

**NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
CITY MUNICIPAL BUILDING, 2 NORTH MAIN STREET
STAFF CONFERENCE ROOM, 1ST FLOOR
JULY 15, 2013, 5:00 P.M.
WORK SESSION AGENDA**

Staff will present the following items:

1. Discuss, as may be needed, Regular Meeting agenda items for the meeting posted for Monday, July 15, 2013.
2. Receive and discuss the Planning Director's Report containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code (UDC).

**NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
CITY MUNICIPAL BUILDING, 2 NORTH MAIN STREET
CITY COUNCIL CHAMBERS, 2ND FLOOR
JULY 15, 2013, 5:30 P.M.
REGULAR MEETING AGENDA**

1. _____ Invocation
2. _____ Pledge of Allegiance

A. CONSENT ITEMS

All items listed under this section, Consent Agenda, are considered to be routine by the Planning & Zoning Commission and may be enacted in one motion. If discussion is desired by the Commission, any item may be removed from the Consent Agenda at the request of any Commissioner and will be considered separately.

Item 1: [Approval of Minutes](#): Work session and the regular meeting of July 1, 2013.

B. ACTION ITEMS

Item 2: [P-FY-13-13](#): Consider and take action on the Final Plat for Brazos Bend Subdivision, a + 5.50 acre, 19-lot, 2 tract, 1- block, Office-2 (O-2) residential subdivision, located on the west side of Old Waco Road, north of Brandon Drive. The property is addressed as 510 Old Waco Road. (All County Surveying)

Item 3: [P-FY-13-30](#): Consider and recommend action on the Preliminary Plat of Brayson Crossing, a 6.008 ± acres, 9-lot, 1-block residential subdivision with a requested exception to Unified Development Code Section 8.3 C: Park Land Dedication: General Requirements in the Extraterritorial Jurisdiction to waive park fees and a requested exception to Chapter 12 of the Code of Ordinances, Section 12-10, Fire Apparatus Access Roads, to allow a private apparatus access road that has a combined pavement and concrete ribbon curb width of no less than thirteen feet, instead of the minimum required width of eighteen feet on both sides of an entrance island, located in the western E.T.J., at the

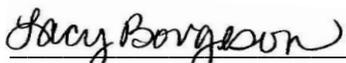
northeast corner of FM 439 and Sparta Loop. (Applicant: Mitchell & Associates for JRBC Investments LLC)

- Item 4:** [P-FY-13-32](#): Consider and take action on the Final Plat of Wyndham Hill Addition Phase III, a 15.534 ± acres, 60-lot, 5-block residential subdivision, located on the west side of South 5th Street, west of Wyndham Hill Parkway. (Gary Freytag for Belfair Development, Inc.)
- Item 5:** [Z-FY-13-27](#): Hold a public hearing to discuss and recommend action on a zone change from Agricultural District (AG) to Single Family Dwelling 1 District (SF-1) on 17.65 ± acres, being part of the S.P. Terry survey, Abstract No. 812, in Bell County, Texas, located on the north side of FM 2305 east of Arrowhead Point Road. (Applicant: Brad Dusek)
- Item 6:** [Z-FY-13-28](#): Hold a public hearing to consider and recommend action on a zone change from Planned Development-Single Family Two District to Multiple Family One District on 35.22 ± acres; Planned Development-Single Family Two District to General Retail District on 3.40 ± acres; Planned Development-General Retail District to Multiple Family One District on 1.27 ± acres; and Planned Development-General Retail District to General Retail District on 10.80 ± acres, being out of and part of a called 50.691 ± acres of land out of the Maximo Moreno Survey, Abstract 14, Bell County, Texas located at the northeast corner of South 5th Street and F.M. 93.

C. REPORTS

- Item 7:** Receive and discuss the [Planning Director's Report](#) containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code. (*continued, if not completed in Work Session*)

I hereby certify that a true and correct copy of this Notice of Meeting was posted in a public place at 1:30 PM, on July 12, 2013.



Lacy Borgeson, TRMC
City Secretary

SPECIAL ACCOMMODATIONS: Persons with disabilities, who have communication or accommodation needs and desire to attend the meeting, should notify the City Secretary's Office by mail or by telephone 48 hours prior to the meeting.

I certify that this Notice of Meeting Agenda was removed by me from the outside bulletin board in front of the City Municipal Building at _____ the _____ day of _____, 2013. Title _____.

