECEIVED
JUL 31 2013
City of Temple
Planning & Development



**RESPONSE TO PROPOSED
CONDITIONAL USE PERMIT
CITY OF TEMPLE**

C C Jr. Etux Lore Dickson
3310 Edgewood Lane
Temple, Texas 76502

Zoning Application Number: Z-FY-13-26

Project Manager: Tammy Lyerly

Location: 2615 & 2707 South 37th Street

A request for a Conditional Use Permit has been submitted to the City of Temple. The area proposed for a Conditional Use Permit is shown in hatched marking on the attached map. The Conditional Use Permit will allow a personal wireless cell tower in a Commercial District. Because you own property within 500 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the proposed Conditional Use Permit for the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval denial of this request.

Comments:

NOT FOR IT,
TO CLOSE TO THE BUILDING

(Signature)

C C Dickson Jr.
(Print Name)

Please mail or hand-deliver this comment form to the address shown below, no later than August 5, 2013.

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

RECEIVED
JUL 31 2013
City of Temple
Planning & Development

Number of Notices Mailed: 16

Date Mailed: July 24, 2013



**RESPONSE TO PROPOSED
CONDITIONAL USE PERMIT
CITY OF TEMPLE**

Gordon L. Swanson, Jr.
P.O. Box 21355
Waco, Texas 76702

Zoning Application Number: Z-FY-13-26

Project Manager: Tammy Lyerly

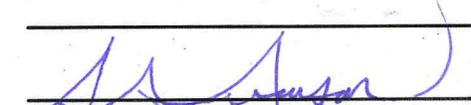
Location: 2615 & 2707 South 37th Street

A request for a Conditional Use Permit has been submitted to the City of Temple. The area proposed for a Conditional Use Permit is shown in hatched marking on the attached map. The Conditional Use Permit will allow a personal wireless cell tower in a Commercial District. Because you own property within 500 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the proposed Conditional Use Permit for the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval () denial of this request.

Comments:

I do NOT believe this would devalue my property. I wish I had the opportunity to have it on my property.


(Signature)

Gordon Swanson
(Print Name)

Please mail or hand-deliver this comment form to the address shown below, no later than August 5, 2013.

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

RECEIVED
JUL 31 2013
City of Temple
Planning & Development



Building Three, Suite 370
805 Las Cimas Parkway
Austin, Texas 78746

May 28, 2013

Ms. Leslie Evans
City of Temple Planning and Zoning
City Hall
2 North Main Street, Suite 102
Temple, TX 76501

Ms. Evans,

Per the City of Temple's Communications Tower Ordinance, the ordinance requires evidence that an "alternative support structure" cannot be utilized per list of 7 possible reasons in the ordinance. Items 3 and 7 qualify as reasons that alternative support structures don't qualify as suitable options for Verizon. Verizon is building at this location because of network capacity failures within and around the Scott and White Hospital. There are no collocation options within the .2 mile radius requested by Verizon's radio frequency unit. We attempted to mount antennas on the Hospital, however Scott and White said no to our request.

Best Regards,

A handwritten signature in black ink, appearing to read "Andy Kampen". The signature is fluid and cursive, with a long horizontal stroke at the end.

Andy Kampen
KGI Wireless, Inc.



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76137

Aeronautical Study No.
 2013-ASW-2049-OE

Issued Date: 05/07/2013

Mikhail Raznobriadsev
 Alltel Communications Investments, Inc.
 1120 Sanctuary Pkwy
 Suite 150 GASA5REG
 Alpharetta, GA 30009

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole Scott and White
 Location: Temple, TX
 Latitude: 31-04-32.25N NAD 83
 Longitude: 97-22-12.37W
 Heights: 679 feet site elevation (SE)
 110 feet above ground level (AGL)
 789 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 11/07/2014 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (817) 321-7752. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2013-ASW-2049-OE.

Signature Control No: 186785721-189204643

(DNE)

Alice Yett
Technician

Attachment(s)
Frequency Data

cc: FCC

Frequency Data for ASN 2013-ASW-2049-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

H:\ARCHCOMM LLC\VERIZON\SOUTH TEXAS\Scott and White\A-New Build - Rawland\Scott and White-T1 TITLE SHEET.dwg, 7/1/2013 8:45:51 AM, mviciana



SITE NAME
SCOTT AND WHITE
 (261411)

SITE ADDRESS
 2615 S. 37TH STREET
 TEMPLE, BELL COUNTY, TEXAS 76504

PROJECT DATA

PROJECT INFORMATION:	APPLICANT:	OWNER:
JURISDICTION: CITY OF TEMPLE	VERIZON WIRELESS 5804 TRI COUNTY PARKWAY SCHERTZ, TEXAS 78154 CONTACT: TIM CALETKA PHONE: (210) 834-1664	MARY & MOSES FLORES 2615 S. 37TH STREET TEMPLE, TEXAS 76504
CODE: .		
OCCUPANCY: N/A		
ZONING: N/A		
CONSTRUCTION TYPE: UNMANNED TELECOMMUNICATIONS		
LATITUDE: 31° 04' 32.13" N		
LONGITUDE: 97° 22' 12.46" W		

PROPRIETARY INFORMATION

NOT FOR USE OR DISCLOSURE
 OUTSIDE VERIZON WIRELESS
 EXCEPT UNDER WRITTEN AGREEMENT

PROJECT PARTICIPANTS

DESIGNERS ARCHCOMM LLC. 1006 BECKETT SAN ANTONIO, TEXAS 78213 PHONE: (210) 308-9905	ELECTRICAL ENGINEER AZTECH ENGINEERING 1528 WEST CONTOUR DR, SUITE 202 SAN ANTONIO, TEXAS 78212 PHONE: (210) 222-1970
STRUCTURAL ENGINEER LEHMANN ENGINEERING, INC. 1006 BECKETT SAN ANTONIO, TEXAS 78213 PHONE: (210) 348-8889 FIRM NUMBER: F-5298	SURVEYOR SOLIS-KANAK & ASSOCIATES 17500 HIGHWAY 306 CANYON LAKE, TEXAS 78133 PHONE: (830) 935-4011
ELECTRIC COMPANY ONCOR	CONSTRUCTION ENGINEER TIM CALETKA (210) 834-1664
TELEPHONE COMPANY AT&T	CONSTRUCTION MANAGER TRACY REEVES (682) 831-3245

PROJECT DESCRIPTION

THIS IS AN APPLICATION TO DEVELOP AN UNMANNED WIRELESS FACILITY CONSISTING OF COMMUNICATION EQUIPMENT, CONNECTING CABLES, DIRECTIONAL ANTENNAS AND GPS. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS. THE WIRELESS ANTENNAS WILL PROVIDE CLEAR AND RELIABLE WIRELESS COMMUNICATIONS WITHIN THE EFFECTIVE OPERATIONAL AREA. THESE INTERCONNECTS WILL ALLOW FOR AN INDEPENDENT COMMUNICATION NETWORK THAT CAN CONTINUE TO FUNCTION IF THE TELEPHONE (WIRE) SERVICE IS DISCONNECTED DURING AN EMERGENCY OR NATURAL DISASTER. THESE FACILITIES WILL ENHANCE THE GENERAL HEALTH, SAFETY, AND WELFARE OF THE COMMUNITY AND SURROUNDING AREAS BY PROVIDING RELIABLE WIRELESS COMMUNICATIONS AT THIS LOCATION.

DRIVING INSTRUCTIONS

FROM I-35 IN AUSTIN, GO NORTH TO TEMPLE, TAKE US-190 / TX-36 EXIT EAST TO S 31ST STREET. GO NORTH ON 31ST STREET TWO BLOCKS TO SCOTT BOULEVARD. CONTINUE WEST ON SCOTT TO 37TH, SOUTH TO VACANT LAND ON LEFT NEXT TO RESTAURANT EQUIPMENT BUILDING.

APPLICABLE BUILDING CODES AND STANDARDS

CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTIONS (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

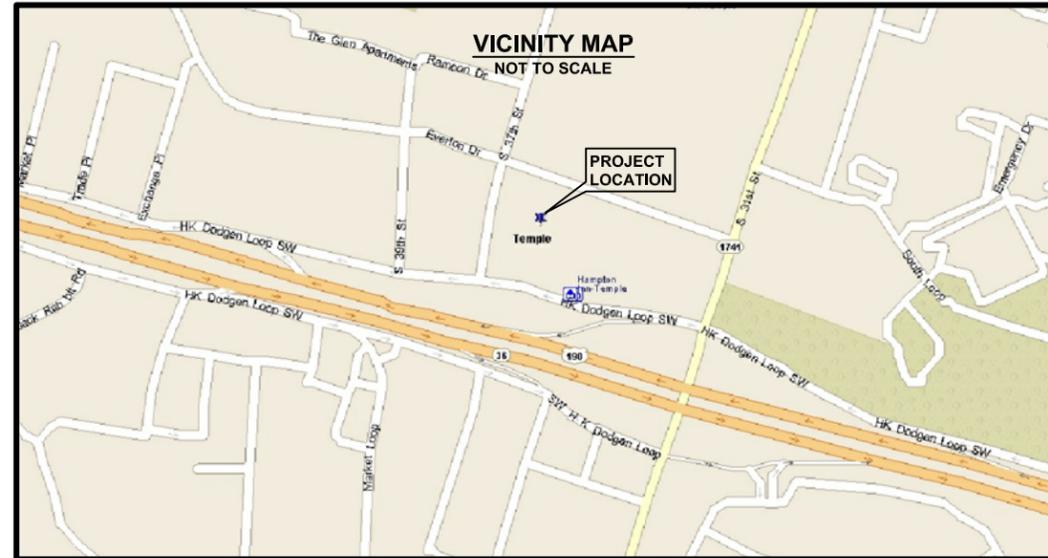
CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
 AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE; AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION;
 TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES;
 TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")

ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.



TEAM SIGNOFF

Site Acquisition _____
 Const Supervisor _____
 RF Engineering _____
 Equipment _____
 Telco _____
 Const Manager _____

SHEET INDEX

- T1 TITLE SHEET
- P1 SITE PHOTOGRAPHS
- C1 SURVEY
- C2 SURVEY
- N1 GENERAL NOTES
- A1 SITE PLAN
- A2 SITE GRADING PLAN
- A3 DETAIL SITE PLAN
- A4 SITE ELEVATION
- A5 ANTENNA DATA, RF SHEET & 1A LETTER
- D1 GENERAL SITE DETAILS
- D2 FENCE DETAILS
- D3 METER FRAME DETAILS
- D4 ROAD SECTION & DETAILS
- D5 EROSION CONTROL
- S1 FOUNDATION PLAN & DETAILS
- S2 RETAINING WALL NOTES
- S3 RETAINING WALL PLAN & DETAILS
- S4 RETAINING WALL SECTIONS
- G1 GROUNDING PLAN
- G2 SHELTER GROUNDING ELEVATIONS
- G3 GROUNDING DETAILS
- G4 TOWER GROUNDING DETAILS
- G5 CONNECTION DETAILS
- E1 SITE PLAN
- E2 DETAIL SITE PLAN
- E3 ELECTRICAL RISER
- E4 ELECTRICAL SPECIFICATIONS



SCOTT AND WHITE

2615 S. 37TH ST
 TEMPLE, TEXAS, 76504
 (261411)

APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

DATE: 07.01.13



EXP. DATE: 06/30/14



ARCHCOMM, LLC.
 1006 Beckett
 San Antonio, Texas 78213
 (210) 308-9905

SHEET TITLE
TITLE SHEET

SHEET HISTORY
 07.01.13 ISSUE FOR CONSTRUCTION

T1

THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS (DRAWINGS) WITHOUT THE EXPRESS WRITTEN CONSENT OF VERIZON WIRELESS IS PROHIBITED.



1 SITE PHOTOGRAPH

NOTE: REFER TO SHEET A1 AND/OR A2 FOR LOCATIONS FROM WHICH PHOTOS WERE TAKEN



2 SITE PHOTOGRAPH



SCOTT AND WHITE

2615 S. 37TH ST
TEMPLE, TEXAS, 76504
(261411)

APPROVAL SIGNATURES
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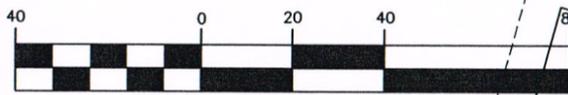
SHEET TITLE
SITE
PHOTOGRAPHS

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

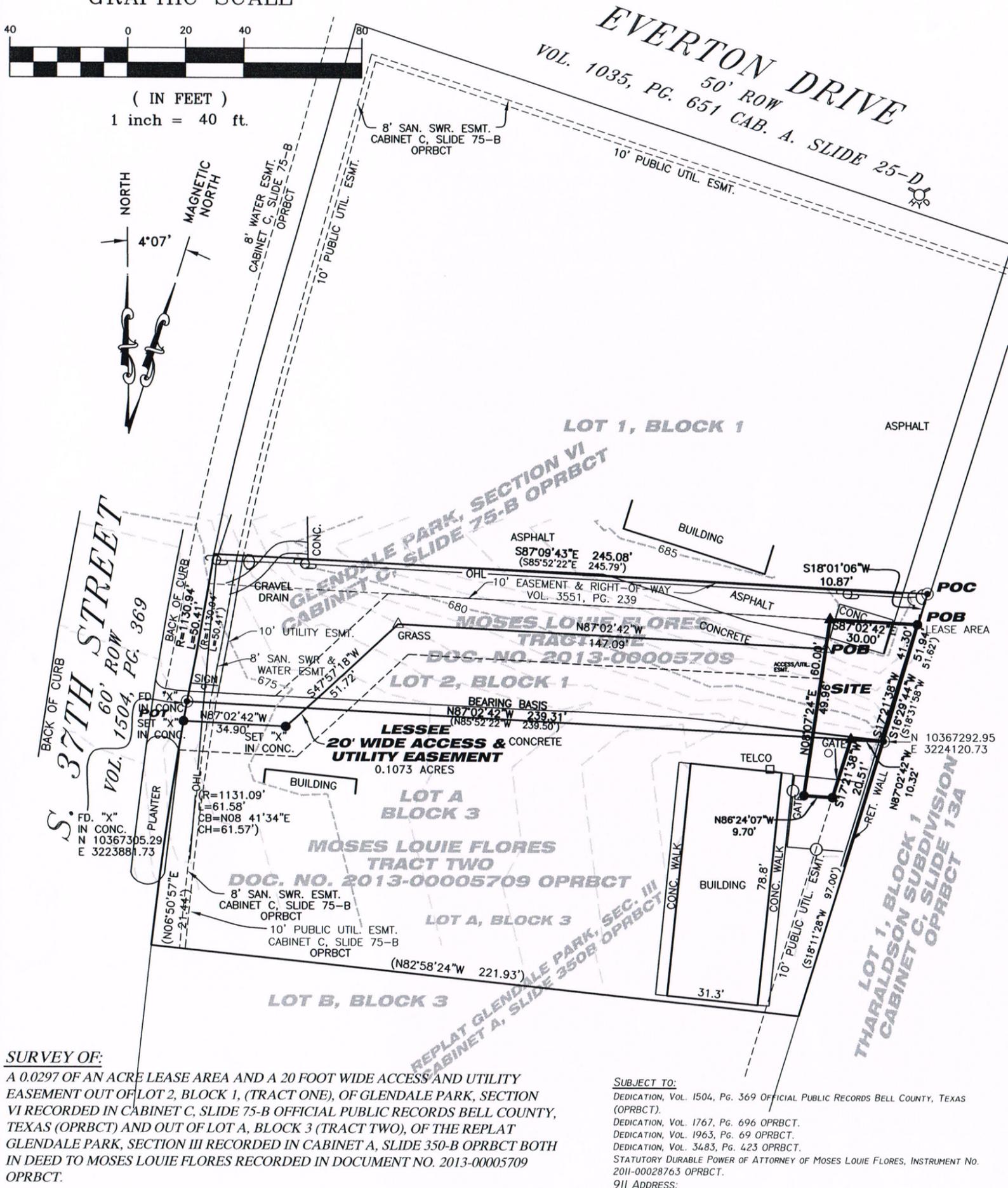
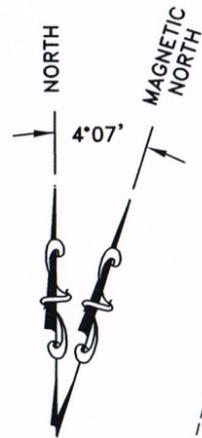
P1

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GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



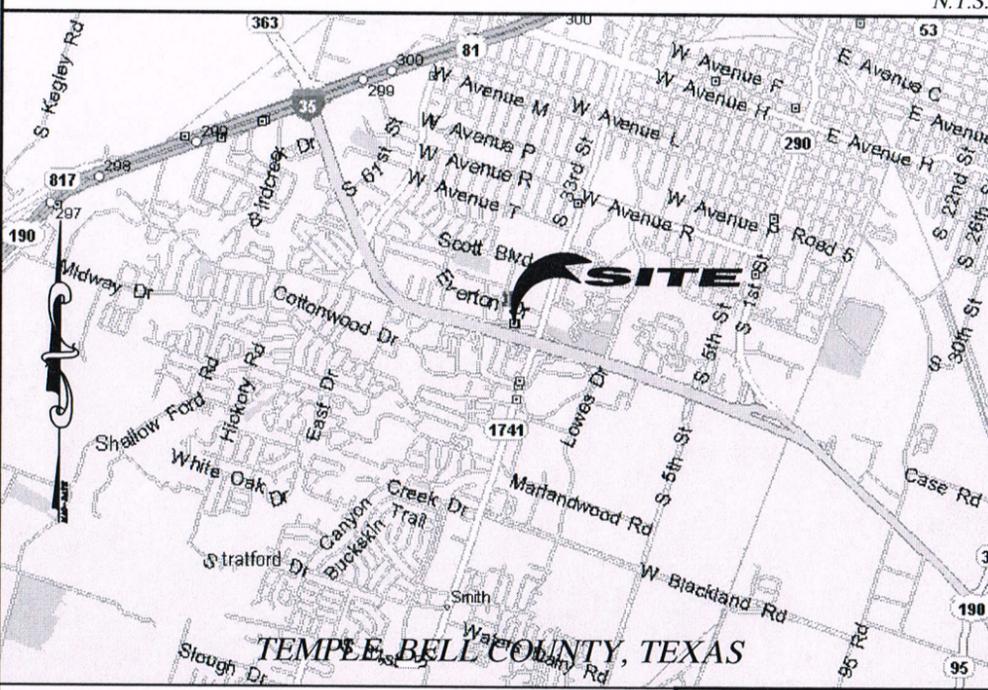
SURVEY OF:

A 0.0297 OF AN ACRE LEASE AREA AND A 20 FOOT WIDE ACCESS AND UTILITY EASEMENT OUT OF LOT 2, BLOCK 1, (TRACT ONE), OF GLENDALE PARK, SECTION VI RECORDED IN CABINET C. SLIDE 75-B OFFICIAL PUBLIC RECORDS BELL COUNTY, TEXAS (OPRBCT) AND OUT OF LOT A, BLOCK 3 (TRACT TWO), OF THE REPLAT GLENDALE PARK, SECTION III RECORDED IN CABINET A, SLIDE 350-B OPRBCT BOTH IN DEED TO MOSES LOUIE FLORES RECORDED IN DOCUMENT NO. 2013-00005709 OPRBCT.

SUBJECT TO:

DEDICATION, VOL. 1504, Pg. 369 OFFICIAL PUBLIC RECORDS BELL COUNTY, TEXAS (OPRBCT).
DEDICATION, VOL. 1767, Pg. 696 OPRBCT.
DEDICATION, VOL. 1963, Pg. 69 OPRBCT.
DEDICATION, VOL. 3483, Pg. 423 OPRBCT.
STATUTORY DURABLE POWER OF ATTORNEY OF MOSES LOUIE FLORES, INSTRUMENT NO. 2011-00028763 OPRBCT.
911 ADDRESS:

VICINITY MAP



LEGEND

- = FOUND 1/2" IRON BAR UNLESS OTHERWISE NOTED.
- = SET 1/2" IRON BAR w/ SOLIS-KANAK CAP UNLESS OTHERWISE NOTED
- △ = SET 60D NAIL WITH DISK MARKED "SOLIS-KANAK" UNLESS OTHERWISE NOTED
- ▲ = SET MAG NAIL WITH DISK MARKED "SOLIS-KANAK" UNLESS OTHERWISE NOTED
- () = DENOTES BEARINGS & DISTANCES PER RECORD
- = UTILITY POLE
- OHL - = OVERHEAD LINE
- = WIRE FENCE
- ☼ = FIRE HYDRANT

FLOOD ZONE

This property described above appears on the Federal Emergency Management Agency Flood Insurance Rate Map: FIRM 48027C0355E, Effective date September 26, 2008. This property appears in Zone "X", areas determined to be outside the 0.2% annual chance floodplain. No warranty expressed or implied is made regarding the accuracy of the National Flood Insurance program Map.

PROJECT INFORMATION

SITE NAME: SCOTT & WHITE
OWNERS NAME: MOSES LOUIE FLORES
SITE ADDRESS: 2707 S. 37TH ST.
TEMPLE, TEXAS 76504

LATITUDE: 31° 04' 32.25" N LONGITUDE: 97° 22' 12.37" W

GROUND ELEVATION: 678.5' AMSL

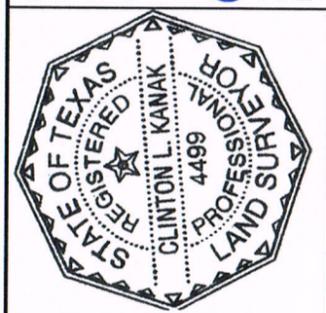
LATITUDE NORTH :	31° 04' 32.25"	31° 04' 31.67"
LONGITUDE WEST :	97° 22' 12.37"	97° 22' 11.28"
SYSTEM :	GEODETIC	GEODETIC
DATUM TRANS. :	NAD 1983	NAD 1927
ELLIPSOID :	GRS 1980	CLARK 1866

NOTES:

- 1) ALL ELEVATIONS ARE MEAN SEA LEVEL. (NORTH AMERICAN VERTICAL DATUM OF 1988)
- 2) METES AND BOUNDS DESCRIPTION PREPARED THIS DATE.
- 3) THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF AN ABTRACTOR'S CERTIFICATE PROVIDED BY PRECISE LAND RECORDS, DATED 02-01-13.
- 4) BEARINGS BASED ON TEXAS STATE PLANE COORDINATES CENTRAL ZONE (NAD 83).

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY TO ARCHCOMM, INC., VERIZON WIRELESS AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS IN INTEREST THAT THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY II SURVEY.

Clinton L. Kanak
CLINTON L. KANAK, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4499



SCOTT & WHITE
TEMPLE,
BELL COUNTY,
TEXAS



ArchComm Design, Inc. Architects
1840 Lockhill-Selma, Suite 101
San Antonio, Texas 78213
(210)308-9905

Solis-Kanak & Associates, Inc.
Professional Surveyors
17500 FM 906
CANYON LAKE, TX 78633
(800) 935-4011 FAX (800) 935-4012



JOB NUMBER: 13-0006
DATE: 04/ 08/ 13
REV.

DRAWN BY: S.D.
REVISED BY:

SHEET NO.
1 of 2

H:\ARCHCOMM LLC\VERIZON\VERIZON SOUTH TEXAS\Scott and White\A-New Build - Rawland\Scott and White-N1 GENERAL NOTES.dwg, 7/1/2013 2:04:37 PM, mviciana

GENERAL NOTES:

- FOR THE PURPOSE OF THESE CONSTRUCTION DOCUMENTS, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR = GENERAL CONTRACTOR
OWNER – OWNER OF THE SITE
PROJECT MANAGER – NEW CARRIER’S PROJECT MANAGER
- CARE SHALL BE TAKEN TO PROTECT THE SITE AND THE SURROUNDING AREA FROM FIRE HAZARD DURING ‘HOT’ OPERATIONS. ADEQUATE EQUIPMENT, PERSONNEL AND EMERGENCY COMMUNICATIONS SHALL BE PROVIDED TO PROTECT LIFE AND PROPERTY IN AND SURROUNDING THE CONSTRUCTION SITE.
- ALL EXCAVATIONS SHALL BE BARRICADED FOR PERSONNEL PROTECTION AND IF CONCRETE PIERS ARE DRILLED, THEY SHALL BE FILLED BY END OF DAY.
- VERIFY REQUIREMENTS OF OTHER TRADES PRIOR TO PROCEEDING WITH FABRICATION OR INSTALLATION OF MATERIALS.
- COMPLETE SHOP DRAWINGS SHALL BE PROVIDED FOR ALL FABRICATED ITEMS FOR REVIEW PRIOR TO FABRICATION. DRAWINGS CONTAINED IN THESE CONSTRUCTION DOCUMENTS SHALL NOT BE REPRODUCED FOR SHOP DRAWINGS.
- THE BUILDER/SUBCONTRACTOR SHALL BE RESPONSIBLE WITH NO ADDITIONAL COSTS TO THE OWNER/LESSOR/PROJECT MANAGEMENT TEAM FOR ALL FEES, PERMITS, INSPECTION FEES RELATED TO THIS PROJECT, OR SEE THAT ANY AND ALL SUCH CHARGES ARE PAID BY THE RESPECTIVE SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT.
- DIMENSIONS NOTED AS ‘+/-’ OR ‘VERIFY’ ARE BASED ON MATCHING EXISTING CONDITIONS AND MAY VARY SLIGHTLY FROM THE DIMENSIONS AS SHOWN. NOTIFY THE CARRIER’S PROJECT MANAGER IF SIGNIFICANT VARIATIONS ARE ENCOUNTERED AT THE SITE.
- THE NATURE OF THE SITE RELATED ACTIVITIES REQUIRES THAT ACCESS TO THE SITE MUST BE MANAGED AT ALL TIMES DURING HOURS OF OPERATION AND WHEN THE SITE IS UNATTENDED. WORK WITH THE OWNERS REPRESENTATIVE FOR SAFETY AND SECURITY AT ALL TIMES.
- CONTRACTORS SHALL BE REQUIRED TO PICK UP ALL OWNER SUPPLIED EQUIPMENT AS DIRECTED BY THE PROJECT MANAGER WITH NO ADDITIONAL COST TO THE JOB.
- CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
- CONTRACTOR SHALL HAVE A PRECONSTRUCTION MEETING WITH THE CARRIER’S PROJECT MANAGER TO DISCUSS ALL ASPECTS OF THE SCOPE OF THESE DRAWINGS TO ENSURE HE IS FAMILIAR WITH AND UNDERSTANDS ALL REQUIREMENTS AND INTENT OF EACH ACTIVITY.
- THE CONTRACTOR SHALL REVIEW, BE THOROUGHLY FAMILIAR WITH AND UNDERSTAND ALL DOCUMENTS CONCERNING THIS PROJECT INCLUDING, BUT NOT LIMITED TO, THIS SET OF DOCUMENTS; TOWER AND TOWER FOUNDATION DRAWINGS; SHELTER AND/OR PLATFORM DRAWINGS; STEALTH DRAWINGS (IF APPLICABLE) AND ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES & ORDINANCES.
- NO WORK OF ANY KIND SHALL BE ACCOMPLISHED BY ANY TRADE IN FRONT OF ANY OPERATING ANTENNA.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL FABRICATED STEEL ITEMS SHALL BE HOT DIPPED GALVANIZED PRIOR TO SHIPPING TO THE SITE.

FLOOD HAZARD ZONES:

- ALL SITES LOCATED WITHIN A FLOOD HAZARD ZONE SHALL HAVE TOP OF SLAB AND/OR TOP OF GRATING RAISED TO BE AT LEAST 12” ABOVE THE BASE FLOOD ELEVATION. THIS INCLUDES SHELTERS, RAISED EQUIPMENT PLATFORMS, GENERATORS, FUEL TANKS AND ALL ELECTRICAL EQUIPMENT.

EXISTING CONDITIONS:

- DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT NO DISRUPTION OF EXISTING FACILITY OPERATIONS WILL OCCUR.
- THIS BUILDER/SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING FACILITIES AND SHALL REPLACE OR REPAIR TO THE ORIGINAL CONDITION AS DETERMINED BY THE PROJECT MANAGER.
- CUT AND PATCH ANY AREAS WHERE REQUIRED BY THE SCOPE OF THIS PROJECT. MATCH EXISTING WORK AND MATERIALS EVEN IF SUCH WORK FALLS OUTSIDE OF THE LIMITS OF THIS CONTRACT.
- THE OWNER OF THE SITE RETAINS SALVAGE RIGHTS TO ALL MATERIALS AND EQUIPMENT REMOVED FROM THE EXISTING WORK. MATERIALS AND EQUIPMENT NOT CLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE BUILDER/SUBCONTRACTOR WHO SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE REMOVAL AND APPROPRIATE DISPOSAL THEREOF.
- VERIFY ALL EXISTING SITE CONDITIONS, QUANTITIES AND DIMENSIONS BEFORE STARTING WORK. NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.
- ALL BIDDERS SHALL VISIT THE SITE BEFORE BIDDING TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS.
- CARE SHALL BE TAKEN TO LOCATE ALL EXISTING UNDERGROUND OBSTRUCTIONS, UTILITIES AND/OR EASEMENTS BEFORE DIGGING OR DRILLING ON THE SITE.
- UTILITY CHECK – BEFORE COMMENCING ANY WORK AT THE SITE, CONTACT THE **ONE CALL SYSTEM** IN THE STATE IN WHICH UNDERGROUND WORK IS BEING DONE. REFER TO ONE CALL NOTE ON SITE PLAN.

CONSTRUCTION CODES:

- ALL WORK SHALL BE ACCOMPLISHED AS PER ALL APPLICABLE CURRENT STATE, LOCAL AND NATIONAL CODES. THESE CODES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
INTERNATIONAL BUILDING CODE (OR LOCAL ACCEPTED CODE)
THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION-
SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS
THE AMERICAN CONCRETE INSTITUTE-
BUILDING CODE REQUIREMENTS OF REINFORCED CONCRETE
AMERICAN WELDING SOCIETY-
STRUCTURAL WELDING CODE- STEEL
TOWER DESIGN- STANDARD PER FIA/TIA-
TIA 222 G SPECIFICATIONS
TIA 607 GROUNDING & BONDING REQUIREMENTS FOR TELECOMMUNICATIONS.
- FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

EXISTING TOWERS:

- THE EXISTING TOWERS CAPACITY TO SUPPORT NEW EQUIPMENT IS IN PART BASED ON THE ASSUMPTION THAT IT WAS BUILT AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER’S SPECIFICATION (REFER TO STRUCTURAL ENGINEERS ANALYSIS & REPORT). THE CONTRACTOR SHALL MAKE A VISUAL INSPECTION OF THE EXISTING TOWER PRIOR TO THE START OF ANY NEW CONSTRUCTION AND REPORT TO THE VERIZON REPRESENTATIVE ANY CONDITION THAT HE BELIEVES IS NOT IN KEEPING WITH TIA-222-G ANNEX J: MAINTENANCE AND CONDITION ASSESSMENT.

SITE DEVELOPMENT & FINISHING NOTES:

- DIGGING AND EXCAVATION** – HAND DIG ALL EXCAVATIONS AND TRENCHES IN AREAS SUSPECTED TO CONTAIN EXISTING GROUNDING CONDUCTORS, GROUND RODS, POWER/TELCO CABLES OR OTHER BURIED UTILITIES.
- COLLOCATION SITE FINISHING** – UNLESS OTHERWISE DIRECTED BY THE NEW CARRIER’S PROJECT MANAGER, AREAS OF COMPOUND EXPANSION OR SPACE LOCATED WITHIN THE LEASED AREA SHALL BE FINISHED TO THE SAME STANDARD AS THE BALANCE OF THE EXISTING COMPOUND OR AT THE SOLE DISCRETION OF THE NEW CARRIER’S PROJECT MANAGER, THE FINISH STANDARD OF THE NEW CARRIER SHALL BE PROVIDED. REFER TO ITEM #3 BELOW.
- NEW CARRIER’S SITE FINISH STANDARD** – PROVIDE A MINIMUM 4” THICK LAYER OF CRUSHED STONE (APPROX. 1” DIAMETER W/O FINES) OVER 6 MIL. WEED BARRIER, OVER 6” COMPACTED BASE. FILL MATERIAL SHALL BE EQUAL TO CRUSHED LIMESTONE CONFORMING TO STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS FOR TYPE ‘A’, GRADE 2 MATERIAL COMPACTED TO 95% PROCTOR DENSITY OVER A COMPACTED SUB-GRADE THAT WAS SCARIFIED AND RECOMPACTED TO 95% PROCTOR DENSITY.
- REPAIR/REPLACE** – AT NO ADDITIONAL EXPENSE TO THIS CONTRACT, ANY CONSTRUCTION RELATED DAMAGE TO ANY EXISTING SITE ELEMENTS OR FINISHES WITHIN THE COMPOUND, IN ADJACENT AND/OR ALONG ROUTES TO THE WORK AREA, HOWEVER INCIDENTAL TO THE PROSECUTION OF THE WORK, SHALL BE PUT IN A PRECONSTRUCTION CONDITION TO THE SATISFACTION OF THE NEW CARRIER’S PROJECT MANAGER.
- BACKFILL** – ALL BORROWED FILL MATERIAL SHALL BE EQUAL TO STATE SPECIFICATION FOR TYPE A, GRADE 1 OR 2, COMPACTED TO 95% PROCTOR DENSITY. WHERE TRENCHING IS REQUIRED BACKFILLING WITH MATERIALS EXCAVATED FROM THE TRENCH WILL BE PERMITTED UNLESS OTHERWISE DIRECTED BY THE NEW CARRIER’S PROJECT MANAGER. ALL TRENCH BACK FILLING SHOULD BE COMPACTED IN LIFTS NOT TO EXCEED 6” COMPACTED DEPTH AND TO 95% PROCTOR DENSITY FLUSH TO THE SURFACE OF THE FINISHED COMPACTED SUB-GRADE.
- UNLESS INDICATED OTHERWISE, SITES SHALL NOT HAVE SLOPES GREATER THAN 1/4” PER FOOT AND THE AREA IMMEDIATELY AROUND NEW EQUIPMENT SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT.



SCOTT AND WHITE

2615 S. 37TH ST
TEMPLE, TEXAS, 76504
(261411)

APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

THIS IS AN INCOMPLETE SET NOT FOR CONSTRUCTION OR PERMITTING. APPROPRIATE PROFESSIONAL SEAL WILL BE APPLIED TO FINAL CONSTRUCTION SET



ARCHCOMM, LLC.
1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

SHEET TITLE
GENERAL NOTES

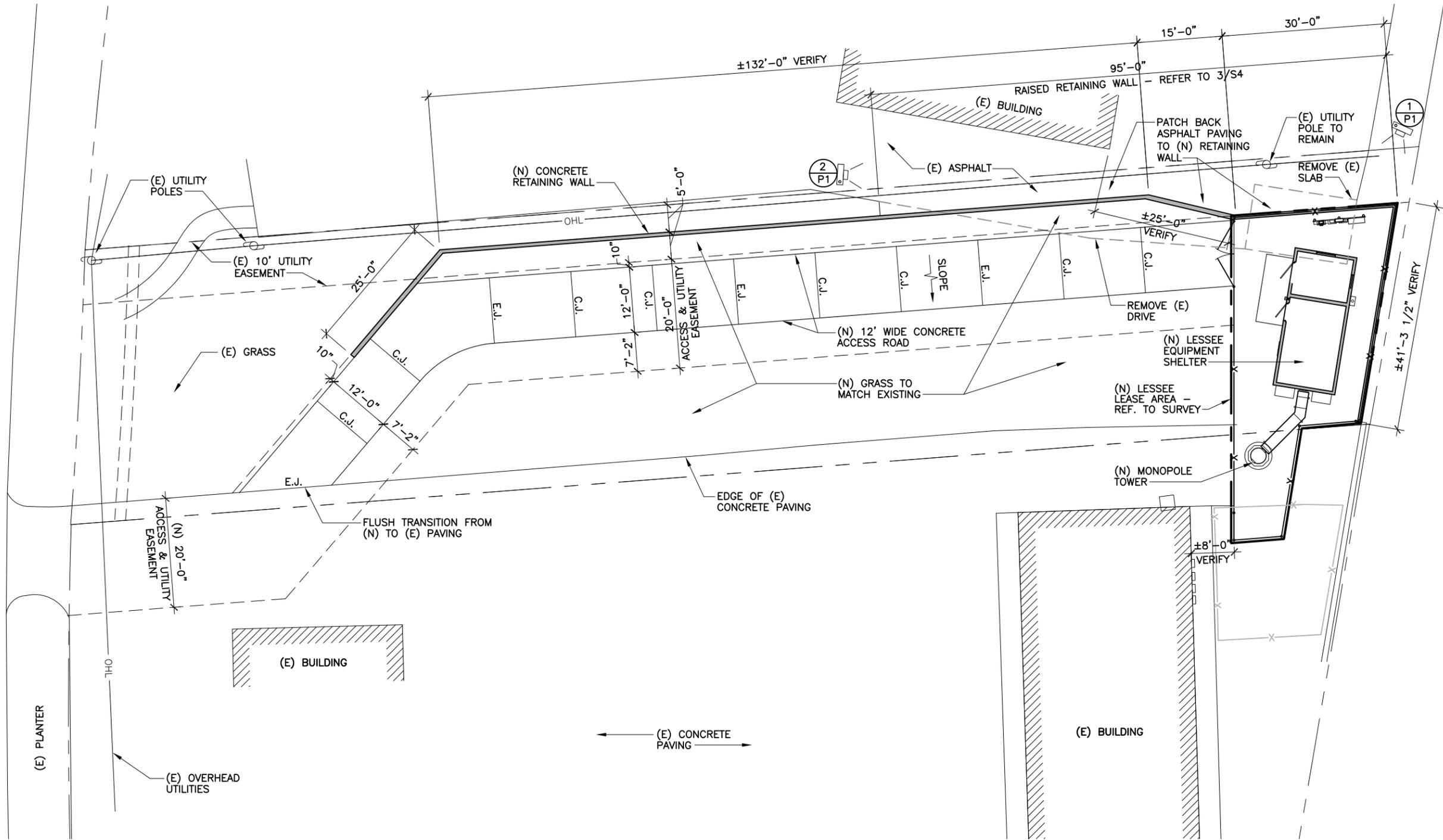
SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

N1

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S. 37TH STREET



1 SITE PLAN
SCALE: 1" = 20'-0"
NORTH

(N) = NEW
(E) = EXISTING
(F) = FUTURE

TEXAS ONE CALL SYSTEM
CALL BEFORE YOU DIG
UNDERGROUND UTILITIES
1-800-245-4545
CALL 48 HOURS BEFORE YOU DIG, DRILL, OR BLAST.



SCOTT AND WHITE

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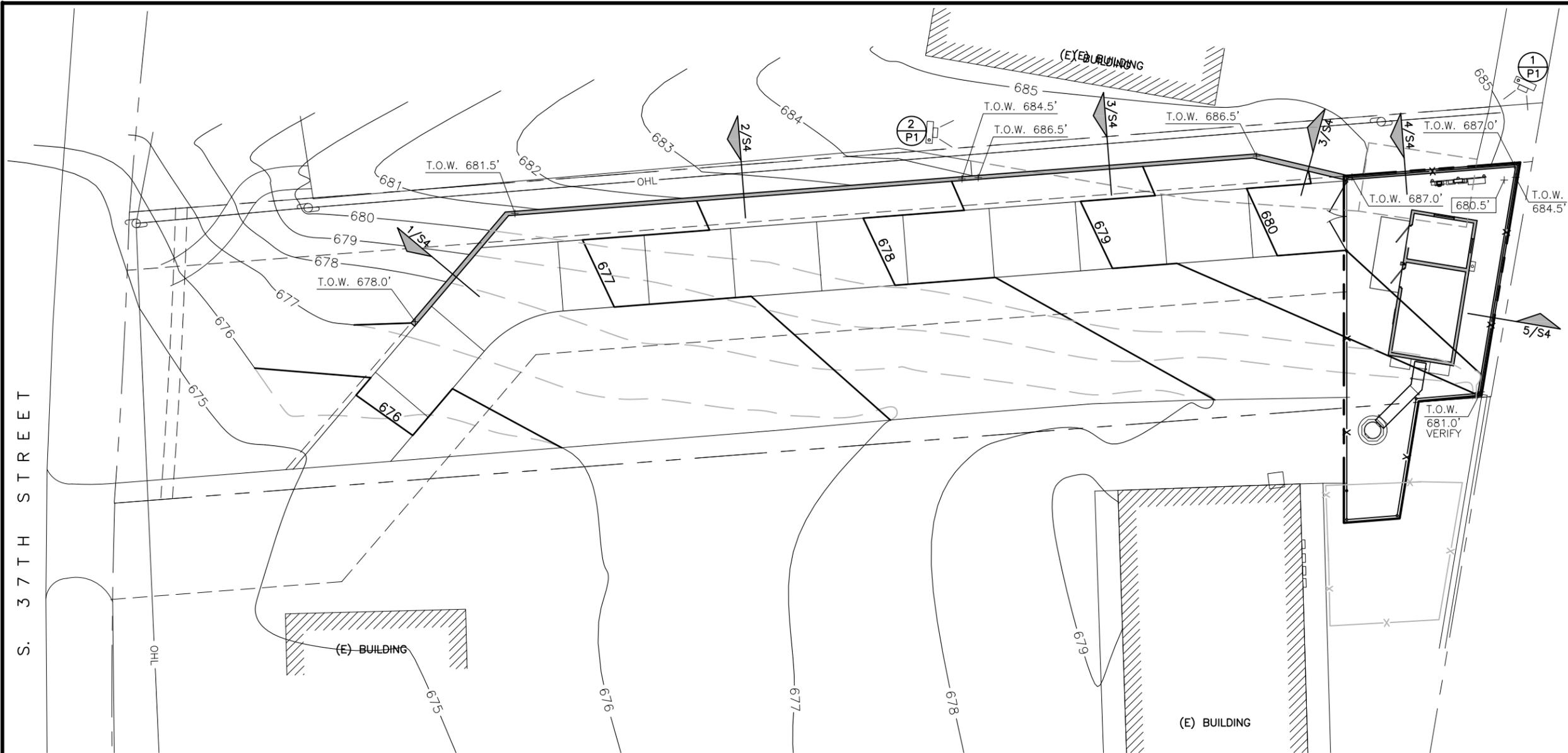
SHEET TITLE
SITE PLAN

SHEET HISTORY
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H:\ARCHCOMM LLC\VERIZON\South Texas\Scott and White\A-New Build - Rawland\Scott and White-BASE DRAWING.dwg, 7/1/2013 9:06:59 AM, mvciana



1 GRADING PLAN
SCALE: 1" = 20'-0"
NORTH

NOTE: REFER TO S3 AND S4 FOR TOP OF WALL AND SPOT ELEVATIONS WITHIN THE SITE.

(N) = NEW
(E) = EXISTING
(F) = FUTURE

000.00' EXISTING GRADE
000.00' NEW FINISH GRADE
T.O.W. TOP OF WALL

TEXAS ONE CALL SYSTEM
CALL BEFORE YOU DIG
UNDERGROUND UTILITIES
1-800-245-4545
CALL 48 HOURS BEFORE YOU DIG, DRILL, OR BLAST.



SCOTT AND WHITE

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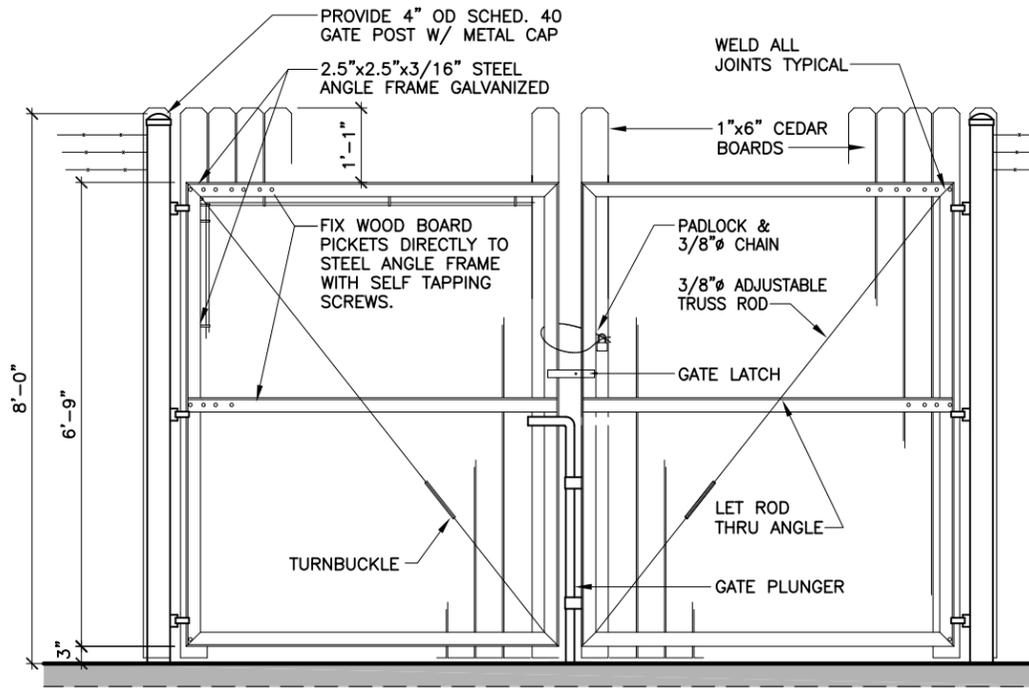
SHEET TITLE
SITE GRADING PLAN

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

A2

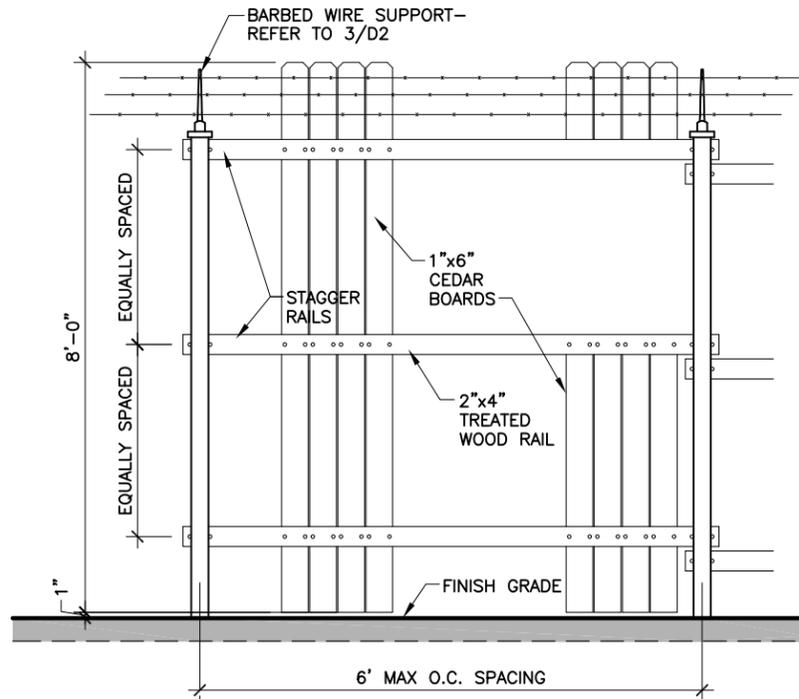
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H:\ARCHCOMM LLC\VERIZON SOUTH TEXAS\Scott and White\A-New Build - Rawland\Scott and White-SITE ELEVATION.dwg, 7/1/2013 9:10:20 AM, mvciana



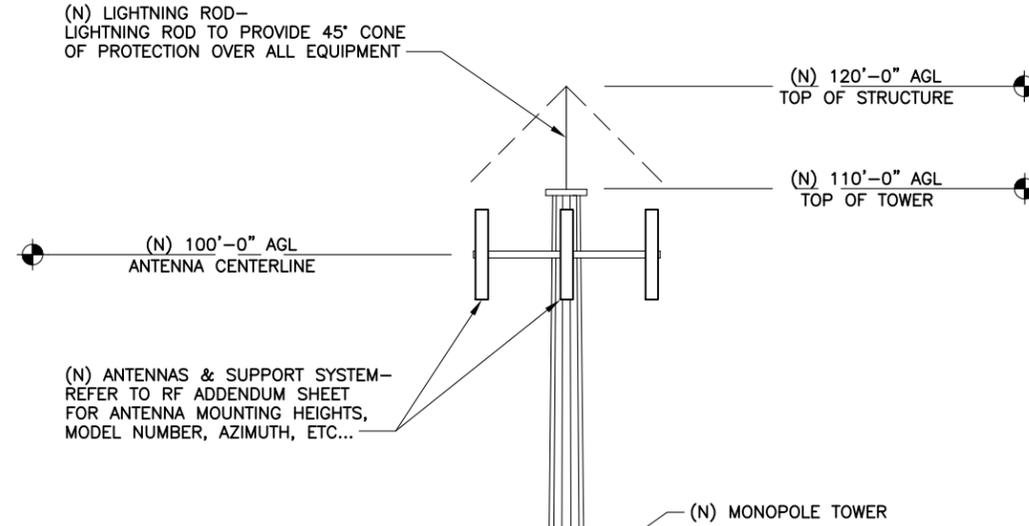
NOTES :
 1. CONTRACTOR MAY SUBMIT ALTERNATE GATE PLAN FOR OWNER'S CONSIDERATION. BIDDERS SHALL BASE BID ON DETAIL SHOWN ABOVE.

3 WOOD GATE
 SCALE: 3/8" = 1'-0"



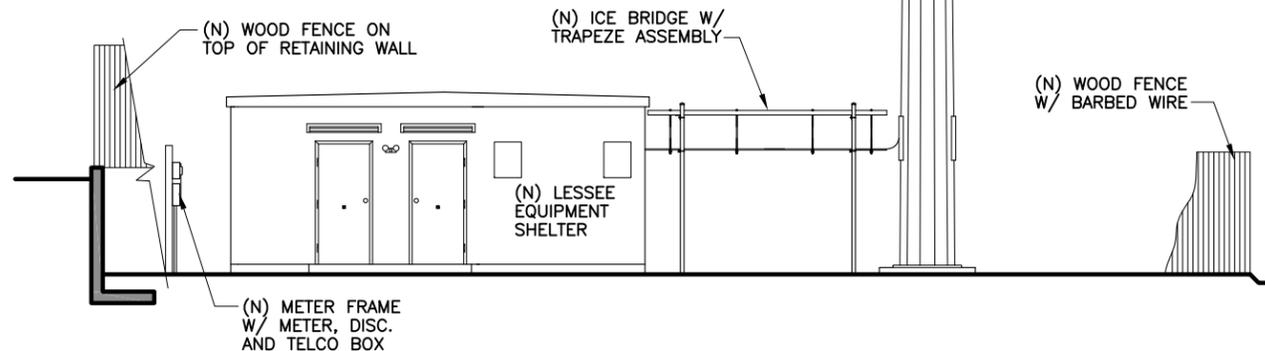
NOTE:
 1. REFER TO 2/D2 FOR MATERIALS SPECIFIED.
 2. USE 2" GALV. SCREWS FOR THE CEDAR PICKETS.

2 FENCE DETAIL
 SCALE: 3/8" = 1'-0"



TOWER VERIFICATION:
 THE GENERAL CONTRACTOR SHALL VERIFY WITH OWNER, THE TOWER TYPE AND HEIGHT PRIOR TO ORDERING OR CONSTRUCTING THE TOWER.

NOTE:
 1 SUBCONTRACTOR TO COMPLY WITH ALL FCC AND FAA REGULATIONS ON THIS PROJECT
 2 ON TOWERS OVER 200' TALL ADD AIRCRAFT WARNING LIGHTS AND CONTROLS PER FAA REGULATIONS
 3 THIS SITE ELEVATION IS A GENERALIZATION OF SITE AND TOWER COMPONENTS AND THEIR RELATIONSHIPS WITH ONE ANOTHER



1 SITE ELEVATION
 SCALE: N.T.S.



SCOTT AND WHITE

2615 S. 37TH ST
 TEMPLE, TEXAS, 76504
 (261411)

APPROVAL SIGNATURES
 LANDLORD
 LEASING
 CONSTRUCTION

DATE: 07.01.13



EXP. DATE: 06/30/14

ARCHCOMM, LLC.
 1006 Beckett
 San Antonio, Texas 78213
 (210) 308-9905

SITE ELEVATION

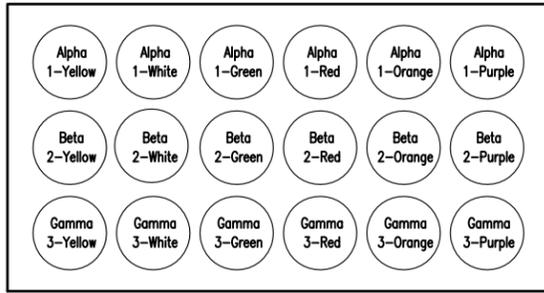
SHEET HISTORY
 07.01.13 ISSUE FOR CONSTRUCTION

A4

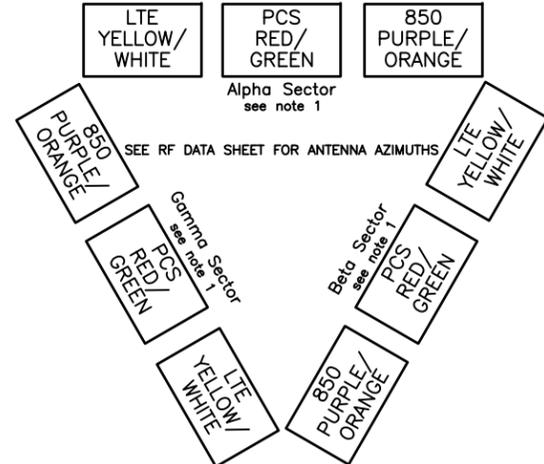
THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS (DRAWINGS) WITHOUT THE EXPRESS WRITTEN CONSENT OF VERIZON WIRELESS IS PROHIBITED.