**PLANNING AND ZONING COMMISSION
JULY 1, 2013
5:30 P.M.**

PLANNING AND ZONING MEMBERS PRESENT
Chair James Staats

COMMISSIONERS:

Will Sears	Chris Magaña
Derek Martin	Randy Harrell
David Jones	Greg Rhoads
H. Allan Talley	

PLANNING AND ZONING MEMBERS ABSENT:

Patrick Johnson

STAFF PRESENT:

Beverly Zendt, Interim Director of Planning
Trudi Dill, Deputy City Attorney
Jonathan Christian, Fire Marshall
Tammy Lyerly, Senior Planner
Mark Baker, Planner
Mary Maxfield, Planning Technician
Tiffany Miles, Planning Intern
Leslie Evans, Administrative Assistant

The agenda for this meeting was posted on the bulletin board at the Municipal Building, June 27, 2013 at 2:10 p.m. in compliance with the Open Meetings Law.

The following is a summary of the proceedings of this meeting. It is not intended to be a verbatim translation.

Chair Staats called Meeting to Order at 5:30 P.M.

Invocation by Chair Staats; Pledge of Allegiance by Commissioner Rhoads.

A. CONSENT ITEMS

Item 1: Approval of Minutes: Work session and the regular meeting of June 17, 2013.

Approval by general consent.

B. ACTION ITEMS

Item 2: P-FY-13-19: Consider and take action on the Preliminary Plat of BRV Addition, a 43.005 ± acres, 131-lot, 8-block subdivision, generally located on the northeast side of SW H K Dodgen Loop and south of Hopi Trail. (Applicant: Cross Engineering)

Mr. Mark Baker, Planner, stated there are no exceptions requested on this plat so the P&Z is the final authority.

DRC deemed this plat administratively complete on June 25, 2013. The property has four zonings: Single Family-One (SF-1), Single Family-Two (SF-2), Multi-Family-Two (MF-2), and General Retail (GR). All proposed lots meet development standards and dimensions for their zoning districts.

Water is available through six-inch water lines in Hopi Trail, Erie Drive and Keller Road. Wastewater services are available through six-inch sewer lines in Hopi Trail and Erie Drive and an eight-inch sewer line in Keller Road. Utilities are proposed to be extended through eight-inch lines down the full length of all proposed local streets and part of Keller Road. Final utility locations will be determined with the final plat.

Subdivision entrances will be taken from three points: Hopi Trail, Keller Road and Erie Drive and there are three new local streets proposed for the subdivision: Bison Way, Antelope Trail and White Tail Way. All proposed local streets will meet the 50 foot wide right-of-way and 31 foot pavement width requirements. A proposed 20 foot sewer easement would be released at a future date.

Staff recommends approval of this preliminary plat.

No public hearing is required; however, Chair Staats invited anyone to approach who wanted to make comments.

Mr. Kirk Willard, 2011 Cascade Trail, McGregor, Texas, represented the applicant and was available for questions.

Commissioner Talley made a motion to approve Item 2, **P-FY-13-19**, and Commissioner Jones made a second.

Motion passed: (8:0)

Commissioner Johnson absent

Item 3: P-FY-13-30 - Consider and recommend action on the Preliminary Plat of Brayson Crossing, a 6.008 ± acres, 9-lot, 1-block residential subdivision with a requested exception to Chapter 12 of the Code of Ordinances, Section 12-13, d) Location of Private Fire Apparatus Access Roads and Fire Lanes, to allow a private apparatus access road that has a pavement and concrete ribbon curb width of no less than thirteen feet, instead of the minimum required width of twenty feet, located in the western E.T.J., at the northeast corner of FM 439 and Sparta Loop. (Applicant: Mitchell & Associates for JRBC Investments LLC)

Ms. Tammy Lyerly, Senior Planner, stated the applicant was requesting exceptions to the Code of Ordinances and will go forward to City Council for their review.

The plat is located in the Extra Territorial Jurisdiction (ETJ) along FM 439 and Sparta Loop along the south end. Private roads are noted as Tract A. A diagram (exhibit) of the entrance is included on the plat which is what the exceptions relate to.

DRC deemed this plat administratively complete on June 26, 2013. There are no zoning regulations in the ETJ. Water will be provided through proposed six and eight-inch water lines and the development will be serviced by septic system. Required park fees for this development are \$2,025. (\$225 per dwelling).

Tract A consists of two private streets with 20 foot right-of-way widths and 20 foot pavement widths. The developer proposes the entrance islands at FM 439 that do not meet the minimum requirements of Chapter 12 of the Code of Ordinances.