NOTES:
 (1) TYPICALLY ALL ANTENNA DIRECTIONS WILL BE SET TO 0°, 120° & 240° FROM 0° TRUE NORTH BUT BEFORE THE ANTENNA INSTALLATION IS PERFORMED THIS DIRECTIONAL INFORMATION MUST BE CHECKED AGAINST THE MOST CURRENT INFORMATION ISSUED BY THE RF DEPARTMENT BY IMPLEMENTATION.
 (2) DURING FEEDER INSTALLATION ALL FEEDERS WILL BE MARKED WITH VINYL TAPE COLOR BANDS ACCORDING TO THE COLOR CODING CHART OPPOSITE. THESE BANDS SHOULD APPEAR AT BOTH ENDS OF THE FEEDER RUN AND BE VISIBLE FROM THE GROUND WITH A DIRECT AND CLEAR LINE OF SIGHT FROM THE GROUND BOTTOM BANDS TO BE INSTALLED OUTSIDE OF WAVEGUIDE PORT. TOP BANDS TO BE 2" WIDE AND BOTTOM BANDS TO BE 1" WIDE.
 (3) TYPICALLY ONLY THREE (3) ANTENNAS PER SECTOR WILL BE INSTALLED BUT SPACING ON THE DELTA FRAME SHOULD BE ALLOWED FOR SHOULD THE RF PLAN INDICATE THE NEED FOR 2nd TX ANTENNA.
 (4) GPS CABLE ENTRY INTO THE SHELTER WILL BE VIA A SEPARATE PORT ON THE OPPOSITE SIDE OF THE SHELTER OR BTS ROOM.

ID	COLOR	NUMBER OF BANDS	ID	COLOR	NUMBER OF BANDS	ID	COLOR	NUMBER OF BANDS
ALPHA	RED	1	BETA	RED	2	GAMMA	RED	3
ALPHA	GREEN	1	BETA	GREEN	2	GAMMA	GREEN	3
ALPHA	YELLOW	1	BETA	YELLOW	2	GAMMA	YELLOW	3
ALPHA	WHITE	1	BETA	WHITE	2	GAMMA	WHITE	3
ALPHA	ORANGE	1	BETA	ORANGE	2	GAMMA	ORANGE	3
ALPHA	PURPLE	1	BETA	PURPLE	2	GAMMA	PURPLE	3



CABLE LENGTHS	CABLE SIZE	MIN. BEND RADIUS
UNDER 100'	= 7/8" DIA	10 INCHES
100' TO 150'	= 1 1/4" DIA	15 INCHES
150' +	= 1 5/8" DIA	20 INCHES



1 ANTENNA FEEDER ROUTING
SCALE: NONE

4 COAX BENDING RADIUS
SCALE: NONE

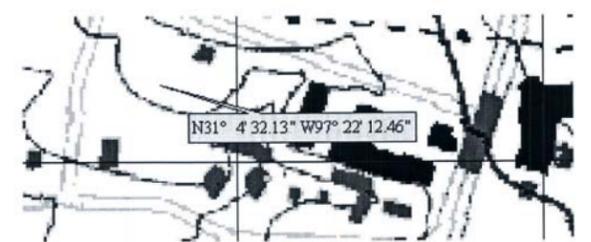


Solis-Kanak & Associates, Inc.
Professional Land Surveyors

1-A Certification

Date of Field Survey: **JANUARY 7, 2013**

Site Location: **TEMPLE, TX**
Site Name: **SCOTT & WHITE**



This is to certify that the center of the base of the proposed/existing tower lying within the subject site has the following geographic location:

Latitude and Longitude - *(to within fifteen (15) feet)

Latitude: **31° 04' 32.13" N - NAD 83** Latitude: **31° 04' 31.55" N - NAD 27**

Longitude: **97° 22' 12.46" W - NAD 83** Longitude: **97° 22' 11.37" W - NAD 27**

Base Ground Elevation - *(to within three (3) feet)

Elevation of Ground: **578.2' AMSL (NAVD 88)**

The above information is true and correct to within the given specifications*.

Clinton L. Kanak
Clinton L. Kanak
Registered Professional Land Surveyor No. 4499
G:\Jobs2013\13-0006\1A.doc



2 1A LETTER
SCALE: N.T.S.

RF Addendum

Site Name: SCOTT AND WHITE	Date of Issue: January 08, 2013
Company: MA	Structure Type: Antenna
Location: 11250000	Tower Owner: Verizon Wireless
Address: 11250000	Multiple Carriers: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Site Description: RF Addendum	High Power Equip: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Equipment Type: RF Addendum
	RF Addendum: RF Addendum
	Channel Block: RF Addendum
	TR Frequency Range: RF Addendum
	RF Frequency Range: RF Addendum
	RF Channel Block: RF Addendum

Configuration	Alpha	Beta	Gamma
Carrier Height (ft)	150	150	150
Dist. Type	7.5	7.5	7.5
Dist. Code	2	2	2
Antenna Manufacturer	KATHREIN	KATHREIN	KATHREIN
Antenna Model	340 5' 8P500	340 5' 8P500	340 5' 8P500
Antenna Weight	14.75	14.75	14.75
Antenna Dimensions (HxWxD)	133.82x 4.33x 0.6	133.82x 4.33x 0.6	133.82x 4.33x 0.6
Antenna Orientation (H/W)	14.75	14.75	14.75
Antenna Orientation (W/D)	64.5	64.5	64.5
Antenna Orientation (H/D)	98.0	98.0	98.0
Antenna Orientation (W/D)	0	0	0
Antenna Orientation (H/D)	0	0	0

Configuration	Alpha	Beta	Gamma
Carrier Height (ft)	150	150	150
Dist. Type	7.5	7.5	7.5
Dist. Code	2	2	2
Antenna Manufacturer	CSS	CSS	CSS
Antenna Model	AR-05-03-0	AR-05-03-0	AR-05-03-0
Antenna Weight	17.4	17.4	17.4
Antenna Dimensions (HxWxD)	60.6x 7.6x 1	60.6x 7.6x 1	60.6x 7.6x 1
Antenna Orientation (H/W)	10.88	10.88	10.88
Antenna Orientation (H/D)	66.5	66.5	66.5
Antenna Orientation (W/D)	97.0	97.0	97.0
Antenna Orientation (H/D)	0	0	0
Antenna Orientation (W/D)	0	0	0

Notes:
 (1) West-Antenna (AWC-TM) DO NOT USE FOR TOWER
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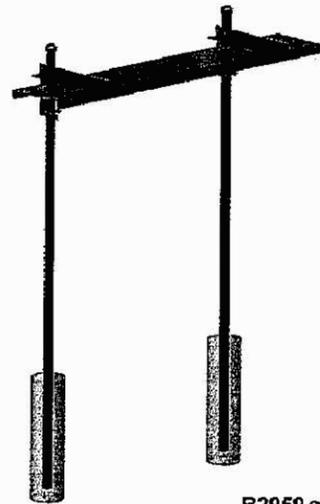
Ice Bridge

Grip Strut® Transmission Line Bridge

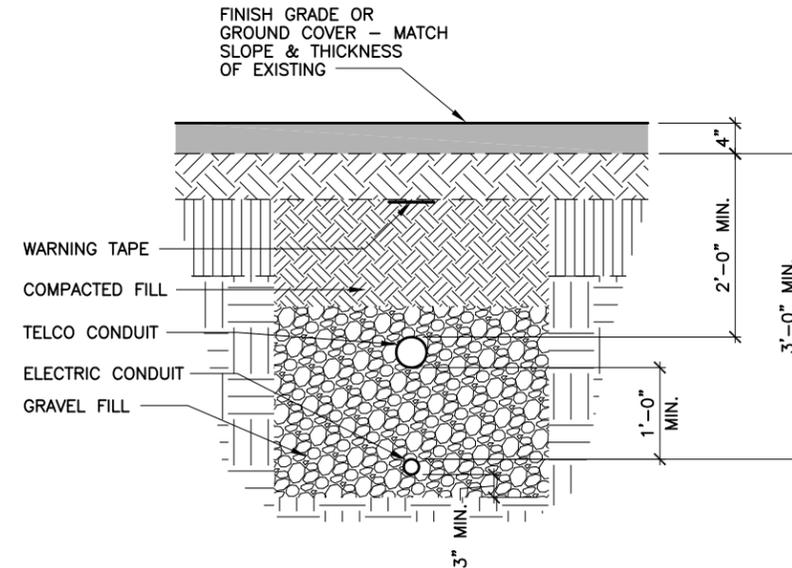
The Grip Strut® Transmission Line Bridge is intended to accommodate various types of transmission line supports including trapeze support kits, hanger brackets, coax blocks and threaded rod cushion hanger assemblies.

The open diamond pattern allows for drainage, yet provides protection from falling ice and other environmental elements. Galvanized.

Description	P/N	Price
12" x 10' Grip Strut® Coax Bridge Kit with base plate & anchor bolts	B3020	505.00
12" x 10' Grip Strut® Coax Bridge Kit with direct burial posts	B2957	425.00
24" x 10' Grip Strut® Coax Bridge Kit with base plate & anchor bolts	B2958	565.00
24" x 10' Grip Strut® Coax Bridge Kit with direct burial posts	B2959	485.00

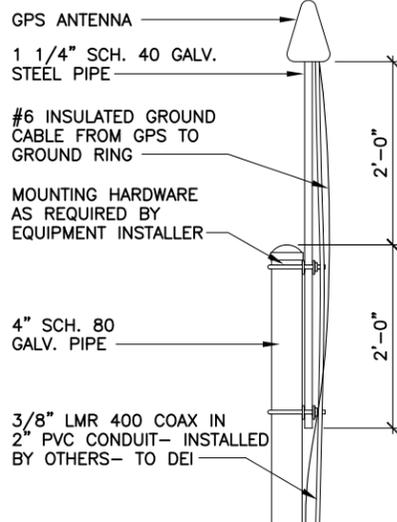


B2959 shown

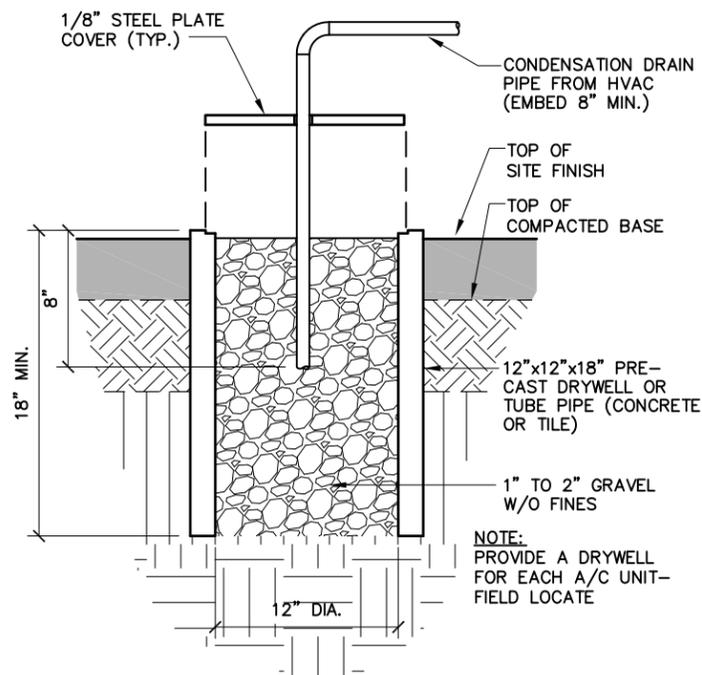


2 UTILITIES TRENCH
SCALE: 1/2" = 1'-0"

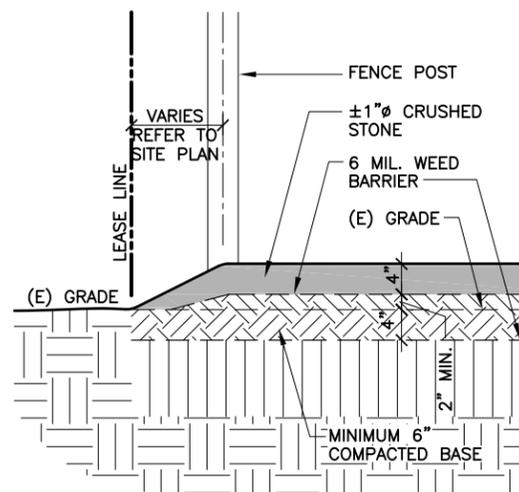
1 ICE BRIDGE W/ TRAPEZE ASSEMBLY
IMAGE WAS TAKEN FROM VALMONT PRODUCT GUIDE



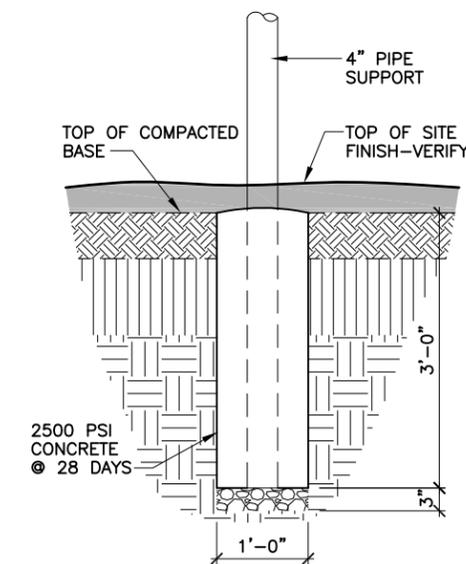
3 GPS MOUNTING DETAIL
SCALE: 1/2" = 1'-0"



4 A/C CONDENSATE DRYWELL
SCALE: 1" = 1'-0"



5 SITE EDGE DETAIL
SCALE: 1/2" = 1'-0"



6 ICE BRIDGE FRAME FOUNDATION
SCALE: 1/2" = 1'-0"



SCOTT AND WHITE

2615 S. 37TH ST
TEMPLE, TEXAS, 76504
(261411)

APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

DATE: 07.01.13



EXP. DATE: 06/30/14

ARCHCOMM, LLC.
1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

SHEET TITLE
GENERAL
SITE DETAILS

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

D1

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H:\ARCHCOMM LLC\VERIZON SOUTH TEXAS\Scott and White\A-New Build - Rawland\Scott and White-FENCE DETAILS.dwg, 7/1/2013 9:20:49 AM, mviciana



SCOTT AND WHITE

2615 S. 37TH ST
TEMPLE, TEXAS, 76504
(261411)

APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

DATE: 07.01.13



EXP. DATE: 06/30/14



ARCHCOMM, LLC.
1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

SHEET TITLE

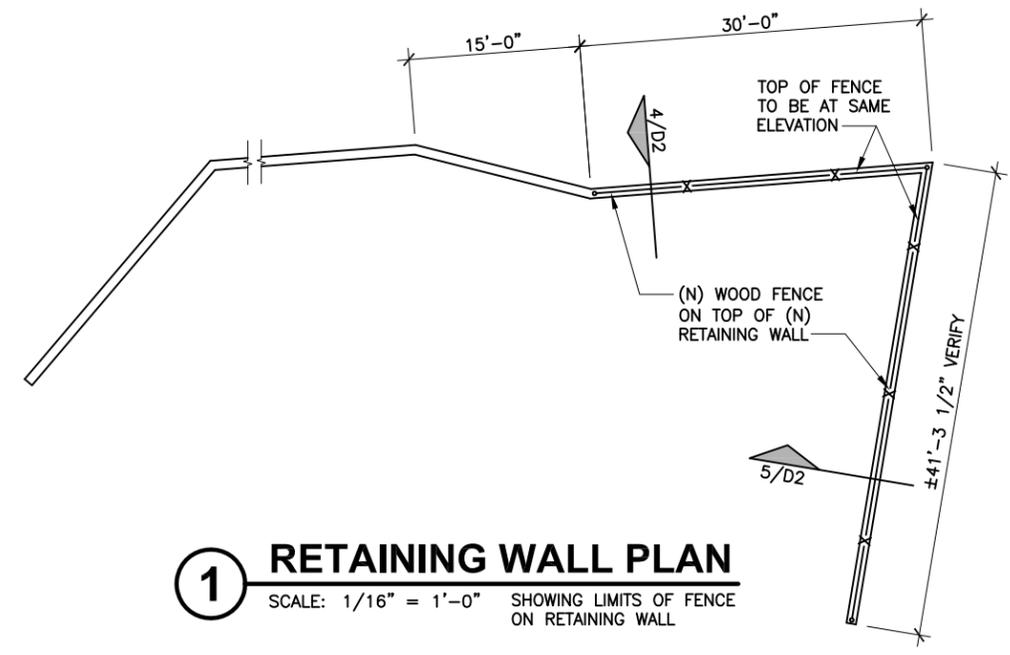
FENCE DETAILS

SHEET HISTORY

07.01.13 ISSUE FOR CONSTRUCTION

D2

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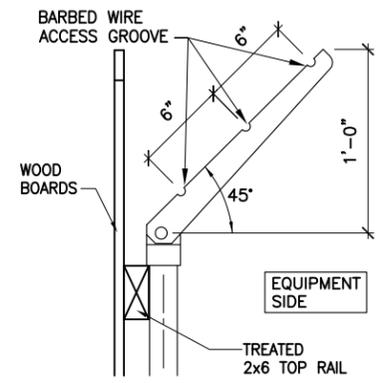


1 RETAINING WALL PLAN
SCALE: 1/16" = 1'-0" SHOWING LIMITS OF FENCE ON RETAINING WALL

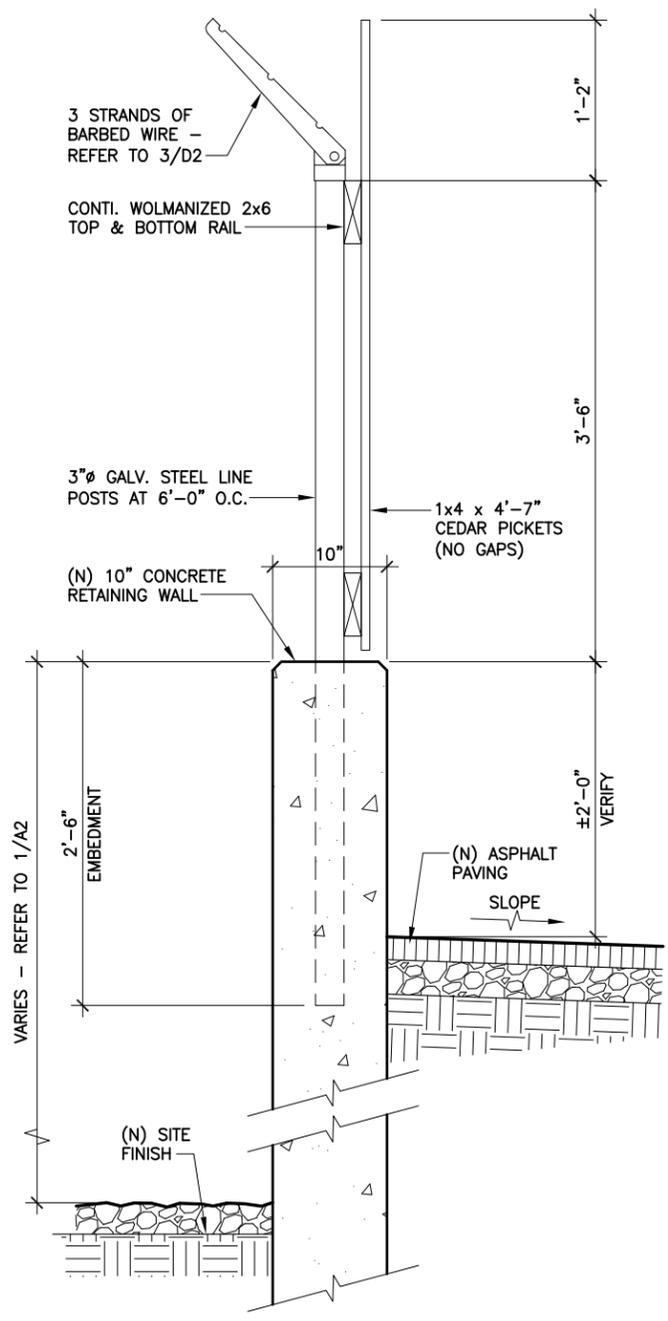
FENCE NOTES:

1. LINE POSTS- 3" O.D. PIPE, 16 GAUGE.
2. GATE & CORNER POSTS 4" OD PIPE, SCHEDULE 40. (AT END, CORNER, GATE, OR PULL POSTS)
3. GATE FRAMES- 2.5"x2.5"x3/16" GALV. STEEL WELDED ANGLE FRAME
4. TOP & BOTTOM - TREATED 2x6 SYP. MID RAILS - TREATED 2x4 SYP
5. POST TOPS- PRESSED STEEL, MALLEABLE IRON WITH PRESSED STEEL EXTENSION ARM, OR ONE-PIECE ALUMINUM CASTING; WITH HOLE FOR TOP RAIL, DESIGNED TO FIT OVER THE OUTSIDE OF THE POSTS AND TO PREVENT ENTRY OF MOISTURE INTO TUBULAR POSTS.
6. BARBED WIRE- GALVANIZED, ASTM A121 CLASS 3; THREE 14 GAUGE MINIMUM STEEL WIRES WITH 4 POINT ROUND 14 GAUGE BARBS SPACED 4" APART.
7. TRUSS ROD - GALVANIZED, 3/8" DIAMETER STEEL TRUSS ROD W/ GALV. TURNBUCKLE
8. PROVIDE ONE COMBINATION PADLOCK FOR EACH GATE, ACCORDING TO VERIZON PCS REQUIREMENTS. SECURE GATE WITH CHAIN NO LARGER THAN 3/8" DIA. (FOR FIRE DEPT. EMERGENCY ACCESS)
9. ALL FERROUS METAL PARTS SHALL BE HOT DIPPED GALVANIZED.

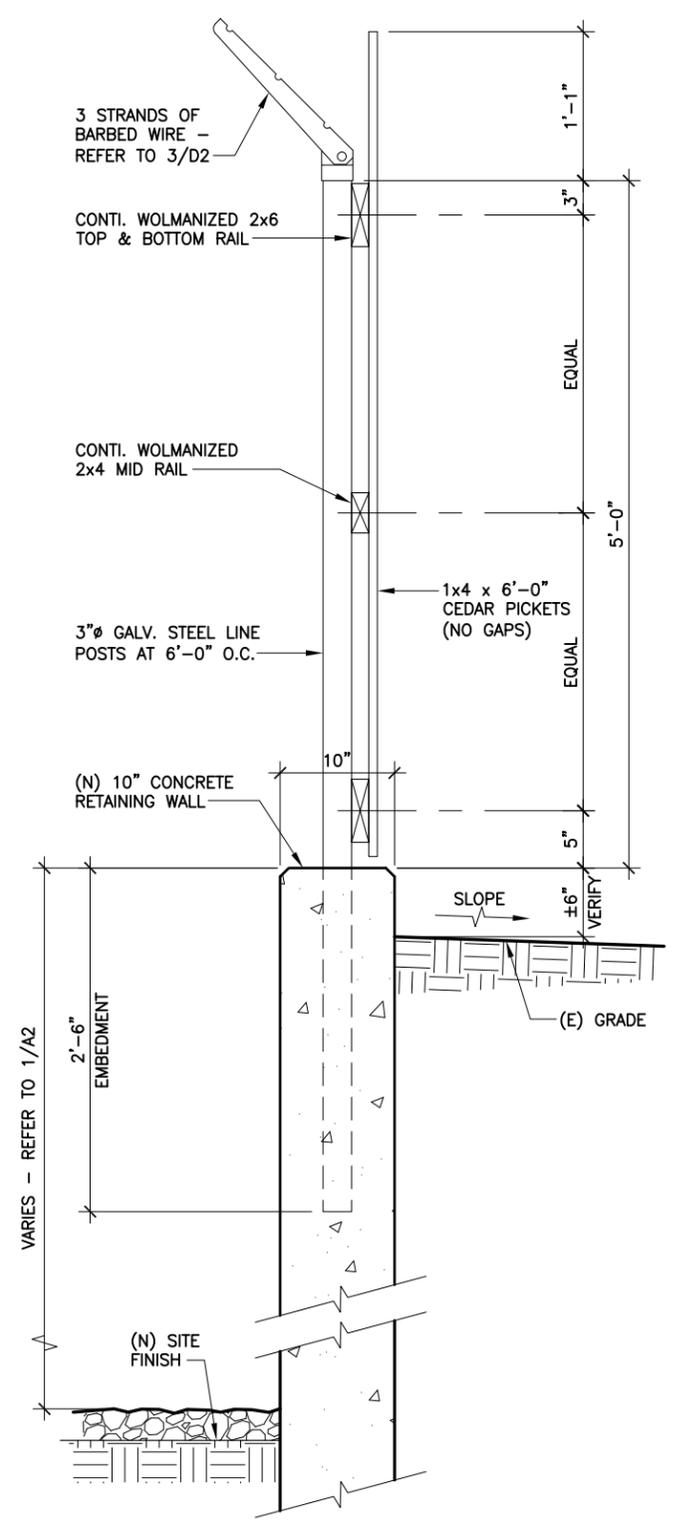
2 FENCE SPECIFICATIONS
SCALE: NONE



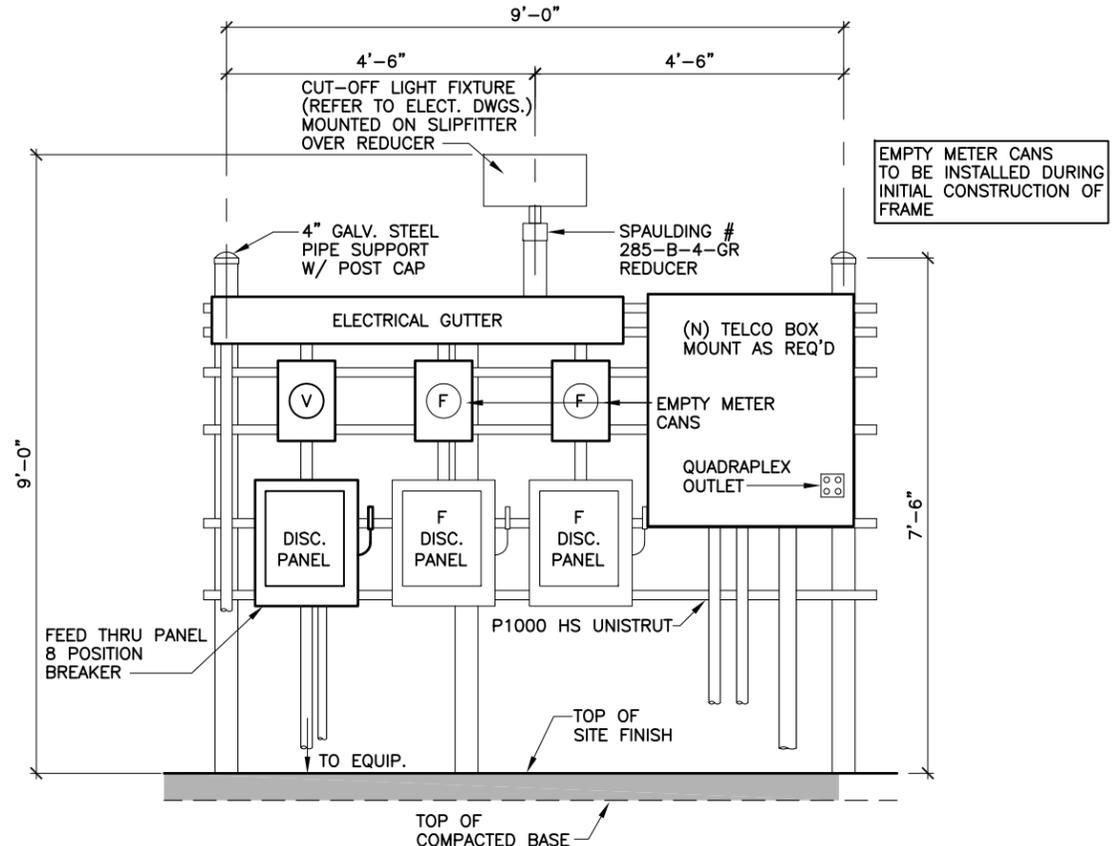
3 WIRE ARM SUPPORT
SCALE: 1" = 1'-0"



4 FENCE AT HIGH WALL
SCALE: 3/4" = 1'-0"

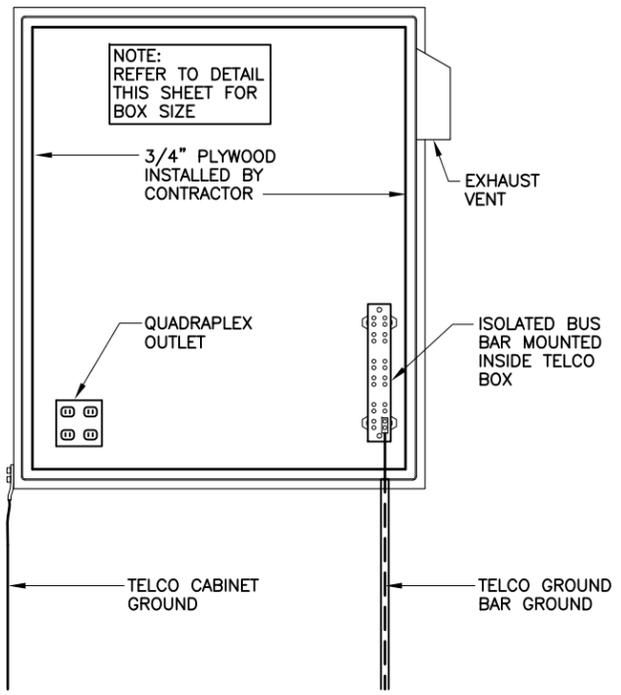


5 FENCE AT LOW SLOPING WALL
SCALE: 3/4" = 1'-0"

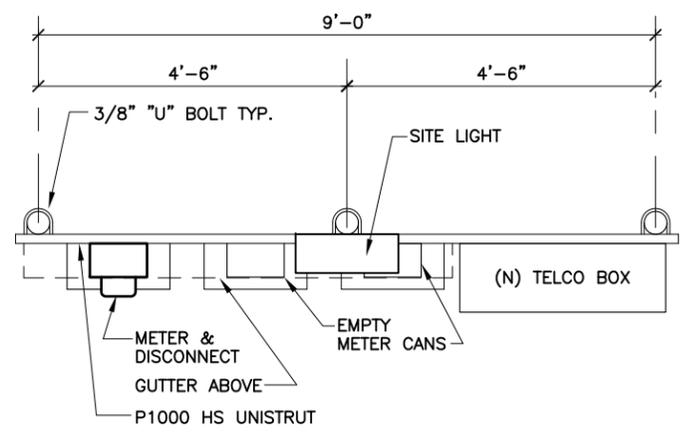


1 FRONT ELEVATION
SCALE: 3/8" = 1'-0"

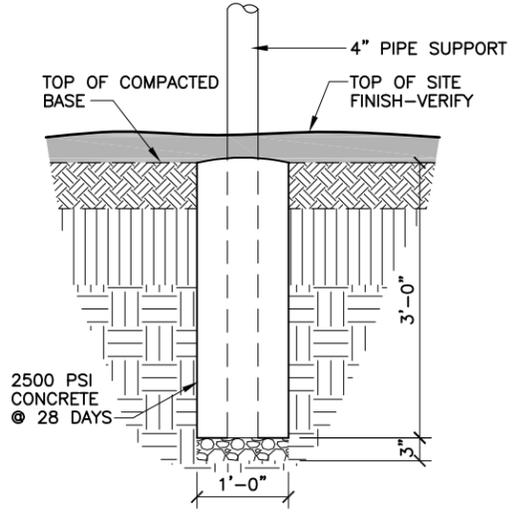
REFER TO ELECT. DWGS. FOR CONDUIT SIZES & QUANTITY. REFER TO GROUNDING PLANS FOR CABINET GROUNDING



2 TELCO BOX DETAIL
SCALE: 3/4" = 1'-0"



3 PLAN VIEW
SCALE: 3/8" = 1'-0"



4 METER FRAME FOUNDATION
SCALE: 1/2" = 1'-0"

IMAGE BELOW WAS TAKEN FROM ADVANCED LIGHTNING TECHNOLOGY, INC. (A.L.T.) PRODUCT GUIDE (VOLUME 3)



Telco Box
All Telco Boxes carry a NEMA 3R rating and come with a hinged cover.

Catalog No.	Dimensions (in.)	Options	Weight (lbs.)
5950-24x24x16	24 x 24 x 16	Includes mounting studs and installed locking T-handle - backing plate not included.	68
5950-30x36x12	30 x 36 x 12	Includes mounting studs and installed locking T-handle - backing plate not included.	118
5950-36x36x12	36 x 36 x 12	Includes locking T-handle and wood backboard.	122
5950-36x48x12	36 x 48 x 12	Includes mounting studs and installed locking T-handle - backing plate not included.	160

5 TELCO BOX

NOTE: CONTRACTOR SHALL VERIFY THE REQUIREMENTS FOR A TELCO BOX AT THIS SITE WITH THE PROJECT MANAGER BEFORE ORDERING. PROVIDE TELCO BOX ONLY AS REQUIRED.



SCOTT AND WHITE

2615 S. 37TH ST
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(261411)

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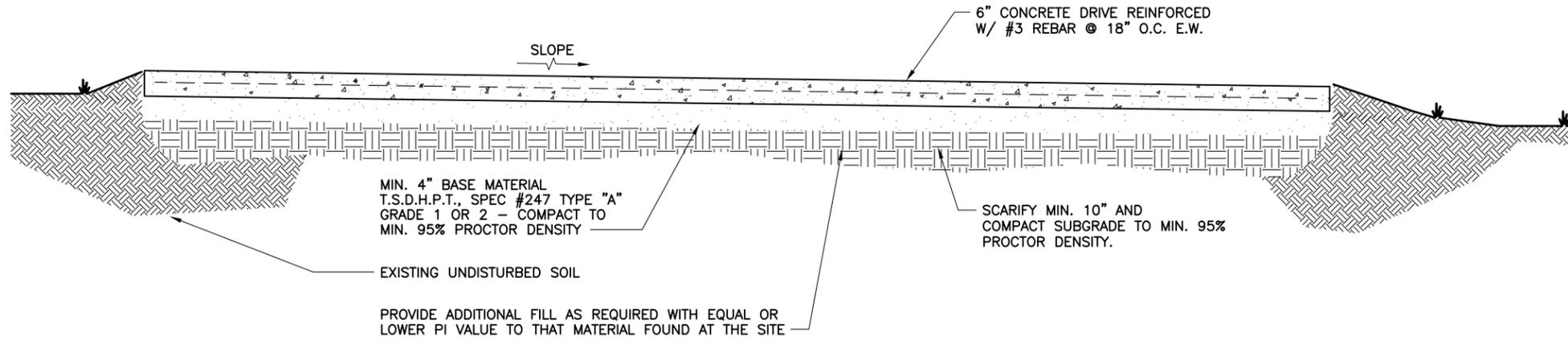
SHEET TITLE
METER FRAME DETAILS

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

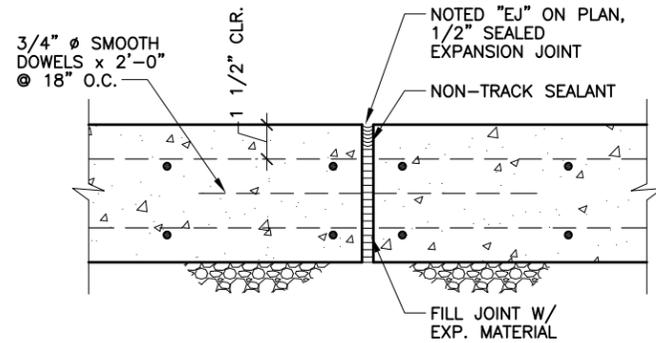
D3

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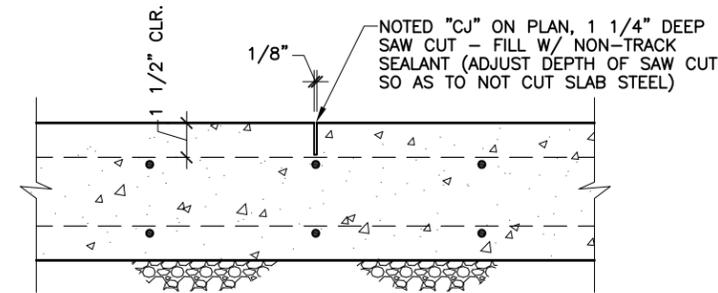
H:\ARCHCOMM LLC\VERIZON\SOUTH TEXAS\Scott and White\A-New Build - Rawland\Scott and White-ROAD SECTIONS.dwg, 7/1/2013 9:25:13 AM, mvicana



1 ROAD SECTION
SCALE: 1/2" = 1'-0"



2 TYPICAL EXPANSION JOINT AT 45' O.C. MAX.
SCALE: 1 1/2" = 1'-0"



3 CONTROL JOINT AT 15' O.C. MAX.
SCALE: 1 1/2" = 1'-0"



SCOTT AND WHITE

2615 S. 37TH ST
TEMPLE, TEXAS, 76504
(261411)

APPROVAL SIGNATURES
LANDLORD
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CONSTRUCTION

DATE: 07.01.13



EXP. DATE: 06/30/14

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1006 Beckett
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SHEET TITLE
ROAD SECTION & DETAILS

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

D4

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2615 S. 37TH ST
TEMPLE, TEXAS, 76504
(261411)

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LANDLORD

LEASING

CONSTRUCTION

DATE: 07.01.13



EXP. DATE: 06/30/14



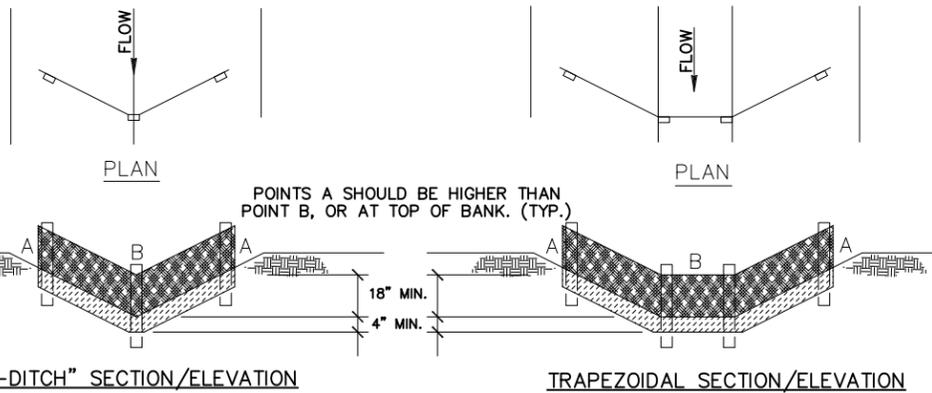
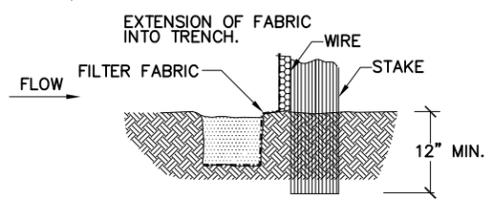
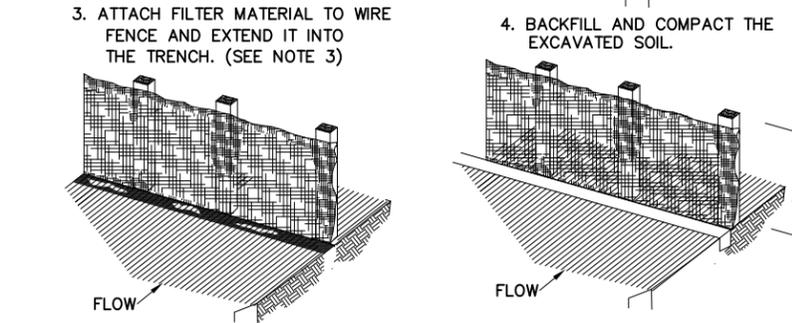
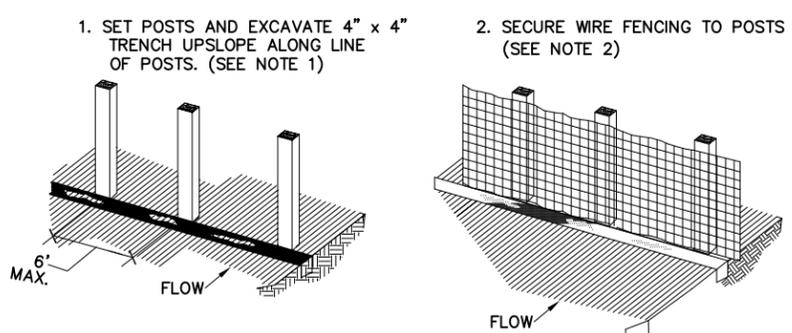
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1006 Beckett
San Antonio, Texas 78213
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SHEET TITLE
EROSION CONTROL

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

D5

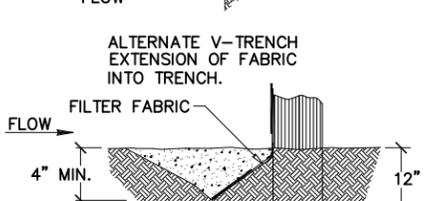
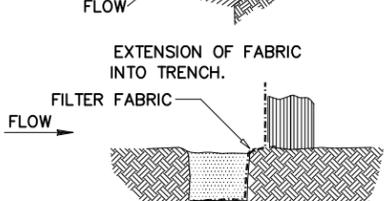
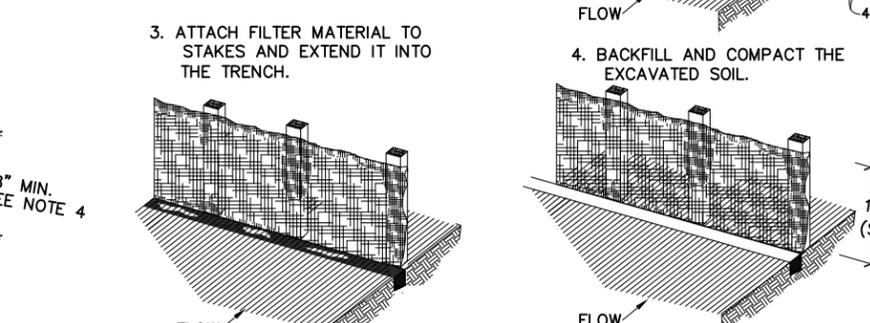
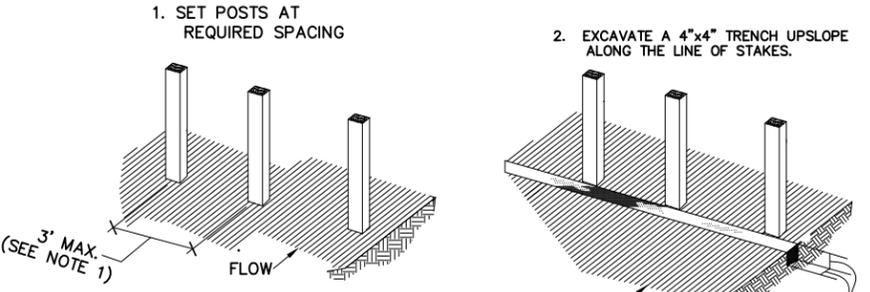
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CONSTRUCTION NOTES

1. SET 1 INCH BY 2 INCH WOODEN STAKES SPACED A MAXIMUM OF 6 FEET APART AND EMBEDDED A MINIMUM OF 12 INCHES.
2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES.
3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP AND MIDSECTION.
4. MINIMUM HEIGHT OF FILTER SHOULD BE 18 INCHES AND A MAXIMUM OF 36 INCHES ABOVE NATURAL GROUND.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 6 INCHES AT THE POSTS AND FOLDED.

1 REINFORCED FILTER FABRIC BARRIER
SCALE: N.T.S.

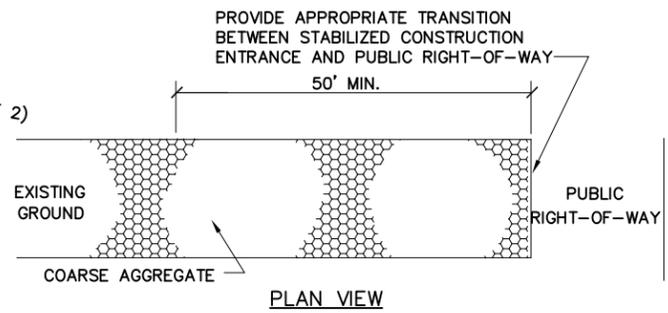
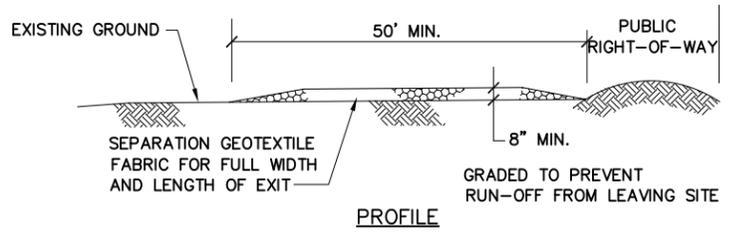


CONSTRUCTION NOTES

1. 1" THICK BY 2 INCH WOODEN STAKES TO BE SET AT MAXIMUM SPACING OF 3 FEET AND EMBEDDED A MINIMUM OF 8 INCHES. PREASSEMBLED FENCE WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 8 FEET MANIMUM.
2. ATTACH FILTER FABRIC TO WOODEN STAKES. FILTER FABRIC FENCE SHALL HAVE A MINIMUM HEIGHT OF 18 INCHES AND MANIMUM HEIGHT OF 36 INCHES ABOVE ANTURAL GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE POSTS AND FOLDED.

2 FILTER FABRIC FENCE
SCALE: N.T.S.

NOTE: CONTRACTOR SHALL UTILIZE THESE DETAILS AS APPROPRIATE TO THE INDIVIDUAL PROJECT

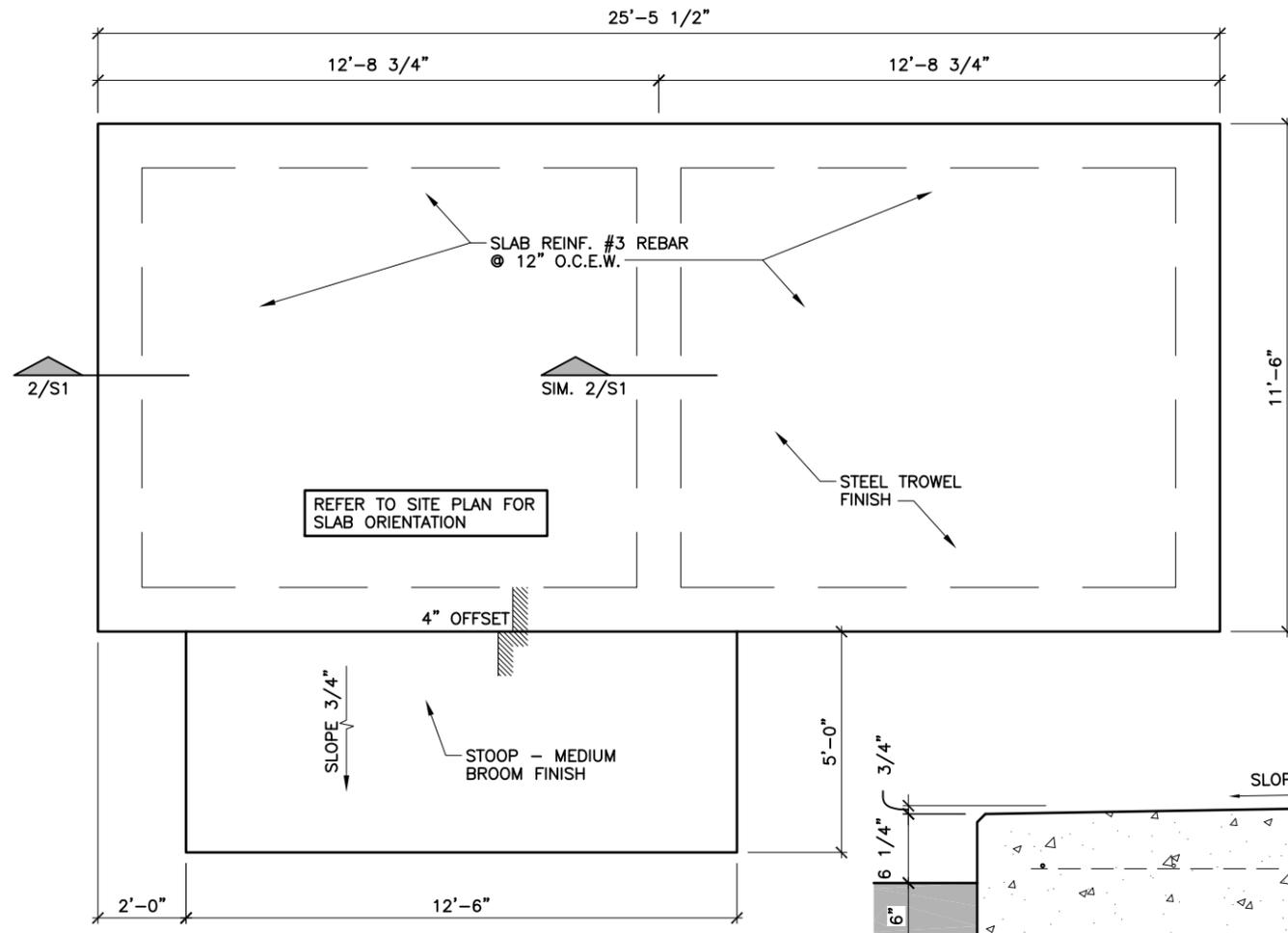


CONSTRUCTION NOTES

1. LENGTH SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWINGS, BUT NOT LESS THAN 50 FEET.
2. THICKNESS SHALL BE NOT LESS THAN 6 INCHES.
3. WIDTH SHALL BE NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
4. STABILIZATION FOR OTHER AREAS SHALL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS.
5. STABILIZED AREA MAY BE WIDENED OR LENGTHENED TO ACCOMMODATE A TRUCK WASHING AREA. AN OUTLET SEDIMENT TRAP MUST BE PROVIDED FOR THE TRUCK WASHING AREA.

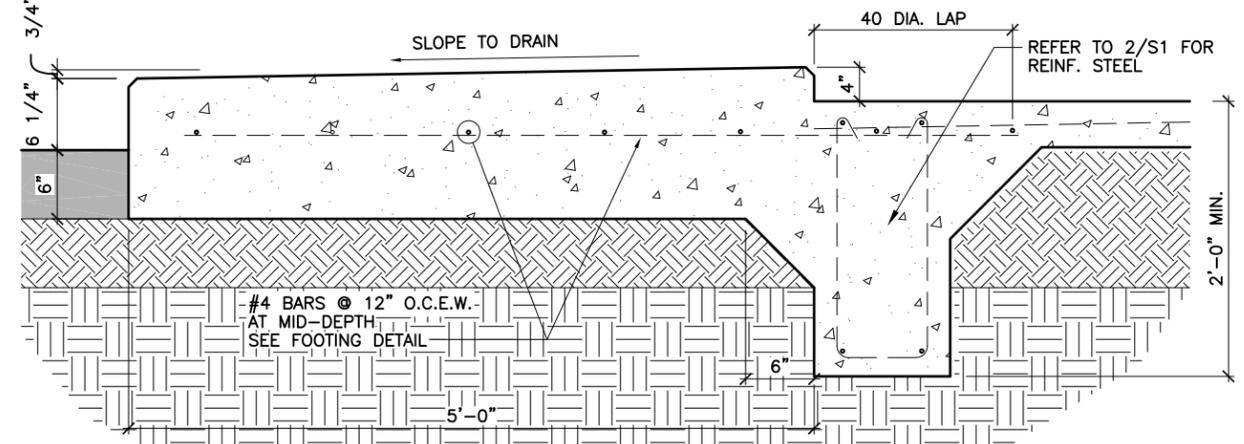
3 STABILIZED CONSTRUCTION EXIT
SCALE: N.T.S.

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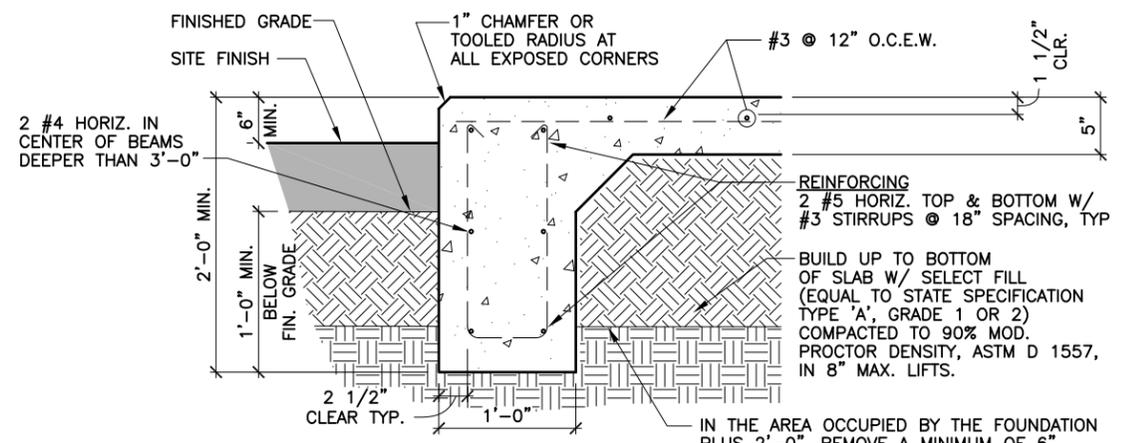


1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

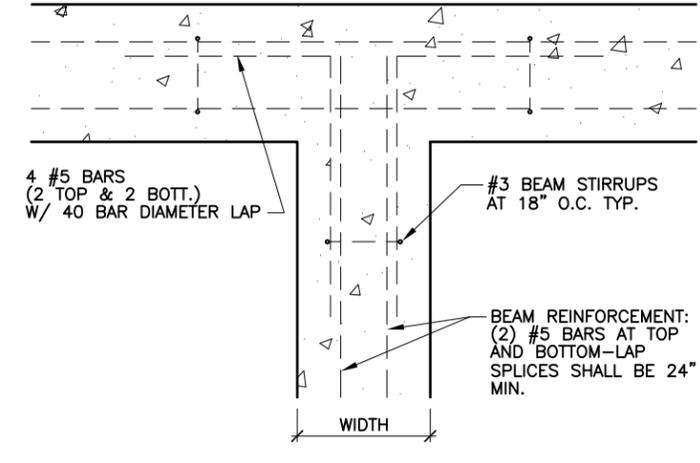
- CONCRETE AND REINFORCING STEEL NOTES:**
1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. REPLACE 20% CEMENT CONTENT BY WEIGHT WITH FLYASH. ASTM C-618
 3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED. SPLICES SHALL BE CLASS 'B' AND ALL HOOKS SHALL BE STANDARD. ALL UNLESS NOTED OTHERWISE.
 4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 CONCRETE CAST AGAINST EARTH 3 IN.
 CONCRETE EXPOSED TO EARTH OR WEATHER:
 #6 AND LARGER 2 IN.
 #5 AND SMALLER & WWF
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 SLAB ON GRADE 1 1/2" FROM TOP
 5. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE. IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
 6. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.
 7. FOUNDATION DESIGN IS BASED ON SOIL WITH 2000 PSF BEARING CAPACITY. IF EXISTING SOIL DOES NOT HAVE A MINIMUM 2000 PSF BEARING CAPACITY, CONTRACTOR SHALL EXTEND PERIMETER BEAM TO REACH SOIL WITH MINIMUM 2000 PSF BEARING CAPACITY.