Chapter 12 of the Code of Ordinances, Section 12-13, d) Location of Private Fire Apparatus Access Roads and Fire Lanes, requires the following:

No building, other than single-family or two-family dwellings, shall be constructed so that any part of the perimeter of the building is greater than one hundred and fifty (150) feet from a public way or public place unless the owner or property manager constructs and maintains a private apparatus access road or fire lane having a minimum width of twenty (20) feet and a minimum overhead clearance throughout of no less than thirteen (13) feet six (6) inches and terminating within one hundred and fifty (150) feet from the furthestmost point of said building. The same being reflected on the first plat of the property

The applicant proposes a private apparatus access road with a combined pavement and concrete ribbon curb width of no less than 13 feet on both sides of the island.

Staff recommends approval of the Brayson Crossing, subject to meeting the minimum required 20-foot pavement width for private apparatus access road, per Chapter 12 of the Code of Ordinances, Section 12-13, d) Location of Private Fire Apparatus Access Roads and Fire Lanes.

The Fire Marshall was in attendance for any questions.

Chair Staats asked what type of curbing was used and Mr. Lyerly stated the curbing was all ribbon curbing. The applicant and engineer were available to answer any questions the Commission had.

Jonathan Christian, Fire Marshall for the City of Temple, stated there has been a change to Chapter 12 of the Code, stating there should be 20 feet of "unobstructed" road, so nothing in the middle of the road or any parking on the sides of the road. Temple has allowed that to change to allow an obstruction with an 18 foot clearance on each side but that allows for a car to park on the side of the entrance (i.e., breakdown, stall, etc.) and still get a fire truck through the lane. Less than 18 feet wide with a car is parked on the sides would not allow for proper emergency access.

Fire Marshall Christian believed the applicant wanted to have a gated entrance as well. The International Fire Code states that any gates across a fire lane have to be 20 feet. Temple made an amendment to that Fire Code to allow a 16 foot wide gate, even with the pavement width at 18 feet, with a ribbon curb (back of curb, back of curb) so the gate would only go over the pavement and take in the curb. That was developed to address these types of situations and still have adequate access in and out.

Commissioner Rhoads asked about the second curb, 16 feet, four inches on each side. Fire Marshall Christian stated the applicant would need an additional foot on each side to meet regulations or a smaller island.

Fire Marshall Christian stated the applicant's 13 foot wide gate does not meet the gate requirements and Fire Marshall Christian believes the applicant does not meet the pavement width requirement of 22 feet. Anything less than 28 feet wide would require no parking on both sides and he did not believe the applicant was planning on having no parking. Fire Marshall asked the applicant if signs were going to be put up and the response was yes. With the signs, the width requirement would be 20 feet wide.

Chair Staats asked who would enforce this matter and Fire Marshall Christian stated within the City it would be city police or himself. In the county it would be the Sheriff's Office.

Chair Staats opened a public hearing.

Mr. Bob Mitchell, Mitchell & Associates, 102 N. College, Killeen, Texas, stated the entrance location is tied to stopping site distance from the curb coming in on 439 and working with TxDOT and they are limited to where the entrance is located. There are a lot of nice trees the applicant/developer would like to preserve, if possible.

Mr. Mitchell stated they are trying to do a nicer facility with a gated community and the roads would be privately owned and maintained by the HOA in order to keep it nice as well as storm water detention.

Mr. Mitchell stated the gate for the entranceway would be a 14 foot gate which would give room for the columns and supports, which is why they are down to 13 feet. Mr. Mitchell explained they wanted to try to do a standard curb in the middle to give some raised feeling and on the outsides would be a ribbon curb which would be all throughout the subdivision. The gates would be coded so when an emergency code came in both gates would open.

Mr. Mitchell stated 439 was a high traffic area but there are plans to change that due to a realignment. The traffic will be substantially less than what is currently anticipated.

Chair Staats asked if the curbs in the middle would be stand up six-inch curbs and Mr. Mitchell stated that was what they envisioned. With the signage and how the first island off of 439 there will be signage established for that and the center island is for the gate and gating mechanisms needed to maintain that. Chair Staats stated it created a further obstruction. Mr. Mitchell stated a mountable could be used instead but they do not want to have issues with their signage. Protection from a standard curb would be helpful.

Chair Staats asked if Mr. Mitchell was aware of the current requirements for the entrance and he responded yes. Mr. Mitchell stated due to the restraints in the area he was hoping they

would have some consideration with what they planned to do and try to maintain the trees already there.

Vice-Chair Sears asked about the 13 foot clearance and the column for the gate and whether two connected gates were ever considered to eliminate the middle column. Mr. Mitchell stated that item was discussed but they would get a better look and feel with the column and a swinging gate.

Chair Staats stated he was not inclined to approve this request because the design was created even though the regulations were known. If it were a matter of inches that would be one thing, but this is a matter of feet. The safety of the people who live there and emergency response vehicles are important and Chair Staats felt the design could be improved considering the size of the lots.