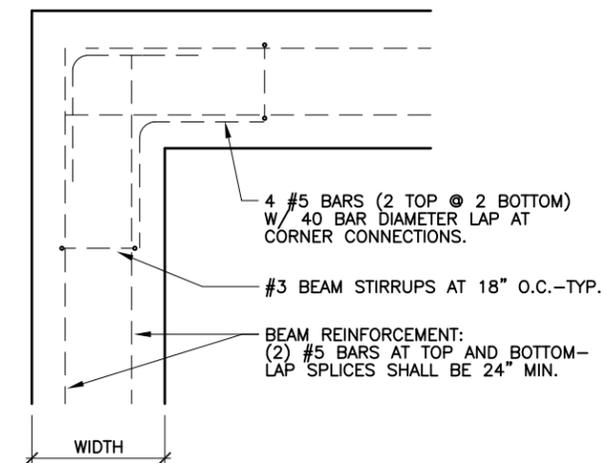
3 STOOP DETAIL
SCALE: 3/4" = 1'-0"



2 FOOTING DETAIL
SCALE: 3/4" = 1'-0"



5 TEE DETAIL
SCALE: 3/4" = 1'-0"



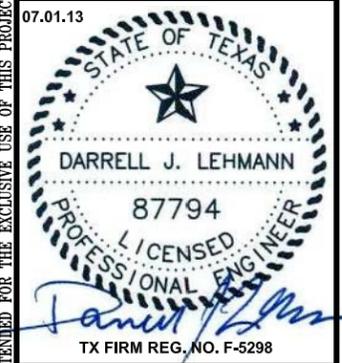
4 CORNER DETAIL
SCALE: 3/4" = 1'-0"



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SHEET TITLE
FOUNDATION PLAN & DETAILS

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

S1

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GENERAL NOTES:

GN-1 THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (2012) AS AMENDED, AND APPLICABLE INDUSTRY STANDARDS (AISC, ACI, ETC.).

GN-2 DESIGN CRITERIA:

DEAD LOADS – THE WEIGHT OF THE MATERIALS FORMING THE PERMANENT PART OF THE STRUCTURE. A SUPERIMPOSED DEAD LOAD OF 5 PSF HAS BEEN APPLIED FOR MECHANICAL DUCTS, CONDUITS, CEILING, ETC.

WIND LOADS – PER IBC SECTION 1609
 ULTIMATE DESIGN WIND SPEED (3 SECOND GUST), V-ult 115 MPH
 NOMINAL DESIGN WIND SPEED, V-bsd 89 MPH
 EXPOSURE CATEGORY C
 RISK CATEGORY II

GN-3 THE STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. CONTRACTOR SHALL CONSIDER ALL LOADS APPLIED TO THE PARTIALLY COMPLETED STRUCTURE AND PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS ARE MADE. ANY PROPOSED APPLICATION OF CONSTRUCTION LOADS WHICH EXCEED THE DESIGN LOADS WILL REQUIRE REANALYSIS AND PROBABLE REDESIGN.

GN-4 PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND FABRICATOR SHALL VERIFY ALL QUANTITIES, DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

GN-5 VERIFY REQUIREMENTS OF OTHER TRADES PRIOR TO PROCEEDING WITH FABRICATION OR INSTALLATION OF MATERIALS.

GN-6 UTILITIES PENETRATING BUILDING SHALL BE STRUCTURE, USING SLEEVE JOINTS, BENDS, LOOPS, ETC. TO PERMIT MOVEMENTS DUE TO EXPANSIVE UNDERLYING SOILS.

GN-7 THE ENGINEER SHALL NOT HAVE CONTROL OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

GN-8 ASSUMPTIONS HAVE BEEN MADE BY THIS OFFICE REGARDING EXISTING CONDITIONS. ACTUAL CONDITIONS MAY VARY FROM THOSE ASSUMED. THE CONTRACTOR IS TO REPORT ANY SUCH DISCREPANCIES TO THE ENGINEER FOR POSSIBLE MODIFICATIONS NEEDED TO THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH FURTHER WORK.

CONCRETE NOTES:

CN-1 ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE BUILDINGS" AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."

CN-2 CONSTRUCTION TOLERANCES SHALL CONFORM TO ACI 117 "STANDARD TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS."

CN-3 CONTRACTOR SHALL DESIGN, CONSTRUCT, ERECT, SHORE, BRACE AND MAINTAIN FORM WORK ACCORDING TO ACI 301. WOOD FORM WORK SHALL BE #2 COMMON OR BETTER PLYWOOD, EXPOSED SURFACES SHALL BE NEW OR LIKE NEW MOISTURE RESISTANT FIR FORM PLYWOOD. LIGHTLY COAT FORMS WITH NON-STAINING FORM OIL, REMOVE SURPLUS OIL. FORM EXPOSED FACES 6" MINIMUM BELOW FINISH GRADE.

CN-4 REINFORCING STEEL SHALL BE DOMESTIC NEW BILLET STEEL CONFORMING TO ASTM A615 GRADE 60, EXCEPT TIES AND STIRRUPS MAY BE GRADE 40. BARS DESIGNATED AS CONTINUOUS SHALL BE LAPPED 40 BAR DIAMETERS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED 8" MINIMUM AT SPLICE POINTS OR 1 1/2 MESHES, WHICHEVER IS GREATER.

CN-5 PORTLAND CEMENT SHALL COMPLY WITH ASTM C-150, TYPE 1. FLY ASH SHALL CONFORM TO ASTM C-618. NORMAL WEIGHT AGGREGATE SHALL COMPLY WITH ASTM C33. WATER SHALL BE POTABLE AND COMPLY WITH ASTM C94.

CN-6 CONCRETE SHALL BE NORMAL WEIGHT, LABORATORY DESIGNED TO DEVELOP MINIMUM SPECIFIED 28 DAY COMPRESSIVE STRENGTH AND PROPORTIONED AS FOLLOWS:

SLAB ON GRADE: 3000 PSI, 5 SACKS OF CEMENT PER CUBIC YARD, 1 1/2" MAXIMUM AGGREGATE, MAXIMUM SLUMP OF 5".

FLY ASH IS LIMITED TO A MAXIMUM 20% CEMENT REPLACEMENT BY WEIGHT.

CN-7 ALL REINFORCING STEEL SHALL BE FREE OF RUST, SCALE, AND DRIED CONCRETE, AND SHALL BE ACCURATELY BENT AND SECURELY TIED INTO POSITION TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. RAISING REINFORCEMENT DURING POUR WILL NOT BE PERMITTED.

CN-8 CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

- A. CONCRETE CAST AGAINST EARTH – 3"
- B. CONCRETE EXPOSED TO EARTH OR WEATHER:
 BARS 3/4" AND LARGER IN DIAMETER – 2 INCHES
 BARS SMALLER THAN 3/4" DIAMETER – 1 1/2"
- C. CONCRETE NOT EXPOSED TO WEATHER OR GROUND:
 SLAB ON GRADE – 1 1/2" FROM TOP OF SLAB

CN-9 SET AND BUILD ANCHORAGE AND OTHER EMBEDDED ITEMS INTO FORM WORK AS REQUIRED FOR OTHER WORK THAT IS ATTACHED TO OR SUPPORTED BY CONCRETE. COORDINATE WITH OTHER DISCIPLINES.

CN-10 CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94 "STANDARD SPECIFICATION FOR READY-MIXED CONCRETE."

CN-11 CONCRETE WHEN DEPOSITED SHALL HAVE A TEMPERATURE NOT BELOW 50°F OR ABOVE 90°F. APPROPRIATE MEASURES SHALL BE TAKEN TO MAINTAIN TEMPERATURE RANGE AND PREVENT WATER EVAPORATION FOR 5 DAYS AFTER PLACEMENT. SALT OR OTHER CHEMICALS SHALL NOT BE ADDED TO PREVENT FREEZING.

CN-12 CONCRETE SHALL BE CONVEYED TO AND DEPOSITED IN FORM WORK NEAR ITS FINAL POSITION, WITH A FREE VERTICAL DROP NOT EXCEEDING 3 FEET. PLACE CONCRETE IN 12 INCH MAXIMUM LAYERS AND COMPACT EACH LAYER BY MECHANICAL VIBRATING.

CN-13 SCREEDING, RE-STRAIGHTENING, AND FINISHING OPERATIONS SHALL COMPLY WITH ACI 302.1R. COORDINATE ALL FINISHES WITH ARCHITECTURAL DRAWINGS AND FLOOR FINISH REQUIREMENTS. CAREFULLY TOOL ALL EXPOSED EDGES.

CN-14 CURE CONCRETE FOR AT LEAST SEVEN DAYS BY MOISTURE CURING, SEALED MOISTURE RETAINING COVER CURING, OR A CLEAR WATERBOURNE CURING COMPOUND CONFORMING TO ASTM C309.

CN-15 SIDE FORMS MAY BE REMOVED AFTER CUMULATIVE CURING AT NOT LESS THAN 50°F FOR 24 HOURS AFTER PLACING CONCRETE.

CN-16 PATCH HONEYCOMB, TIE HOLES, AND MINOR DEFECTS WITH ONE PART CEMENT AND TWO PARTS SAND IMMEDIATELY AFTER REMOVING FORMS.



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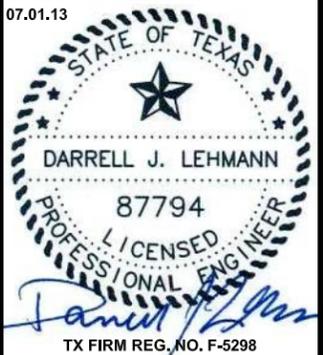
APPROVAL SIGNATURES

LANDLORD

LEASING

CONSTRUCTION

07.01.13



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 1006 Beckett
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 (210) 308-9905

SHEET TITLE
RETAINING WALL NOTES

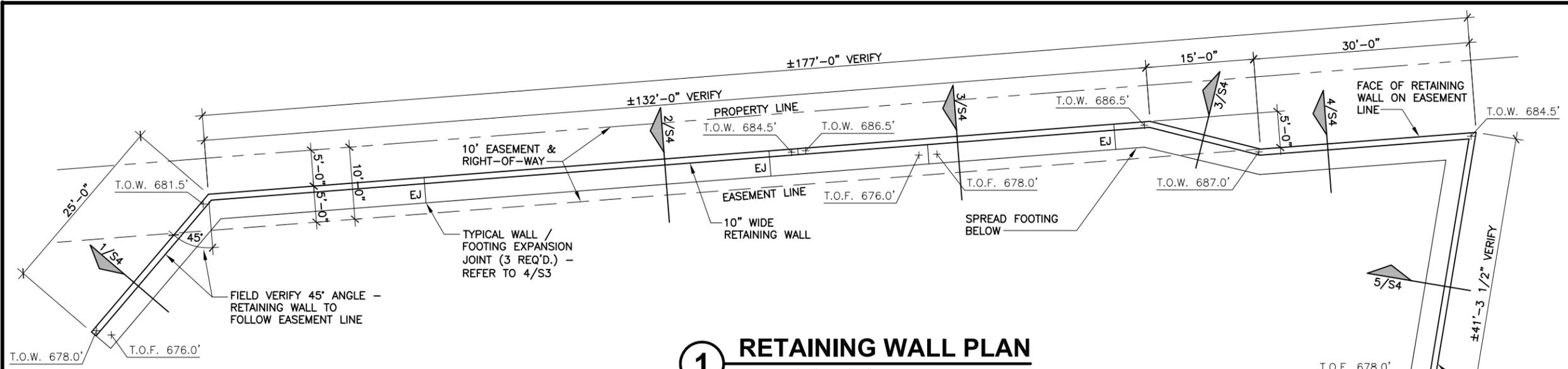
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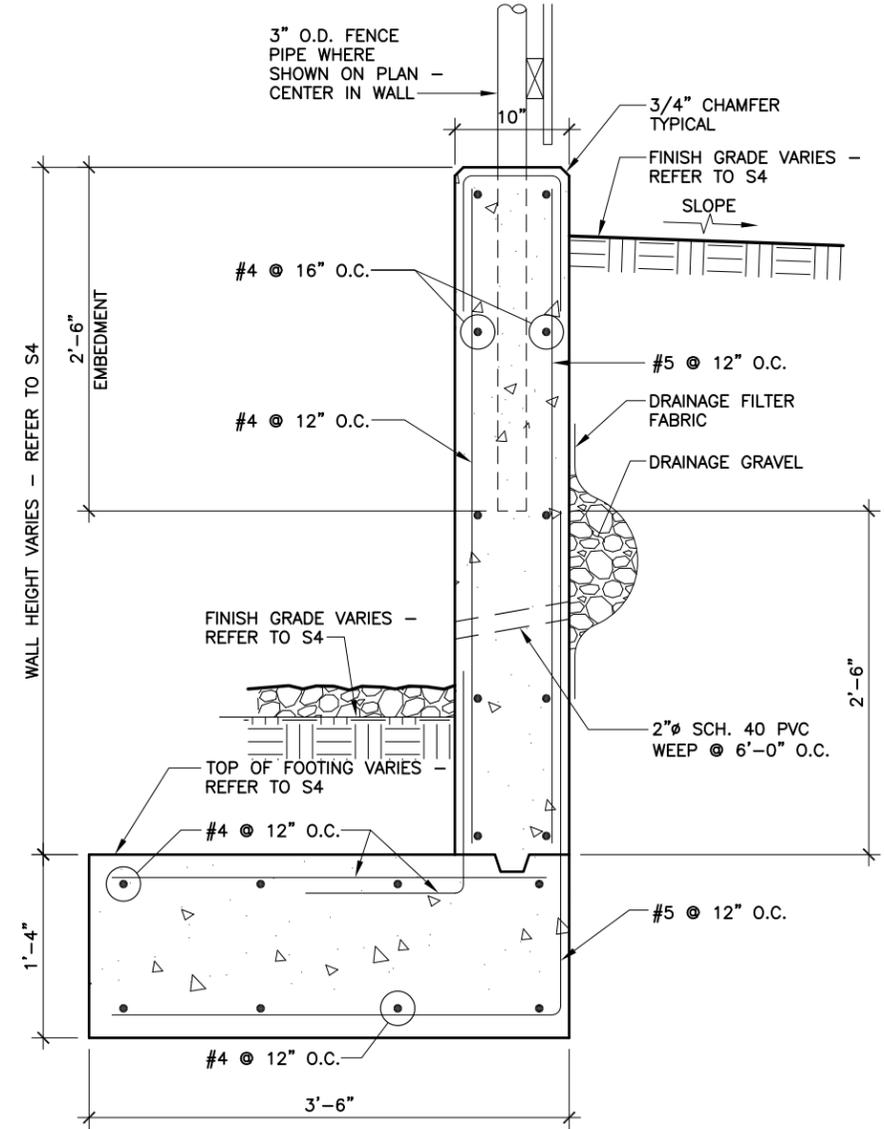
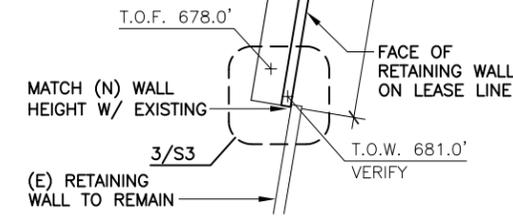
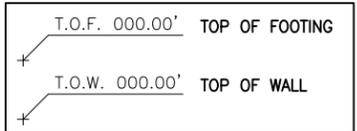
S2

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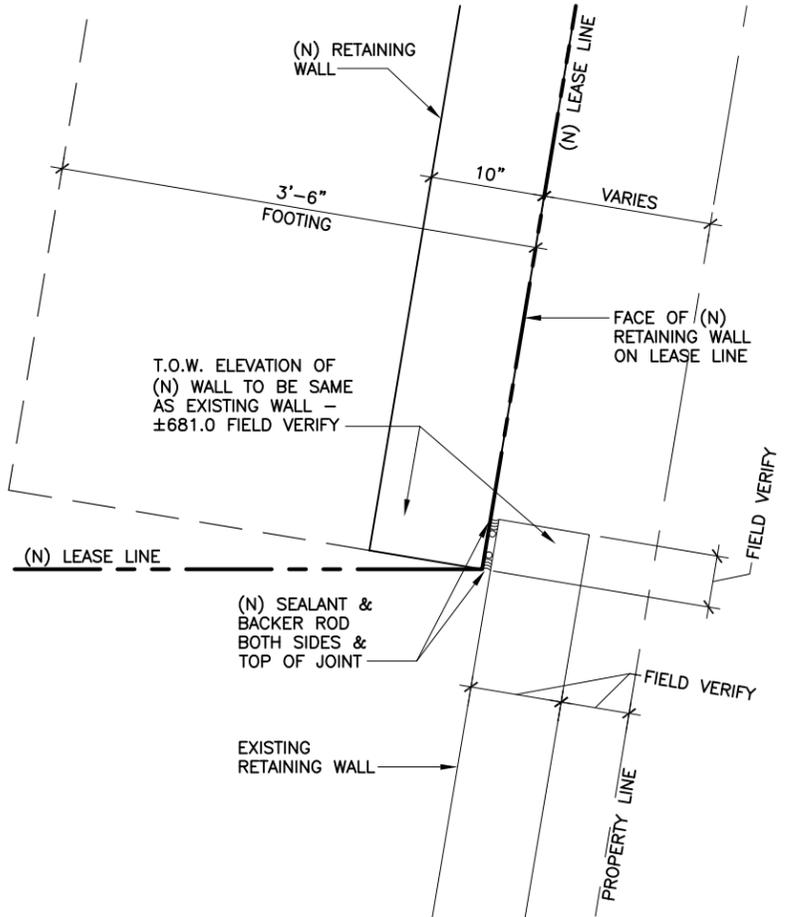
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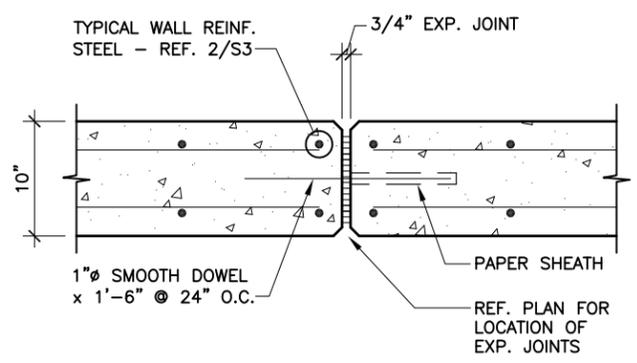
1 RETAINING WALL PLAN
SCALE: 1/16" = 1'-0"



2 TYPICAL REINF. STEEL DESIGN
SCALE: 3/4" = 1'-0"



3 RETAINING WALL CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



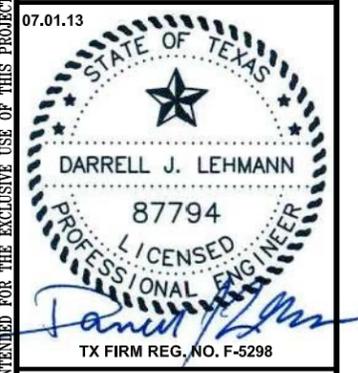
4 EXPANSION JOINT DETAIL
SCALE: 3/4" = 1'-0"



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RETAINING WALL PLAN & DETAILS

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S3

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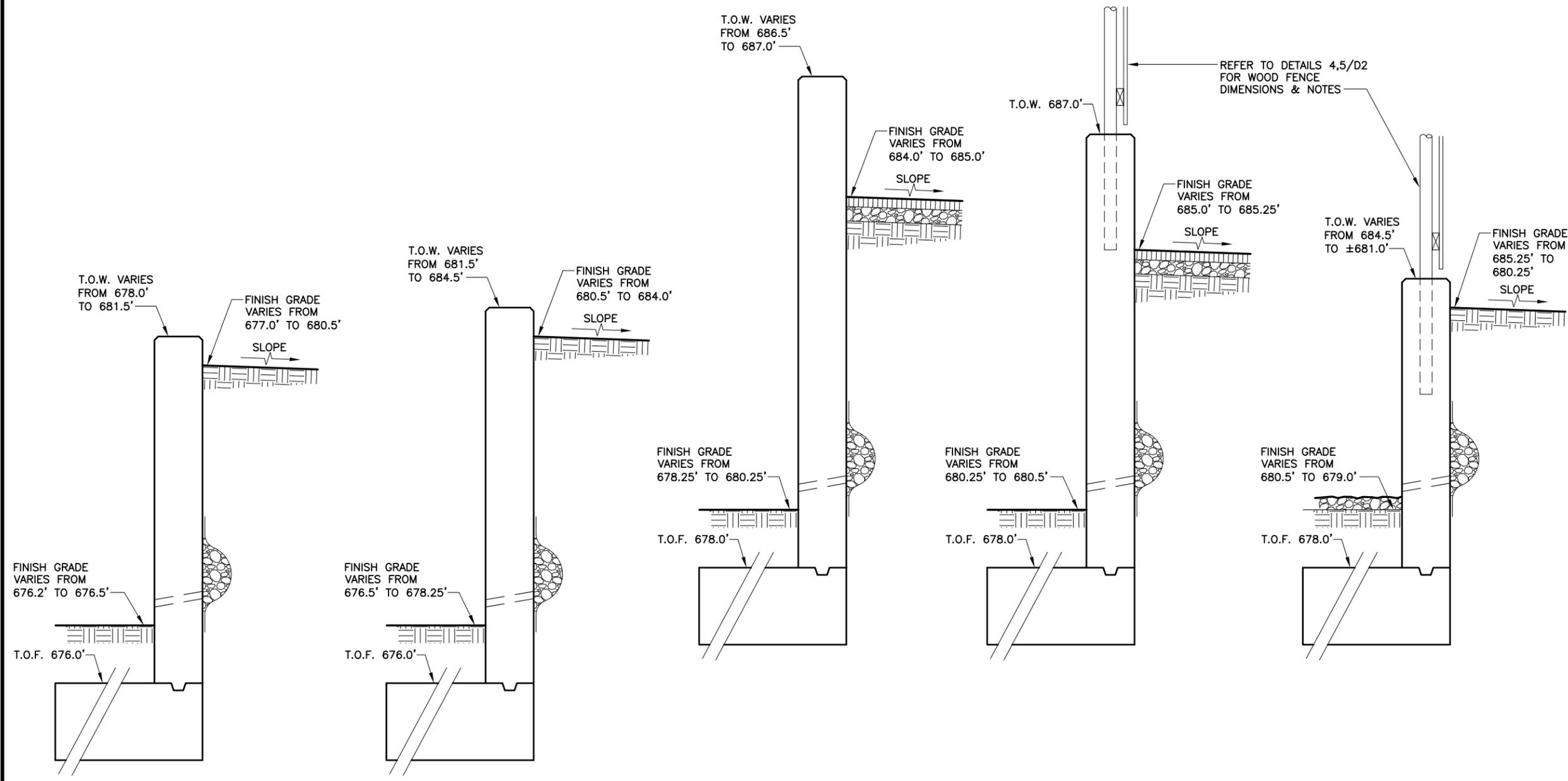
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SHEET TITLE
RETAINING WALL SECTIONS

SHEET HISTORY
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1 WALL SECTION
SCALE: 1/2" = 1'-0"

2 WALL SECTION
SCALE: 1/2" = 1'-0"

3 WALL SECTION
SCALE: 1/2" = 1'-0"

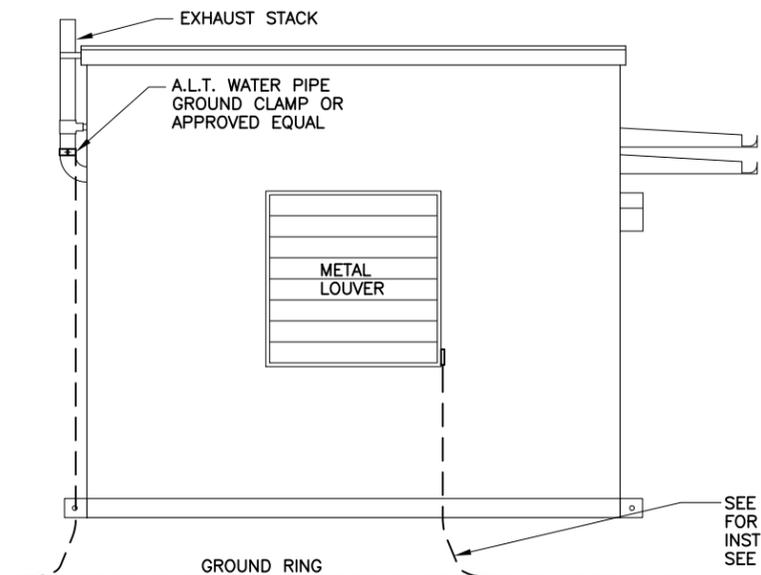
4 WALL SECTION
SCALE: 1/2" = 1'-0"

5 WALL SECTION
SCALE: 1/2" = 1'-0"

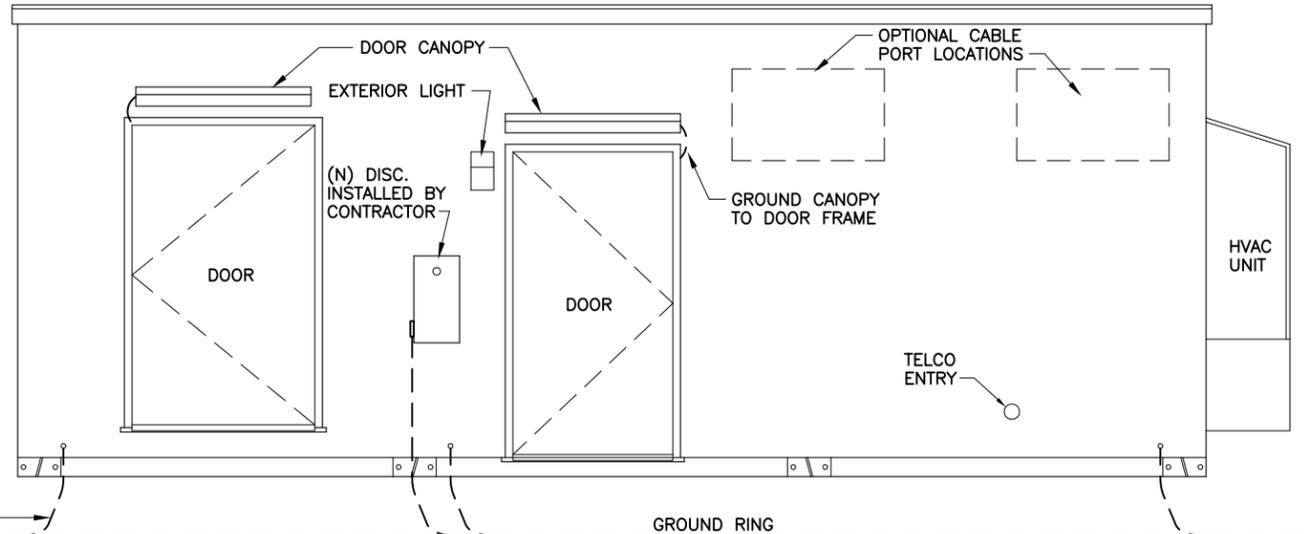
NOTE: ALL RETAINING WALL SECTIONS REFER TO DETAIL 2/S3 FOR REINFORCING STEEL AND DIMENSIONS.

T.O.F. = TOP OF FOOTING
T.O.W. = TOP OF WALL
F.G. = FINISH GRADE

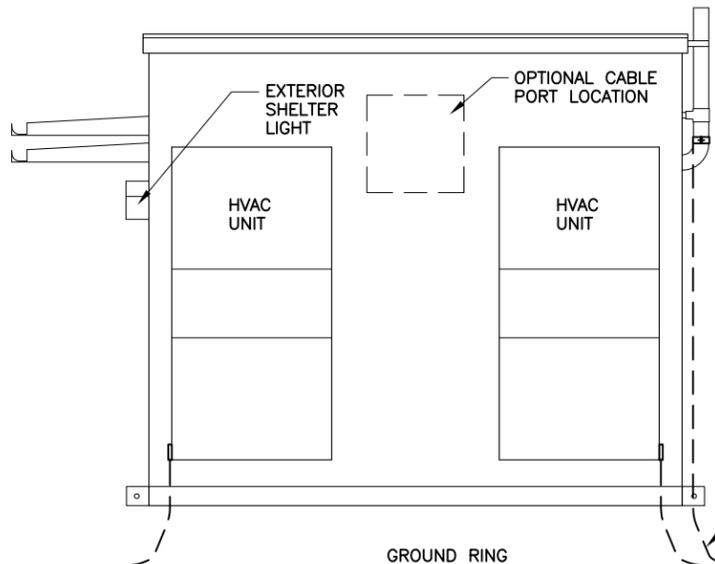
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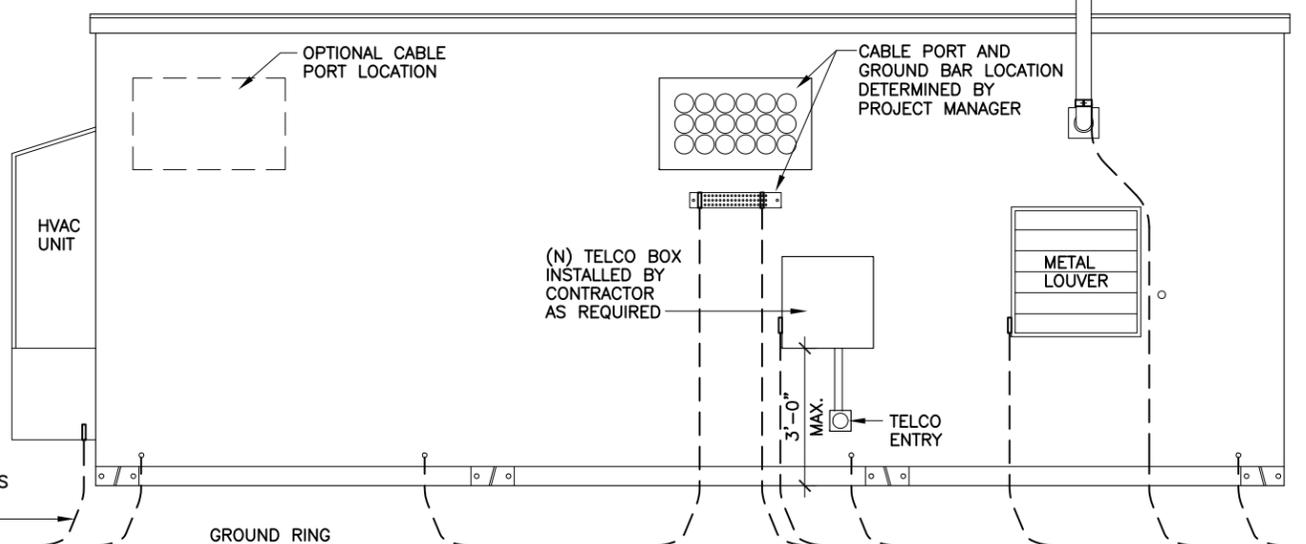
1 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



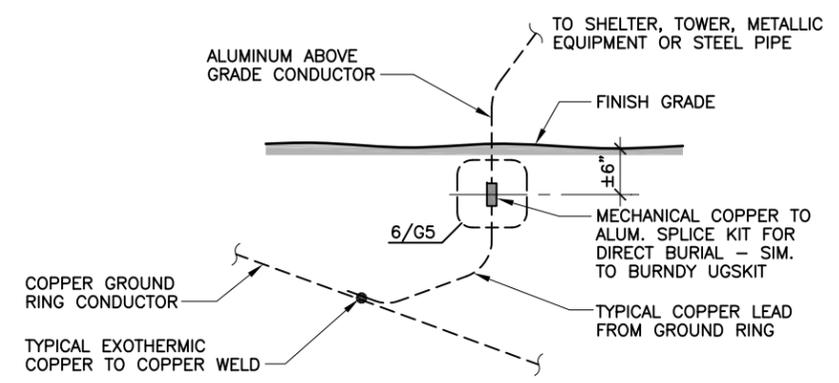
3 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

ALL GROUNDS TO EXTERIOR OF SHELTER, A/C UNITS, GROUND BARS, UTILITY BOXES, CABLE PORT AND GROUND BAR SHALL BE TWO LUG MECHANICAL CONNECTION OR AS APPROVED BY PROJECT MANAGER.

NOTE: ALL GROUNDING LEADS FROM THE GROUND RING UP TO THE TOWER, SHELTER, GROUND BARS, ETC. THAT EXTEND MORE THAN 18" ABOVE THE FINISH GRADE SHALL HAVE A COPPER TO ALUMINUM SPLICE RATED FOR DIRECT BURIAL. GROUND LEADS MADE TO POST, (I.E., FENCE, CABLE BRIDGE, ETC.) WHERE COPPER TO STEEL EXOTHERMIC WELDS ARE MADE DO NOT APPLY. REFER TO DETAILS 5/G3, 1/G4, 4/G4 & 5/G5.



5 TYPICAL GROUND LEAD FROM GROUND RING
SCALE: N.T.S. (REFER NOTE THIS SHEET)



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SHEET TITLE
SHELTER GROUNDING ELEVATIONS

SHEET HISTORY
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G2

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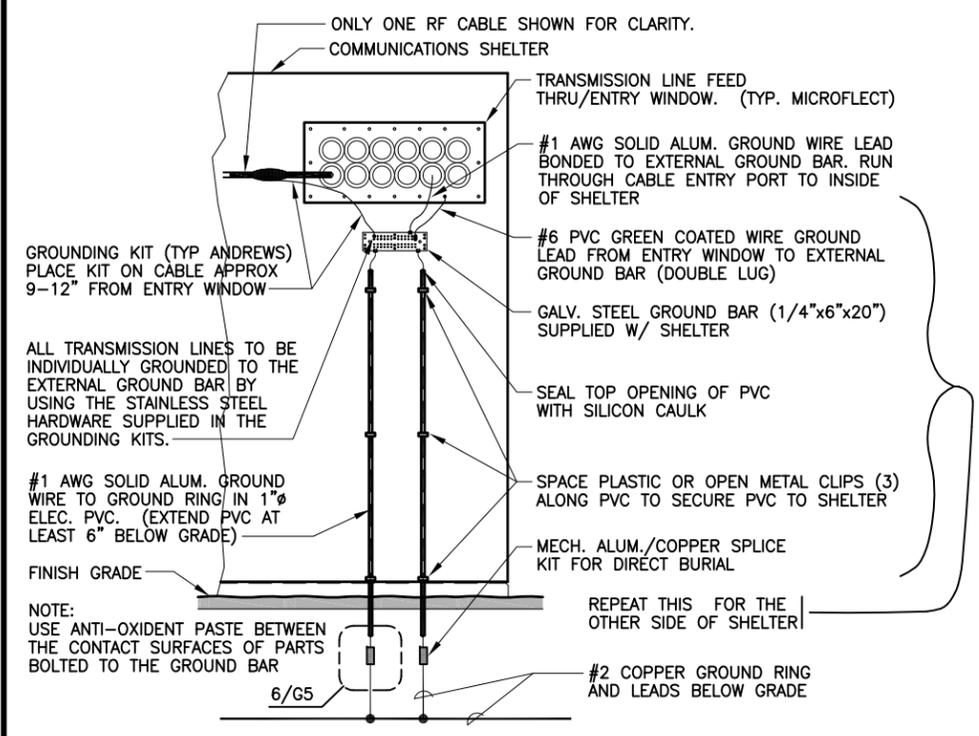
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SHEET TITLE
GROUNDING DETAILS

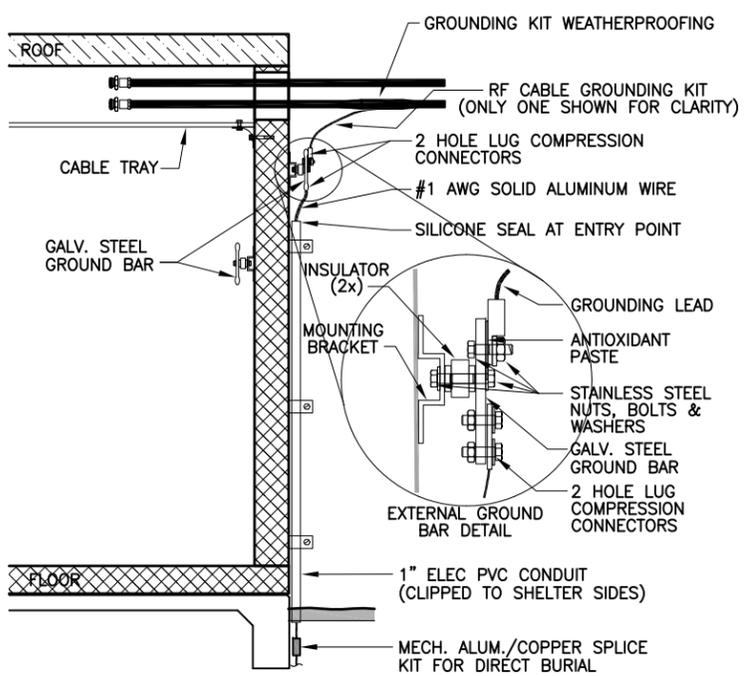
SHEET HISTORY
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G3

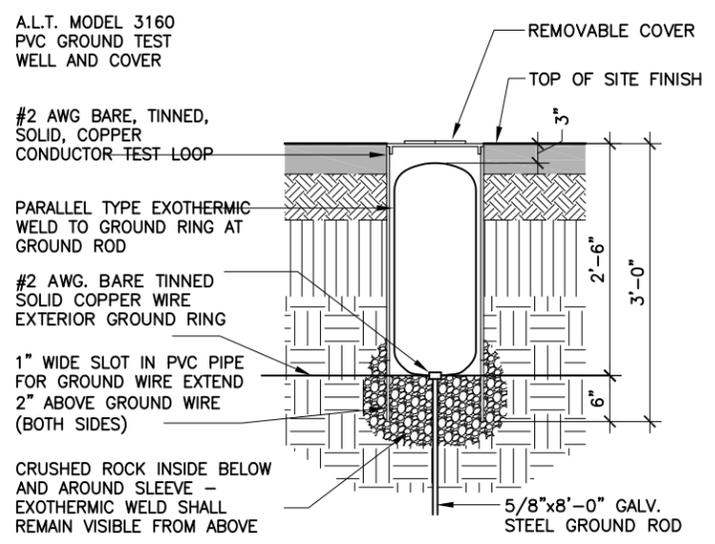
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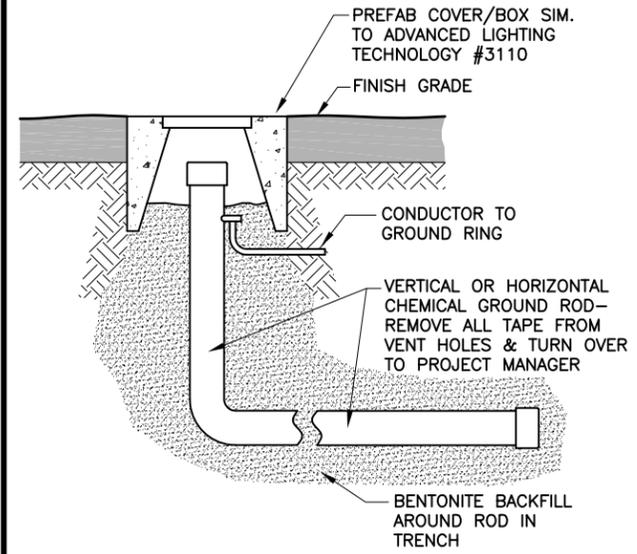
1 **EXTERNAL GROUND WINDOW**
SCALE: N.T.S.



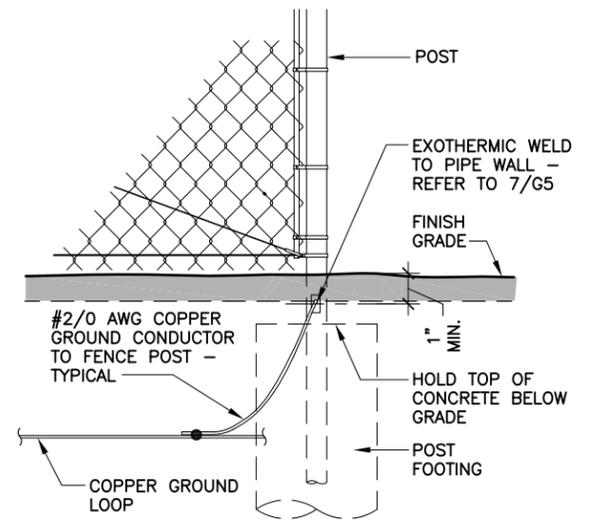
2 **BULKHEAD GROUNDING**
SCALE: N.T.S.



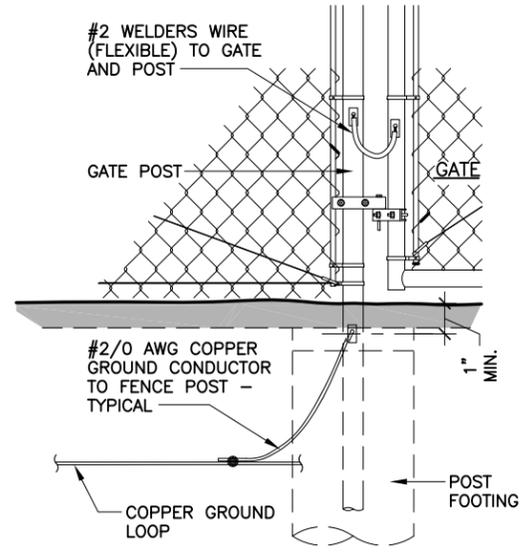
3 **GALVANIZED STEEL GROUND/ROD INSPECTION WELL**
SCALE: 1/2" = 1'-0"



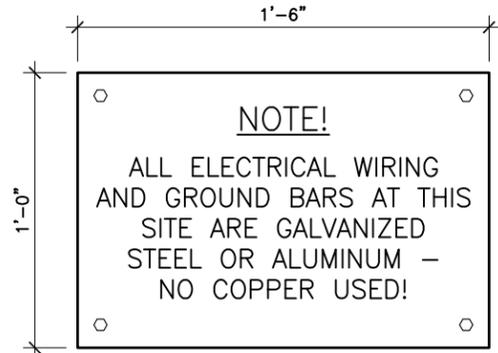
4 **CHEMICAL GROUND ROD/INSPECTION WELL**
SCALE: 3/4" = 1'-0"



5 **FENCE POST GROUNDING**
SCALE: 1" = 1'-0"

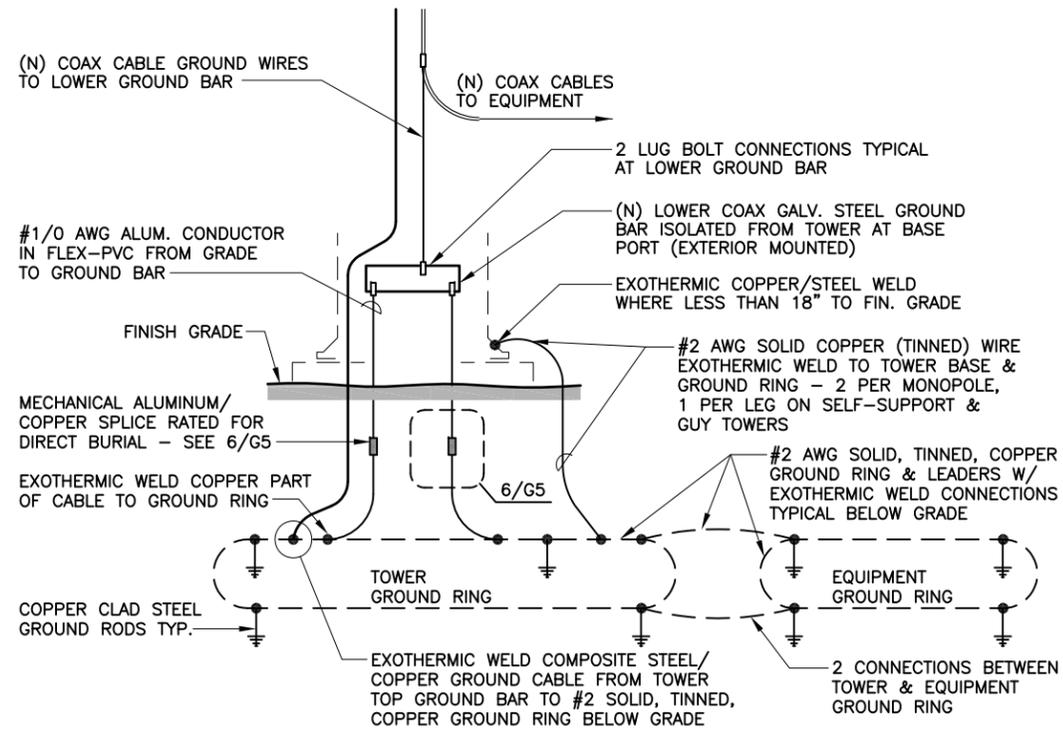
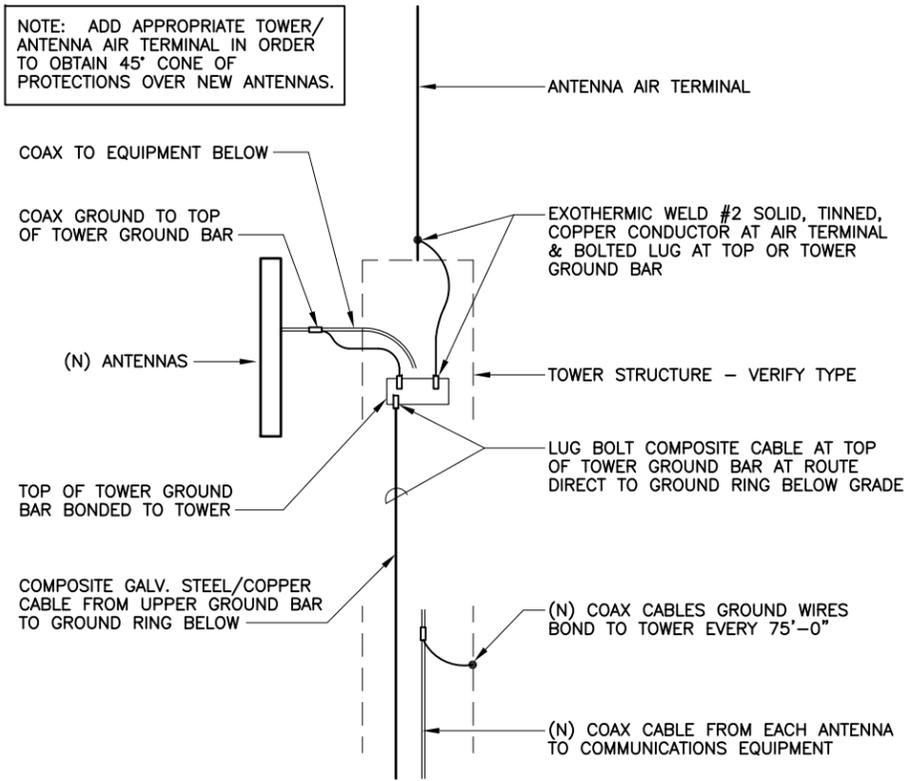


6 **GATE POST GROUNDING**
SCALE: 1" = 1'-0"



7 **SITE "GROUNDING" SIGN**
SCALE: 1 1/2" = 1'-0"

NOTE: ADD APPROPRIATE TOWER/
ANTENNA AIR TERMINAL IN ORDER
TO OBTAIN 45° CONE OF
PROTECTIONS OVER NEW ANTENNAS.

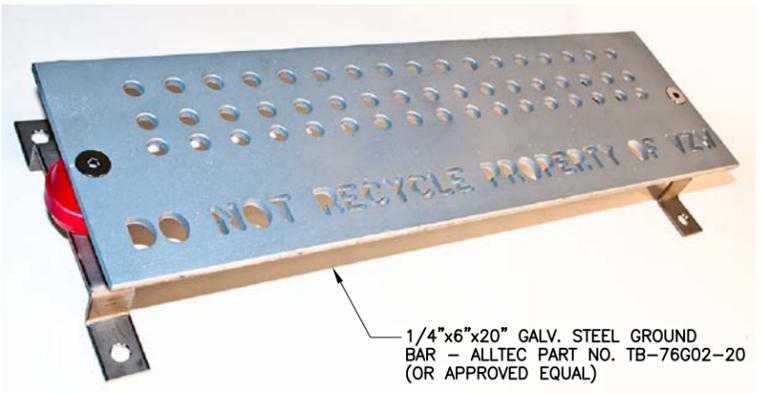


1 TOWER GROUNDING DIAGRAM
SCALE: NONE

1. IN SO FAR IS PRACTICAL AND TO AFFORD MAXIMUM PROTECTION TO THE SITE, ALL ELECTRICAL CONDUCTORS PROVIDING POWER TO AND THROUGHOUT THE SITE AND GROUND CONDUCTORS SHALL BE ALUMINUM. ALL GROUND BARS SHALL BE GALVANIZED STEEL. WHERE ACCESS IS SECURE (I.E., BURIED GROUND RINGS, LEADS, AND INSIDE SHELTERS & EQUIPMENT CABINETS, ETC.) COPPER MAY HAVE LIMITED USE.
2. ABOVE GRADE GROUNDING CONDUCTORS SHALL BE ALUMINUM AND GROUNDING CONDUCTORS INSTALLED BELOW GRADE SHALL REMAIN COPPER.
3. COPPER JOINTS, SPLICES OR CONNECTIONS SHALL BE AS INDICATED IN THE CONSTRUCTION DOCUMENTS. COPPER TO COPPER AND COPPER TO STEEL CONNECTIONS SHALL BE EXOTHERMIC WELD OR MECHANICAL AS DESIRED. ANY CONNECTIONS THAT ARE BELOW GRADE (I.E., GROUND RINGS, LEADS, ETC.) OR OTHERWISE NOT ACCESSIBLE SHALL BE EXOTHERMIC WELDS AS ARE PRACTICAL; HOWEVER, NO EXOTHERMIC WELDS SHALL BE MADE TO ANY GALVANIZED STEEL TOWER ELEMENT WHERE THE SIDE OPPOSITE THE WELD IS NOT ACCESSIBLE FOR INSPECTION (I.E., MONOPOLE, PIPE OR TUBE SECTIONS).
4. ALLUMINIUM-ASSOCIATED CONNECTIONS SHALL BE APPROPRIATELY RATED MECHANICAL CONNECTIONS. THE DISSIMILARITY OF ALUMINUM WITH COPPER AND STEEL MAKES THE USE OF EXOTHERMIC WELDS IMPRACTICAL WHERE ALUMINUM CONDUCTORS ARE CONCERNED.
5. ANY ALUMINUM CONDUCTORS LOCATED CLOSER THAN 18" TO GRADE SHALL BE PROTECTED BY WATERPROOF INSULATION. ANY ALUMINUM CONDUCTOR CONNECTIONS LOCATED CLOSER THAN 18" TO GRADE SHALL BE TREATED AS A WATERPROOF CONNECTION RATED FOR DIRECT BURIAL.

2 ELECTRICAL CONDUCTORS
SCALE: NONE

IMAGE WAS TAKEN FROM ALLTEC CORPORATION PRODUCT CATALOG



3 GALV. STEEL GROUND BAR
SCALE: NONE



Fig. 1 NOTE: SHRINK WRAP SECOND LAYER TO EXTEND MINIMUM OF 20\" ABOVE FINISH GRADE.

Fig. 2



Catalog Number	Figure Number	Wire Range	
		Maximum	Minimum
UGSKIT2*	1	2	8
UGSKIT250*	2	250	1

*UL486D Listed for Direct Burial

TYPE UGSKIT
**WATERTIGHT/
UNDERGROUND SPLICE KITS**

For all Aluminum or
Copper/Aluminum
Combinations

4 WATERTIGHT/UNDERGROUND SPLICE KIT
SCALE: N.T.S. BURNDY TYPE UGSKIT

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DATE: 07.01.13



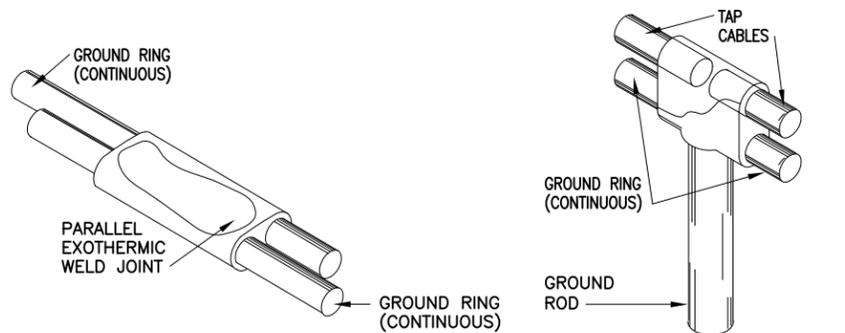
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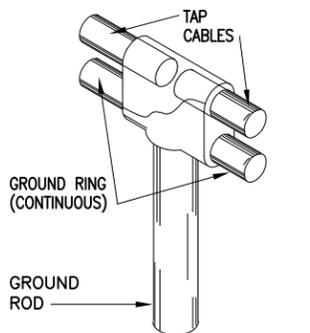
SHEET TITLE
**TOWER
GROUNDING DETAILS**

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

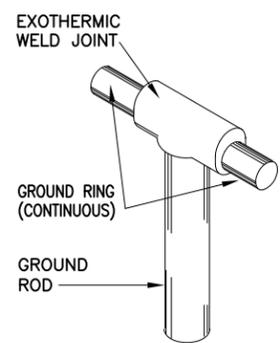
G4



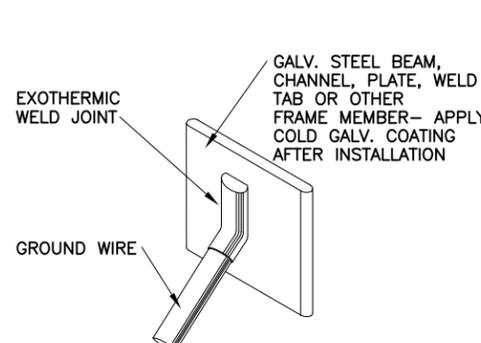
DETAIL-A
GROUND RING CONNECTION OR SPLICE



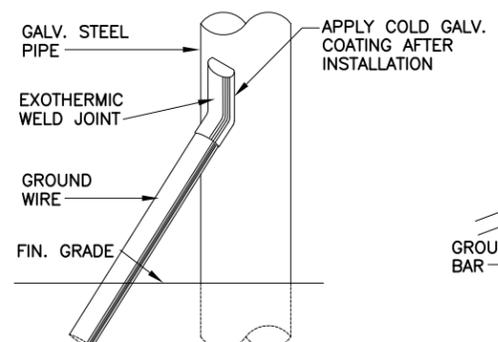
DETAIL-B
TEE OF HORIZONTAL RUN AND TWO TAP CABLES



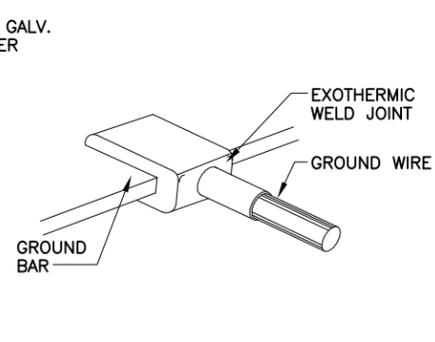
DETAIL-C
TEE OF HORIZONTAL RUN



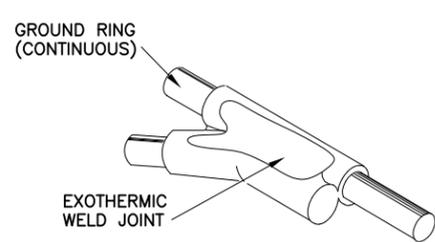
DETAIL-D
MISC. STEEL CONNECTION



DETAIL-E
PIPE CONNECTION



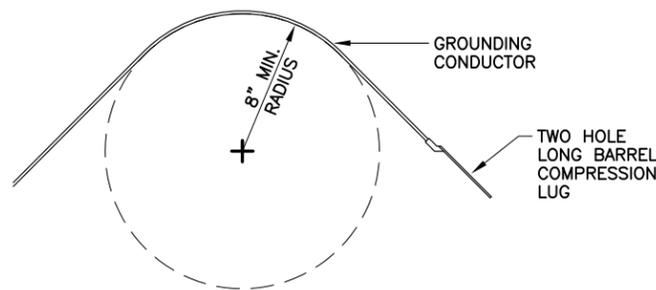
DETAIL-F
GROUND BAR CONNECTION



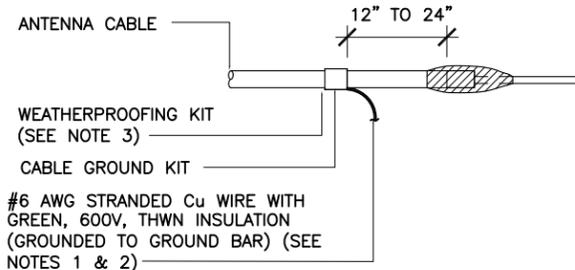
DETAIL-G
TAP CABLE TO GROUND RING

1 WELD CONNECTION DETAILS
SCALE: NONE

1. CLEAN SURFACES TO BE WELDED OF ALL PAINT, DIRT, MOISTURE, CORROSION AND OTHER FOREIGN MATTER.
2. MAKE APPROPRIATE WELDED CONNECTION (REFER TO DETAILS).- USE MANUFACTURER'S WRITTEN RECOMMENDATIONS.
3. IF WELDED MATERIALS HAVE A GALVANIZED FINISH. APPLY A PROTECTIVE COLD GALVANIZE COATING.

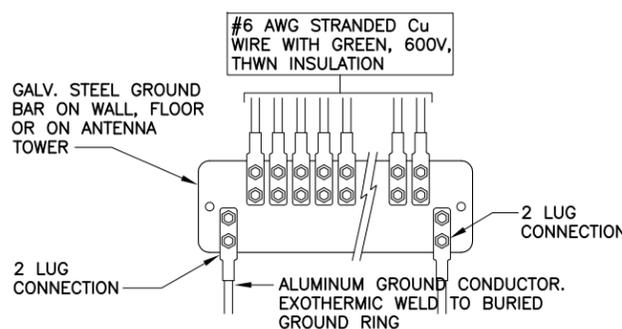


2 MINIMUM GROUNDING CONDUCTOR RADIUS
SCALE: N.T.S.

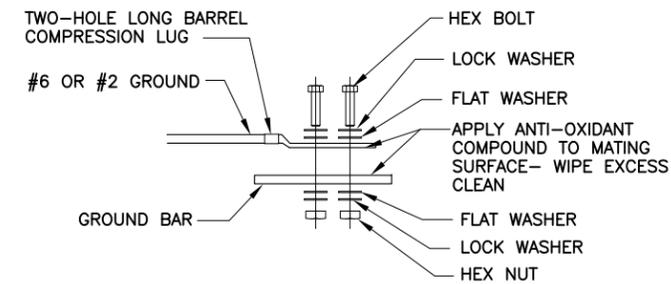


- NOTES:**
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
 3. WEATHER PROOFING SHALL BE (TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.)

3 CABLE GROUND KIT
SCALE: N.T.S.

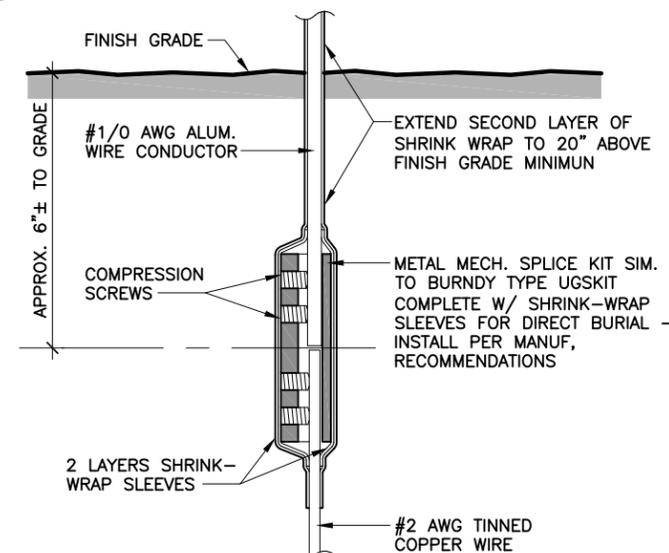


4 COAX CABLE GROUND BAR
SCALE: N.T.S.

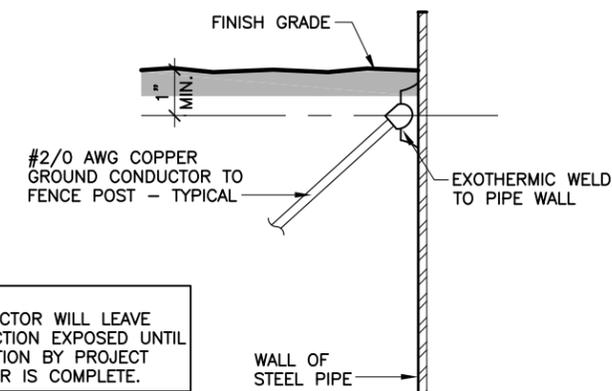


- INSTALLATION NOTES:**
- ALL BOLTS, WASHERS AND NUTS SHALL BE STAINLESS STEEL.
 - SELECT BOLT LENGTH TO PROVIDE A MINIMUM TO TWO EXPOSED THREADS.
 - BURNISH MOUNTING SURFACE TO REMOVE ALL FOREIGN RESIDUE IN THE AREA OF LUG CONTACT.
 - APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACES OF LUG AND WIPE CLEAN EXCESS COMPOUND.
 - USE 1/4" HARDWARE FOR ATTACHMENT TO METAL ENCLOSURES & 3/8" FOR ATTACHMENT TO GROUND BARS.

5 GROUND CONNECTION DETAIL
SCALE: N.T.S.



6 WATERTIGHT/UNDERGROUND SPLICE DETAIL
SCALE: N.T.S.



NOTE:
CONTRACTOR WILL LEAVE CONNECTION EXPOSED UNTIL INSPECTION BY PROJECT MANAGER IS COMPLETE.

7 CONNECTION AT POST DETAIL
SCALE: N.T.S.



SCOTT AND WHITE

2615 S. 37TH ST
TEMPLE, TEXAS, 76504
(261411)

APPROVAL SIGNATURES
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LEASING

CONSTRUCTION

DATE: 07.01.13



EXP. DATE: 06/30/14

ARCHCOMM, LLC.
1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

SHEET TITLE
CONNECTION DETAILS

SHEET HISTORY
07.01.13 ISSUE FOR CONSTRUCTION

G5

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APPROVAL SIGNATURES
LANDLORD
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FIRM REGISTRATION NO. F-6224



DATE: 06/28/2013

ARCHCOMM, LLC.
1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

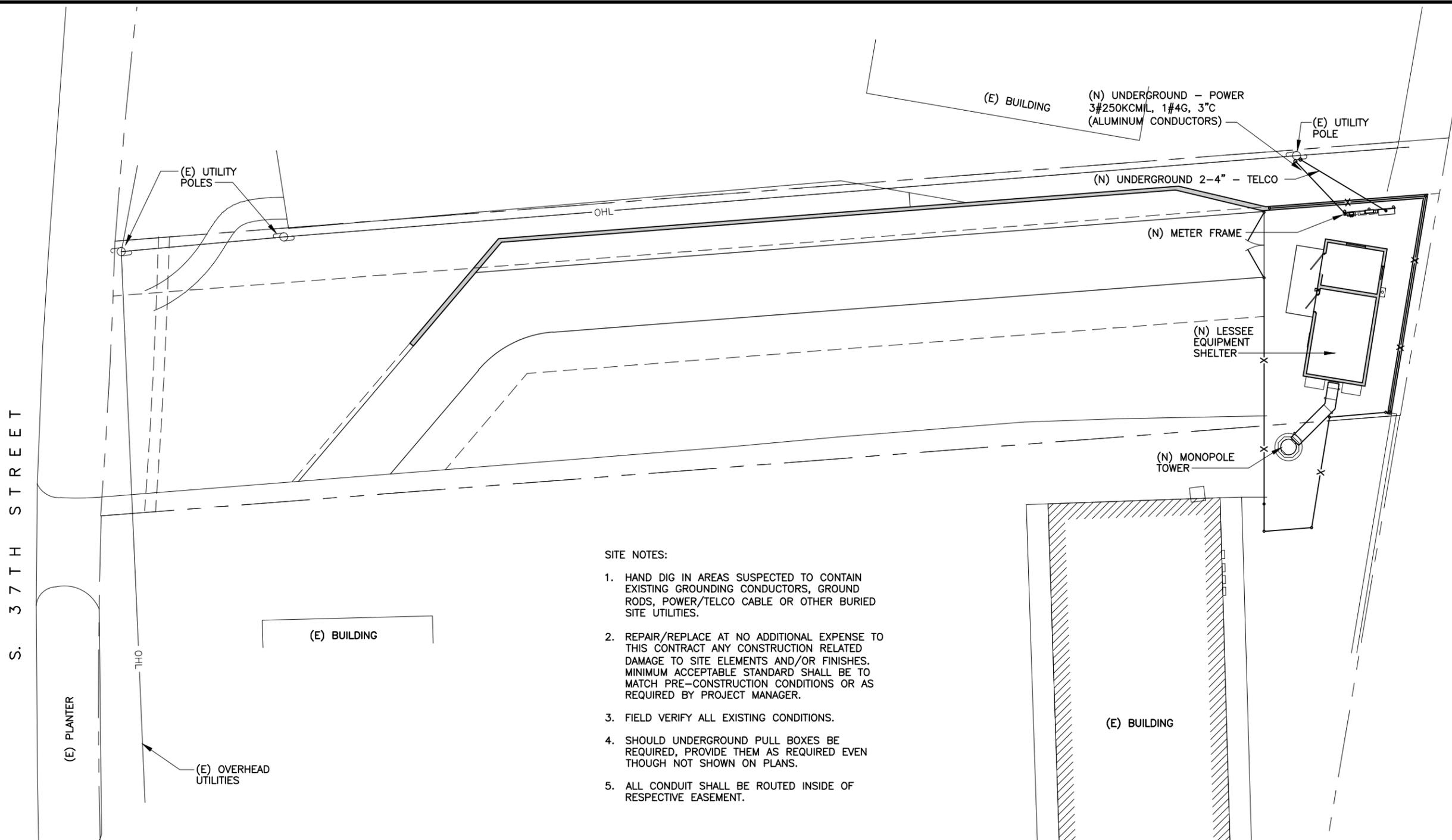
SHEET TITLE
SITE PLAN

SHEET HISTORY
06.10.13 ISSUE FOR CONSTRUCTION

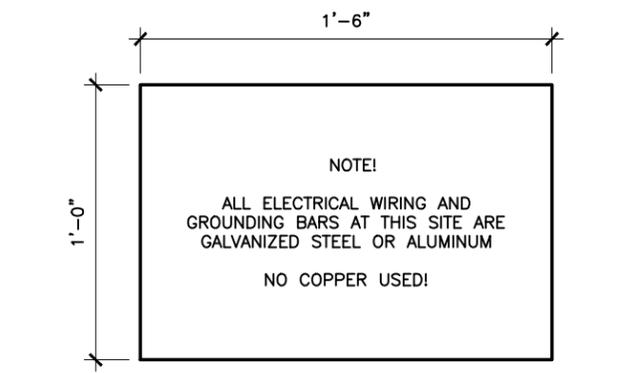
DATE: 06/28/2013

E1

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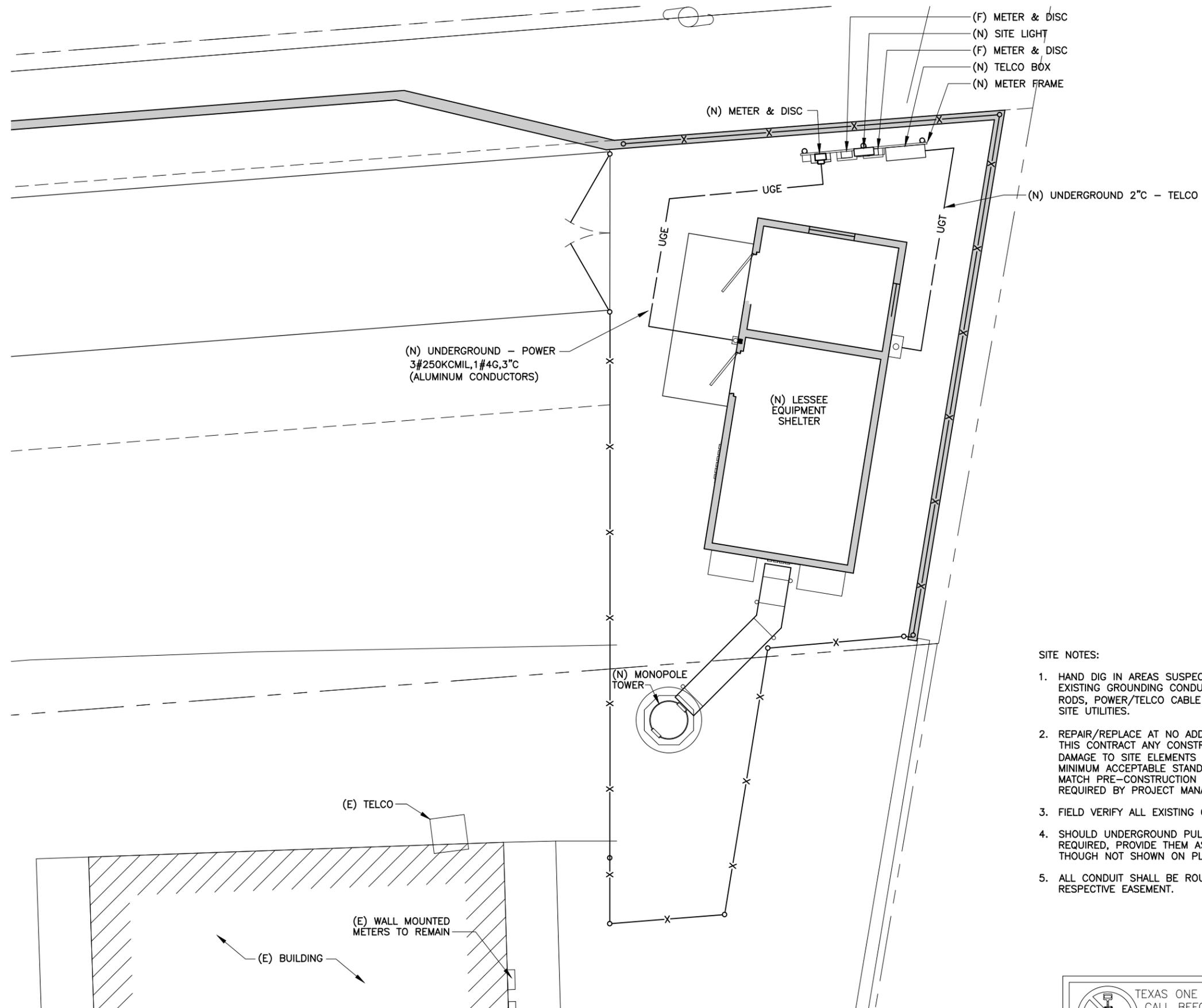
- SITE NOTES:
- HAND DIG IN AREAS SUSPECTED TO CONTAIN EXISTING GROUNDING CONDUCTORS, GROUND RODS, POWER/TELCO CABLE OR OTHER BURIED SITE UTILITIES.
 - REPAIR/REPLACE AT NO ADDITIONAL EXPENSE TO THIS CONTRACT ANY CONSTRUCTION RELATED DAMAGE TO SITE ELEMENTS AND/OR FINISHES. MINIMUM ACCEPTABLE STANDARD SHALL BE TO MATCH PRE-CONSTRUCTION CONDITIONS OR AS REQUIRED BY PROJECT MANAGER.
 - FIELD VERIFY ALL EXISTING CONDITIONS.
 - SHOULD UNDERGROUND PULL BOXES BE REQUIRED, PROVIDE THEM AS REQUIRED EVEN THOUGH NOT SHOWN ON PLANS.
 - ALL CONDUIT SHALL BE ROUTED INSIDE OF RESPECTIVE EASEMENT.



2 SITE "GROUNDING" SIGN
SCALE: 1-1/2" = 1'-0"

1 SITE PLAN
SCALE: 1" = 20'-0"
NORTH





1 **DETAIL SITE PLAN**
 SCALE: 1/8" = 1'-0"
 NORTH

SITE NOTES:

1. HAND DIG IN AREAS SUSPECTED TO CONTAIN EXISTING GROUNDING CONDUCTORS, GROUND RODS, POWER/TELCO CABLE OR OTHER BURIED SITE UTILITIES.
2. REPAIR/REPLACE AT NO ADDITIONAL EXPENSE TO THIS CONTRACT ANY CONSTRUCTION RELATED DAMAGE TO SITE ELEMENTS AND/OR FINISHES. MINIMUM ACCEPTABLE STANDARD SHALL BE TO MATCH PRE-CONSTRUCTION CONDITIONS OR AS REQUIRED BY PROJECT MANAGER.
3. FIELD VERIFY ALL EXISTING CONDITIONS.
4. SHOULD UNDERGROUND PULL BOXES BE REQUIRED, PROVIDE THEM AS REQUIRED EVEN THOUGH NOT SHOWN ON PLANS.
5. ALL CONDUIT SHALL BE ROUTED INSIDE OF RESPECTIVE EASEMENT.



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FIRM REGISTRATION NO. F-6224



JUNE 28, 2013

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SHEET TITLE
DETAIL SITE PLAN

SHEET HISTORY
 06.28.13 ISSUE FOR CONSTRUCTION

E2

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JUNE 28, 2013

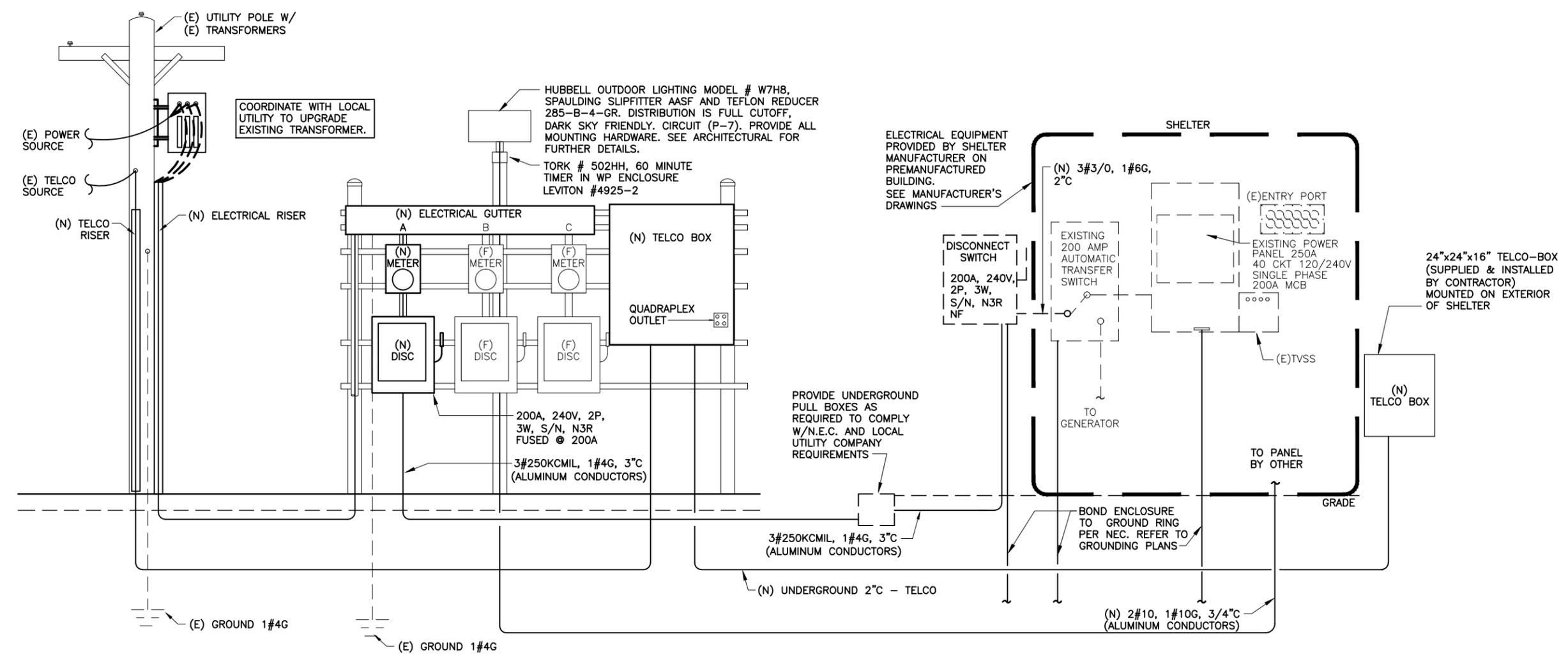
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SHEET TITLE
ELECTRICAL RISER

SHEET HISTORY
06.28.13 ISSUE FOR CONSTRUCTION

E3

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1 ELECTRICAL RISER
SCALE: NTS

ELECTRICAL LEGEND

- ELECTRICAL METER
- J-BOX/PULL BOX
- DUPLEX RECEPTACLE
- DISCONNECT, AMPS, FUSED OR NON-FUSED AS NOTED
- ATS AUTOMATIC TRANSFER SWITCH
- TVSS TRANSIENT VOLTAGE SURGE SUPPRESSOR
- UNDERGROUND CONDUIT
- ABOVE GROUND CONDUIT
- OHT OVERHEAD TELEPHONE
- OHE OVERHEAD ELECTRICAL
- UGE UNDERGROUND ELECTRICAL; SIZE AS SHOWN
- UGT UNDERGROUND TELEPHONE; SIZE AS SHOWN
- (N) NEW
- (E) EXISTING
- (F) FUTURE
- # KEYED NOTE - NUMBER AS NOTED

RELOCATED ELECTRICAL SERVICE - 1 TENANT

LOAD ANALYSIS	120/240V	2P	3W		
DESCRIPTION	KVA	DEMAND FACTOR	KVA	AMPS	WSA
TENANT "A" (N)	28.6	1.0	28.6		
FUTURE TENANT					
FUTURE TENANT					
FUTURE TENANT					
TOTAL	28.6		28.6	200	600

- GENERAL NOTES:
- ALL ELECTRICAL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL AND BUILDING CODES AND ALL OTHER CODES HAVING JURISDICTION.
 - ALL WIRE SHALL BE TYPE THWN COPPER, MINIMUM SIZE #12 AWG. EXCEPT CONTROL WIRING. ALUMINUM CONDUCTORS SHALL BE AA-8000 SERIES TYPE.
 - ELECTRICAL CONTRACTOR SHALL CONNECT GROUNDS FROM ELECTRICAL EQUIPMENT ON EXTERIOR OF SHELTER AND ON RACK TO EXTERNAL GROUND LOOP.
 - ELECTRICAL CONTRACTOR SHALL PAY FOR AND COORDINATE ELECTRICAL SERVICE UPGRADES WITH LOCAL UTILITY COMPANY.
 - CONTRACTOR SHALL FILL TRENCH EXCAVATIONS AS NOTED IN TRENCHING NOTES OF THESE DOCUMENTS.
 - STUB UP LOCATIONS FOR ELECTRICAL AND TELEPHONE SHALL BE COORDINATED WITH LESSEE AND SHELTER MANUFACTURER DRAWINGS.
 - CONTRACTOR SHALL PROVIDE ALL TEMPORARY POWER ON JOB SITE INCLUDING ENTRY CONDUCTORS, METER AND DISCONNECTS AS REQUIRED. IF POWER COMPANY TEMPORARY SERVICE IS NOT AVAILABLE, CONTRACTOR SHALL
 - PROVIDE A 10KW MINIMUM SIZE GENERATOR TO SUPPLY DEMAND.
 - COORDINATE EXACT ROUTE OF UNDERGROUND CONDUITS WITH LOCAL UTILITY COMPANY PRIOR TO INSTALLATION.
 - PROVIDE LONG SLEEVE ELBOWS.
 - TELCO CABINET, PANEL, TVSS, GENERATOR AND SHELTER ARE TYPICALLY PROVIDED BY OTHERS AND ARE SHOWN FOR REFERENCE ONLY.
 - SPOT ALL UNDERGROUND UTILITIES AND SPECIALTY ITEMS SUCH AS GROUND RODS AND GROUND RINGS PRIOR TO DIGGING. ITEMS ARE NOT LIMITED TO THE ABOVE. DAMAGED ITEMS SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER. BACKFILL AND PATCH TO MATCH EXISTING CONDITIONS. REFER TO "TRENCHING" IN THIS PROJECT'S DOCUMENTS.
 - CONTRACTOR SHALL COORDINATE ELECTRICAL EQUIPMENT BONDING WITH EXTERNAL GROUND RING WITH CONTRACTOR PERFORMING THE WORK ON THE GROUNDING PLANS.

ELECTRICAL SPECIFICATIONS

GENERAL:

THE WORK INCLUDED UNDER THIS SPECIFICATION SHALL FURTHER INCLUDE THE FURNISHING OF ALL MATERIALS AND EQUIPMENT IN THE PERFORMING OF LABOR AND SERVICES NECESSARY FOR A COMPLETE INSTALLATION OF AN ELECTRICAL SERVICE AND GROUNDING SYSTEMS FOR AN UNMANNED TELECOMMUNICATION FACILITY, INCLUDING ALL RELATED SYSTEMS AND ACCESSORIES FOR THE CONTEMPLATED SITE, AS SHOWN BY THE DRAWINGS AND HEREINAFTER SPECIFIED.

SCOPE:

ALL WORK COVERED UNDER THIS SPECIFICATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, N.F.P.A. 70, AND STANDARDS OF NATIONAL, STATE, AND LOCAL AGENCIES AND SHALL COMPLY WITH THE APPLICABLE ORDINANCES AND REGULATIONS.

THE CONTRACTOR SHALL SECURE AND OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR THE PROJECT AND SHALL PAY ALL FEES IN CONNECTION WITH PERMITS, LICENSES AND BONDS TO LOCAL AUTHORITIES AS REQUIRED.

SITE VISITATION:

VISIT THE SITE OF THE PROPOSED WORK AND CAREFULLY EXAMINE THE EXISTING CONDITIONS AND LIMITATIONS THEREOF, INCURRED THROUGH LIMITATIONS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL THE REQUIREMENTS OF THE PROJECT AND SITE, AS SPECIFIED IN THE ENGINEERING DRAWINGS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER BEFORE INITIATING SITE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF SPACE AVAILABLE AND THE SPECIFIED EQUIPMENT. RECOMMEND CHANGES TO LOCATION OF THE ELECTRICAL SERVICE, EQUIPMENT AND MATERIALS TO ALLOW THE COMPLETE INSTALLATION OF THE PROJECT. MAINTAIN EXISTING SERVICES AND STRUCTURES IN A SERVICEABLE CONDITION.

UTILITIES AND ELECTRICAL SERVICE :

THE DATA IS SHOWN AS ACCURATELY ON THE DRAWINGS AS THE SCALE WILL PERMIT. EACH BIDDER SHALL INCLUDE ADEQUATE FUNDS IN HIS BID PRICE TO COVER THE INSTALLATION AND CONNECTIONS OF ALL UTILITIES AND THE RELOCATION OF ALL EXISTING ELECTRICAL UTILITIES WHETHER SHOWN ON PLANS OR NOT. TEMPORARY ELECTRICAL SERVICE SHALL BE PROVIDED BY CONTRACTOR. EXACT LOCATION SHALL BE COORDINATED WITH THE LOCAL POWER COMPANY. SHOULD TEMPORARY POWER FROM POWER COMPANY NOT BE AVAILABLE, CONTRACTOR SHALL PROVIDE A MINIMUM 10KW GENERATOR FOR TEMPORARY DEMAND.

THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORK, SUCH AS, SERVICE ENTRANCE CONDUCTORS, METER, METER ENCLOSURE, FEEDERS, CONDUITS, DISCONNECTS, PANELBOARD, CIRCUIT BREAKERS, LIGHTING, GUTTER, EMERGENCY GENERATOR RECEPTACLE, CABLE TRAY, TRANSFER SWITCH, TELEPHONE BOX, CONCRETE CORING, WALL PENETRATIONS, TRENCHING AND BACKFILL.

SUBMITTALS:

THE CONTRACTOR SHALL MAINTAIN A SET OF HAND MARKED, CURRENT "AS-BUILT" BLUELINE CONTRACT DRAWING PRINTS ON THE JOB. UPON COMPLETION OF THE WORK, FURNISH THE ARCHITECT/ENGINEER ONE SET OF BLUELINE PRINTS LEGIBLY MARKED IN RED INK OR RED PENCIL. THE CONTRACTOR SHALL INDICATE ON THE BLUELINE PRINTS ALL THE CHANGES, ADDITIONS, AND DELETIONS TO UPDATE THE ORIGINAL CONTRACT DRAWINGS.

GUARANTEE:

THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK COVERED BY THIS SPECIFICATION AND TO BE FREE FROM FAULTY, DEFECTIVE, OR IMPROPER MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER THE FINAL ACCEPTANCE OF THE WORK. SHOULD ANY SUCH FAILURE OCCUR DURING SAID GUARANTEE PERIOD, THE ELECTRICAL CONTRACTOR SHALL, AT HIS OWN EXPENSE AMEND AND MAKE GOOD ALL SUCH DEFECTS SETTLEMENTS AND/OR FAULTS.

QUALITY ASSURANCE:

THE CONTRACTOR SHALL PROVIDE ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES THAT ARE LISTED AND LABELED AS DEFINED IN NFPA 70, ARTICLE 100, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND MARKED FOR INTENDED USE. COMPLY WITH NFPA 70. PROVIDE WIRES AND CABLES SPECIFIED IN THE DRAWINGS THAT ARE LISTED AND LABELED.

DEMOLITION:

THE CONTRACTOR SHALL PROTECT EXISTING ELECTRICAL EQUIPMENT AND INSTALLATIONS INDICATED TO REMAIN. IF DAMAGED OR DISTURBED IN THE COURSE OF THE WORK, REMOVE DAMAGED PORTIONS AND INSTALL NEW PRODUCTS OF EQUAL CAPACITY, QUALITY, AND FUNCTIONALITY. EXISTING CODE VIOLATIONS SHALL BE IDENTIFIED AND CORRECTED BEFORE INITIATING PROJECT WORK,

ACCESSIBLE WORK: REMOVE EXPOSED ELECTRICAL EQUIPMENT AND INSTALLATIONS, INDICATED TO BE DEMOLISHED, IN THEIR ENTIRETY.

ABANDONED WORK: CUT AND REMOVE BURIED RACEWAY AND WIRING, INDICATED TO BE ABANDONED IN PLACE, 2 INCHES BELOW THE SURFACE OF ADJACENT CONSTRUCTION. CAP RACEWAYS AND PATCH SURFACE TO MATCH EXISTING FINISH. REMOVE DEMOLISHED MATERIAL FROM PROJECT SITE. REMOVE, STORE, CLEAN, REINSTALL, RECONNECT, AND MAKE OPERATIONAL COMPONENTS INDICATED FOR RELOCATION.

ELECTRICAL REQUIREMENTS:

WHERE CONDUIT PASSES THROUGH WALLS, FLOORS, OR OTHER MASONRY SURFACES, STEEL PIPE SLEEVES SHALL BE USED. THE INSIDE DIAMETER OF THESE SLEEVES SHALL BE AT LEAST ONE-HALF INCH GREATER THAN THE OUTSIDE DIAMETER OF THE CONDUIT TO BE INSERTED. AFTER THE PIPES ARE INSTALLED, FILL THE ANNULAR SPACE BETWEEN THE PIPE AND ITS SLEEVES WITH A MASTIC OR WITH SHREDDED LEAD USING PACKING AS REQUIRED.

SLEEVES PASSING THROUGH FLOORS SHALL BE SET TO PROJECT ABOVE FINISHED FLOORS AND BE FLUSH WITH THE UNDERSIDE OF THE SLABS. WHERE CONDUIT PASSES THROUGH INTERIOR WALLS OR FLOORS, RIGID CONDUITS MAY BE USED IN LIEU OF THE STEEL PIPE SLEEVES, PROVIDED THEY HAVE APPROXIMATELY THE SAME INSIDE DIAMETER OF THE SLEEVES SPECIFIED ABOVE.

ALL PANELBOARDS, DISCONNECT SWITCHES, CIRCUIT BREAKERS, TERMINAL BOARDS, JUNCTION BOXES AND OTHER SPECIAL EQUIPMENT, ITEMS FURNISHED AND/OR INSTALLED BY THE ELECTRICAL CONTRACTOR SHALL BE IDENTIFIED WITH PERMANENTLY ATTACHED ENGRAVED PLASTIC NAMEPLATES.

UL-LISTED BUILDING AND UNDERGROUND WIRES AND CABLES WITH CONDUCTOR MATERIAL, INSULATION TYPE, CABLE CONSTRUCTION AND RATING AS SPECIFIED IN THE ELECTRICAL DRAWINGS. CONDUCTORS MATERIAL FOR ALL INSTALLATIONS SHALL BE COPPER AND ALUMINUM AS INDICATED IN PLANS. SOLID CONDUCTOR FOR NO. 10 AWG AND SMALLER; STRANDED CONDUCTOR FOR #8 AWG AND LARGER.

UL-LISTED, FACTORY-FABRICATED WIRING CONNECTORS OF SIZE, AMPACITY RATING, MATERIAL, TYPE, AND CLASS FOR APPLICATION AND SERVICE INDICATED INCLUDING COPPER/ALUMINUM CONNECTORS. COMPLY WITH PROJECT'S INSTALLATION REQUIREMENTS AND AS SPECIFIED IN THE DRAWINGS AND THIS SPECIFICATION.

FITTINGS AND ACCESSORIES SUCH AS, COUPLINGS, OFFSETS, ELBOWS, EXPANSION JOINTS, ADAPTERS, HOLD-DOWN STRAPS, END CAPS, AND OTHER FITTINGS TO MATCH AND MATE WITH WIREWAYS AS REQUIRED FOR COMPLETE SYSTEM.

SURFACE METAL RACEWAYS SHALL BE OF GALVANIZED STEEL WITH SNAP-ON COVERS. FINISH WITH MANUFACTURER'S STANDARD PRIME COATING. SURFACE NONMETALLIC RACEWAYS SHALL BE OF 2-PIECE CONSTRUCTION, MANUFACTURED OF RIGID PVC COMPOUND WITH MATTE TEXTURE AND MANUFACTURER'S STANDARD COLOR. TYPES, SIZES, AND CHANNELS AS INDICATED AND REQUIRED FOR EACH APPLICATION, WITH FITTINGS THAT MATCH AND MATE WITH RACEWAYS.

GROUNDING AND BONDING SYSTEMS:

IF GOVERNING GROUNDING AND BONDING REQUIREMENTS WHERE TYPES, SIZES, RATINGS, AND QUANTITIES SPECIFIED ARE IN EXCESS OF THE STANDARD NATIONAL ELECTRICAL CODE (NEC) REQUIREMENTS, THE MORE STRINGENT REQUIREMENTS AND THE GREATER SIZE, RATING AND QUANTITY TYPES GOVERN.

EQUIPMENT GROUNDING AND BONDING CONDUCTORS: COMPLY WITH 2011 EDITION NEC ARTICLE 250 FOR TYPES, SIZES, AND QUANTITIES OF EQUIPMENT GROUNDING CONDUCTORS, EXCEPT WHERE SPECIFIC TYPES, LARGER SIZES, OR MORE CONDUCTORS THAN REQUIRED BY NEC ARE SPECIFIED. GROUNDING ELECTRODE: MAIN SWITCH GROUNDING ELECTRODE SHALL BE A 10' COPPER-CLAD ROD AND SHALL BE BONDED TO THE EXTERNAL GROUNDING RING PER NEC. REFER TO GROUNDING PLANS.

THE GROUNDING ELECTRODE CONDUCTOR CONNECTION TO THE GROUNDING COPPER-CLAD ROD SHALL BE LUG CONNECTIONS. BONDING CONDUCTOR TO THE GROUND RING SHALL BE THE SAME SIZE AS GROUNDING ELECTRODE CONDUCTOR OR PER NEC. REFER TO GROUNDING PLANS.

THE GROUND RING SHALL BE CONSTRUCTED AS SPECIFIED ON THE ENGINEERING DRAWINGS. FOR A GROUND SITE, THE GROUND RING CONDUCTOR SHALL BE BURIED NO LESS THAN THIRTY (30) INCHES BELOW SITE GRADE.

WIRE AND CABLE GROUNDING CONDUCTORS: CONDUCTORS SHALL BE TYPE THWN COPPER. MINIMUM SIZE SHALL BE #12AWG, EXCEPT CONTROL WIRING. ALUMINUM CONDUCTORS SHALL BE AA-8000 SERIES TYPE.

COMPLY WITH NATIONAL ELECTRICAL CODE, TABLE 8, EXCEPT AS OTHERWISE INDICATED, FOR CONDUCTOR PROPERTIES, INCLUDING STRANDING. MATERIAL OF GROUNDING CONDUCTORS TO BE COPPER AND ALUMINUM AS SPECIFIED IN PLANS. EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSULATED WITH GREEN COLOR INSULATION AND GROUNDING-ELECTRODE CONDUCTORS SHALL BE STRANDED CABLE. UNDERGROUND CONDUCTORS SHALL BE BARE, TINNED, STRANDED, EXCEPT AS OTHERWISE INDICATED. BARE COPPER CONDUCTORS SHALL CONFORM TO THE FOLLOWING:

- 1. SOLID CONDUCTORS: ASTM B 3.
2. ASSEMBLY OF STRANDED CONDUCTORS: ASTM B 8.
3. TINNED CONDUCTORS: ASTM B 33.

DISTRIBUTION PANELBOARDS: ENCLOSURES SHALL BE FLUSH OR SURFACE-MOUNTED CABINETS AS INDICATED. NEMA PB 1, TYPE 1, UNLESS OTHERWISE INDICATED TO MEET ENVIRONMENTAL CONDITIONS AT INSTALLED LOCATION.

- 1. OUTDOOR LOCATIONS: NEMA250, TYPE 3R.
2. WET OR DAMP INDOOR LOCATIONS: NEMA250, TYPE4.
3. HAZARDOUS AREAS INDICATED ON DRAWINGS: NEMA250, TYPE 7C.

THE BUS SHALL BE HARD DRAWN COPPER OF 98 PERCENT CONDUCTIVITY, THE MAIN AND NEUTRAL LUGS SHALL BE OF THE COMPRESSION COPPER TYPE, AND THE EQUIPMENT GROUND BUS SHALL BE ADEQUATE FOR FEEDER AND BRANCH-CIRCUIT EQUIPMENT GROUND, COPPER CONDUCTORS AND BONDED TO BOX.

PROVIDE OVERCURRENT PROTECTIVE DEVICES AS INDICATED TYPES, AS INTEGRAL COMPONENTS OF PANELBOARDS, SWITCHBOARDS, AND ALSO AS INDIVIDUALLY ENCLOSED AND MOUNTED SINGLE UNITS.

BRANCH-CIRCUIT BREAKERS: WHERE OVERCURRENT PROTECTIVE DEVICES ARE INDICATED TO BE CIRCUIT BREAKERS, USE BOLT-ON CIRCUIT BREAKERS, EXCEPT CIRCUIT BREAKERS 225-A FRAME SIZE AND GREATER MAY BE PLUG-IN TYPE WHERE INDIVIDUAL POSITIVE-LOCKING DEVICE REQUIRES MECHANICAL RELEASE FOR REMOVAL. OVERCURRENT PROTECTIVE DEVICES SHALL BE MOLDED-CASE CIRCUIT BREAKER, NEMA AB 1, HANDLE LOCKABLE, AND CHARACTERISTICS SHALL INCLUDE FRAME SIZE, TRIP RATING, NUMBER OF POLES, AND AUXILIARY DEVICES AS INDICATED AND INTERRUPTING CAPACITY RATING TO MEET AVAILABLE FAULT CURRENT.

DISCONNECT SWITCHES:

ENCLOSED, NONFUSIBLE SWITCH: NEMA KS 1, TYPE HD, WITH LOCKABLE HANDLE. ENCLOSED, FUSIBLE SWITCH, 800A AND SMALLER: NEMA KS 1, TYPE HD, CLIPS TO ACCOMMODATE SPECIFIED FUSES, ENCLOSURE CONSISTENT WITH ENVIRONMENT WHERE LOCATED, HANDLE LOCKABLE WITH 2 PADLOCKS, AND INTERLOCKED WITH COVER IN CLOSED POSITION.

ENCLOSURE: NEMA KS 1, TYPE 1, UNLESS OTHERWISE SPECIFIED OR REQUIRED TO MEET ENVIRONMENTAL CONDITIONS OF INSTALLED LOCATION.

- 1. OUTDOOR LOCATIONS: TYPE 3R.
2. WET OR DAMP INDOOR LOCATIONS: TYPE 4.
3. HAZARDOUS AREAS INDICATED ON DRAWINGS: TYPE 7C.
CONNECT DISCONNECT SWITCHES AND CIRCUIT BREAKERS AND COMPONENTS TO WIRING SYSTEM AND TO GROUND AS INDICATED AND INSTRUCTED BY MANUFACTURER. TIGHTEN ELECTRICAL CONNECTORS AND TERMINALS ACCORDING TO MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES. WHERE MANUFACTURER'S TORQUE VALUES ARE NOT INDICATED, USE THOSE SPECIFIED IN UL 486A AND UL 486B.

TESTING: AFTER INSTALLING DISCONNECT SWITCHES AND CIRCUIT BREAKERS AND AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED, DEMONSTRATE PRODUCT CAPABILITY AND COMPLIANCE WITH REQUIREMENTS.

METER INSTALLATION:

ELECTRICAL CONTRACTOR SHALL MOUNT METER SOCKET AND METER ENCLOSURE IN AN APPROVED MANNER USING GOOD WORKMANSHIP. METER SOCKET AND ENCLOSURE SHALL BE MOUNTED PLUMB, LEVEL AND BE FASTENED DIRECTLY TO THE BUILDING OR STRUCTURE USING REMOVABLE STEEL FASTENERS THAT DO NOT RELY ON PLASTIC OR SIMILAR NON-METALLIC EXPANSION COMPONENTS. WOODEN BACKERS MAY BE USED WHEN THEY ARE A PERMANENT PART OF A BUILDING OR STRUCTURE, AND WHERE THEY ARE NOT EXPOSED TO THE WEATHER. PENETRATIONS TO METER ENCLOSURE SHALL BE NEATLY DRILLED OR PUNCHED AND DRESSED SMOOTHLY.

METER SOCKET SHALL BE OF A SINGLE POSITION, SINGLE PHASE, AS FURNISHED BY THE LOCAL ELECTRIC UTILITY. THE ELECTRICAL CONTRACTOR SHALL SELECT A METER SOCKET TO COORDINATE WITH AN ESTIMATED DEMAND LOAD OF 200 AMPERES AND A SINGLE PHASE SERVICE ENTRANCE VOLTAGE FOR AN OVERHEAD OR UNDERGROUND SERVICE.

TRANSFER SWITCH: TRANSFER SWITCH SHALL BE RATED FOR ELECTRICAL SERVICE. VOLTAGE, AMPERE AND ENCLOSURE AS INDICATED.

SPECIAL SYSTEMS:

SPECIAL SYSTEMS CONDUIT CONSISTS OF TELEPHONE, CONTROLS OR ALARMS AND SHALL BE PROVIDED WITH PULLWIRE AND SIZED AS INDICATED ON DRAWINGS AND SHALL BE SCHEDULE 80 PVC UNLESS NOTED OTHERWISE. ALL ROUTING AND STUB-UPS SHALL BE COORDINATED WITH LESSEE.

TRENCHING:

CONTRACTOR SHALL DO ALL EXCAVATING REQUIRED FOR BURIED LINES AND AFTER THE WORK IS IN PLACE SHALL BACKFILL AND THOROUGHLY TAMP THE EARTH AROUND LINES AND SHALL BRING THE EARTH TO THE REQUIRED LEVEL TO PREVENT FUTURE SETTLEMENT.

ALL BACKFILLING OF TRENCHES WHERE UNDER CONCRETE FLOORS, DRIVE OR WALKS SHALL BE DONE WITH SAND, CRUSHED ROCK OR GRAVEL AND IN A MANNER THAT WILL PREVENT ANY FUTURE SETTLEMENT. ANY STREET OR SIDEWALK SURFACE DAMAGED MUST BE REPAIRED TO THE SATISFACTION OF THE LOCAL AUTHORITIES.

PROVIDE AN AUTOMATIC TRANSFER SWITCH WITH A FULL NEUTRAL CONDUCTOR. THE AUTOMATIC TRANSFER SWITCH SHALL DISCONNECT THE NEUTRAL CONDUCTOR WHEN THE CURRENT-CARRYING CONDUCTORS ARE DISCONNECTED.



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APPROVAL SIGNATURES
LANDLORD
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FIRM REGISTRATION NO. F-6224
STATE OF TEXAS
REGISTERED PROFESSIONAL ENGINEER
JUNE 28, 2013

ARCHCOMM, LLC.
1006 Beckett
San Antonio, Texas 78213
(210) 308-9905

SHEET TITLE
ELECTRICAL
SPECIFICATIONS

SHEET HISTORY
06.28.13 ISSUE FOR CONSTRUCTION

E4

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PLANNING AND ZONING COMMISSION AGENDA ITEM

8/05/13
Item #4
Regular Agenda
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APPLICANT: Planning & Zoning Commission

CASE MANAGER: Kim Foutz, Acting Director of Planning

ITEM DESCRIPTION: Receive and discuss the Planning Director's Report containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code (UDC).

BACKGROUND: The Planning & Zoning Commission will consider several items at future meetings which may also require City Council review for a final decision, shown on the following table.

Future Commission Projects	Status	Applicant
P-FY-13-21- Consider and take action on the Final Plat of Scott and White Memorial Hospital, a 209.04 ± acre 1 lot, 1-block nonresidential subdivision located generally from the main campus to various locations along West Avenue R to south 13th, 15th, 19th Streets to Fryers Creek	DRC 6/05/13 Pending	Ronald Carroll
P-FY-13-34 - Consider and take action on the Final Plat of Lake Pointe Phase III, a 66.87 ± acres, 343-lot, 10-block residential subdivision, located on the southwest corner of Prairie View Road and North Pea Ridge Road.	DRC 7/01/13 2 nd DRC pending	W&B Development
Z-FY-13-30 - Hold a public hearing to discuss and recommend action on a zone change from Agricultural District (AG) to General Retail District (GR) on 21.59 ± acres part of the Nancy Chance Survey, Abstract No. 5, Bell County, Texas, located on the west side of Old Waco Road and the east side of South Pea Ridge Road, east of Westwood Estates.	PZC 8/19/13	John Martin for Jack P. Hilliard, Jr.
Z-FY-13-29 - Hold a public hearing to discuss and recommend action on a zone change from Agricultural District (AG) to Single Family-Two District (SF-2) on 32.02 ± acres, being part of the Nancy Chance Survey, Abstract No. 5, Bell County, Texas, located South of Poison Oak Road, between South Pea Ridge Road and Old Waco Road.	PZC 8/19/13	Glynn Cummings

City Council Final Decisions	Status
<p>Z-FY-13-22 - Consider adopting an ordinance authorizing a zoning change from Commercial District (C) to Planned Development–Commercial (PD-C) on 29.659± acres of land out of the Uri Holbrook Survey, Abstract No. 1009, City of Temple, Bell County, Texas, being a portion of that 99.39 acre tract of land conveyed by deed and recorded in Volume 1858, Page 292, of the Deed Records of Bell County, Texas, located at the southeast corner of North General Bruce Drive and NE H K Dodgen Loop.</p>	<p>APPROVED at 2nd Reading on July 18, 2013</p>
<p>Z-FY-12-50 - Hold a public-hearing to discuss and recommend action on a zone change from PD Planned Development-Urban Estates District (PD-UE) to Planned Development -Single Family-1 District (PD-SF-1) on 39.3± acres of land, being part of the William Frazier Survey, Abstract #310 located south of FM 93 along the west side of Dubose Road.</p>	<p>APPROVED at 1st Reading on July 11 and APPROVED at 2nd Reading on August 1, 2013</p>
<p>Z-FY-13-23 - Hold a public hearing to discuss and recommend action on a zone change from Light Industrial District (LI) to Central Area District (CA) on Lot 1, Block 34, Original Town of Temple, County of Bell, Texas, according to the map or plat recorded in volume 36, page 640 of the real property records of Bell County, Texas. The subject property is located at 201 South Main Street.</p>	<p>APPROVED at 1st Reading on July 11 and APPROVED at 2nd Reading on August 1, 2013</p>
<p>Z-FY-13-24 - Hold a public hearing to discuss and recommend action on a Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption where sales will be more than 75% of the gross revenue for Vidana’s Place, on Lot 1, Block 34, Original Town of Temple, County of Bell, Texas, according to the map or plat recorded in volume 36, page 640 of the real property records of Bell County, Texas. The subject property is located at 201 South Main Street.</p>	<p>APPROVED at 1st Reading on July 11 and APPROVED at 2nd Reading on August 1, 2013</p>
<p>Z-FY-13-25 - Hold a public hearing to discuss and recommend action on a zone change from Office One District (O-1) to General Retail District (GR) on 1.317± acres being a part of Lot 2, Block 1, Joshlin Subdivision, an addition to the City of Temple, Bell County, Texas, located at 6768 West Adams Avenue, west of Holy Trinity Catholic High School and east of Hilliard Road.</p>	<p>APPROVED at 1st Reading on July 11 and APPROVED at 2nd Reading on August 1, 2013</p>
<p>P-FY-12-31 - Consider and take action on the Revised Preliminary Plat of Valley Ranch Addition, a 39.3 ± acre, 94-lot residential subdivision with a requested exception to Unified Development Code Section 8.2.1., allowing the use of Local Rural Streets with 50-foot wide rights-of-way and 28-foot wide streets (back of curb to back of curb), located at the southwest corner of FM 93 and Dubose Road.</p>	<p>TABLED until August 15, 2013</p>



**PLANNING AND ZONING COMMISSION
MEETING EVALUATION
August 1, 2013**

Rating Scale

Excellent Average Poor

- 1. What is your overall rating of the P & ZC's Meeting?
- 2. How would you rate the content of the staff's reports?
- 3. How would you rate the clarity of the meeting agenda?
- 4. How would you rate the staff presentation?

Excellent	Average	Poor

5. In what ways did tonight's meeting meet (or not meet) your expectations?

6. Please provide any comments and suggestions that you feel would be useful for the next meeting (content, speakers, materials, resources, etc.).

P&Z COMMISSION ATTENDANCE

2013																
	Jan 7	Jan 22	Feb 4	Feb 19	Mar 4	Mar 18	Mar 26	Apr 1	Apr 15	May 6	May 20	June 3	June 17	P	A	
James Staats	P	No Meeting Held	P	P	P	P	P	A	P	P	P	A	P	9	2	
Allan Talley	P		P	P	P	P	P	P	P	A	P	A	P	9	2	
Derek Martin	A		P	A	P	P	P	A	P	P	P	A	P	6	5	
Will Sears	P		A	P	P	A	P	P	P	P	P	P	P	9	2	
Greg Rhoads	P		P	P	P	A	A	P	P	P	P	A	P	8	3	
David Jones	P		P	P	P	P	A	P	P	P	P	P	P	10	1	
Chris Magaña	P		P	A	P	A	A	P	P	P	P	A	P	7	4	
Randy Harrell	A		P	P	P	P	P	P	P	P	P	P	P	10	1	
Patrick Johnson	P		P	A	P	P	P	P	A	P	A	P	P	8	3	
							Special Called Meeting									

	July 1	July 15	Aug 5	Aug 19	Sept 3	Sept 16	Oct 7	Oct 21	Nov 4	Nov 18	Dec 2	Dec 16	P	A
James Staats	P	P											11	2
Allan Talley	P	P											11	2
Derek Martin	P	A											7	6
Will Sears	P	P											11	2
Greg Rhoads	P	P											10	3
David Jones	P	P											12	1
Chris Magaña	P	P											9	4
Randy Harrell	P												11	1
Patrick Johnson	A	P											9	4

not a Board member

Comm. Harrell resigned