Mr. Mitchell stated they had examples of other similar sites within the ETJ and the City and were hoping for some consideration and to try and maintain as many trees as possible. Some of the lots are irregularly shaped and the building sites are somewhat limited. The mass of the live oak trees are located in the only area where the roadway can be from TxDOT.

Commissioner Magaña stated he understood about preserving the trees but asked if taking out any trees were out of the question in order to widen it out. The safety of the people should come first. Mr. Mitchell stated he understood and are removing some trees to get to this point. Their hands are somewhat tied with the location.

Ms. Rebecca Taylor, Owner, 3700 S. Lake Drive, Belton, Texas stated this was her first development. Ms. Taylor contacted Fire Protection of Bell County since they would be servicing the area. In talking with Fire Marshall Casey and going through the National Fire Protection Agency's codes, Ms. Taylor felt she was within those guidelines. Ms. Taylor stated being in the ETJ she was unaware the Fire Marshall in Temple would have any bearing. With Fire Marshall Casey and the County's blessing, since they would be servicing the area, Ms. Taylor felt the 14 foot gate and 14 foot clearance were far wider than necessary.

Ms. Taylor stated she did not want to cause any issues for emergency response vehicles but requested the Commission grant the consideration. Ms. Taylor also went out and measured every gated entrance in Temple, Nolanville, and Belton for design purposes, not for fire code, and did not find one 18 foot gate into a residential neighborhood.

Ms. Taylor stated the traffic coming into a neighborhood of nine homes would not be near the amount of traffic for a larger development. The chances of someone breaking down or being at the entrance are less likely. Ms. Taylor stated they planned to put the box at the first median so in the event someone is stopped trying to get into the neighborhood, and fire does pull up, they have the median to turn around or get out of the way. With the ribbon curbing on each side they could also pull into the grass.

Vice-Chair Sears asked Ms. Taylor if she had a letter from the Belton Fire Marshall and she answered no. Ms. Taylor asked the Fire Marshall to provide her with something but the Fire Marshall stated she would be able to tell the Commission he gave Ms. Taylor his blessing and there would not be any issue. Ms. Taylor commented the code stated if she was located in the ETJ, the City has the first right to hold her to the fire code. Ms. Taylor stated Fire Marshall

Casey told her that the only time Temple would ever have to respond is when there were grass fires along FM 439 or something like that. Ms. Taylor stated Sparta, Nolanville, and if needed, Belton, would respond.

Chair Staats stated that growth usually occurs in the ETJ, which means being towards the lake there was a good chance the area would be annexed in the future. Being in the ETJ is only a temporary condition and annexation usually follows development. Ms. Taylor stated after talking with Parks and Leisure, they had to fall into three areas for the variance: no possible annexation, nine lots or less, and Ms. Taylor could not recall the third one.

Vice-Chair Sears asked Ms. Taylor if she would be willing to redesign the smaller island. Ms. Taylor stated the original design was actually 14 feet wide and she has been working with Mr. Bill Woodward to design the center median and the entrance median between the gates. If it were widened, there would two to three trees cut down on one side and one to two on the other, and some are very large-sized trees. There were no significant trees in the islands since those were cut down. The area is limited as to where the entrance could be located, according to TxDOT.

Commissioner Jones understood about being limited to where it could be placed, but asked if Ms. Taylor was limited to the design. Ms. Taylor responded the medians were created to accommodate her design and could be scaled down but did not know how much the center median could be reduced. Ms. Taylor repeated that most of the gates she found within the City were 11 and 12 foot gates. Ms. Taylor did not see them being in the City and having an issue with fire or protection coming out there.

Commissioner Jones stated he would have a hard time voting for this request and suggested relooking at the design. It was his understanding Ms. Taylor looked at the International Standards and already relaxed those rules a bit. Commissioner Jones suggested relooking at the medians and working with City Staff so the emergency vehicles can get in.

Ms. Taylor stated she believed the City of Temple had adopted much stricter standards than what the state has adopted under the National Fire Protection Agency Code. Commissioner Jones stated this matter concerned Temple's ETJ which falls under the Temple Fire Marshall. Ms. Taylor stated that by opening both gates in an emergency, it was felt that solution would give the emergency vehicle another means of access.

Commissioner Rhoads asked Mr. Mitchell if they discussed any compromise or if he spoke with Fire Marshall Casey personally. Mr. Mitchell stated he did not believe the state has adopted a fire code. The National Fire Protection Association has a set of guidelines that some cities have adopted but Ms. Taylor adopted the ICC codes which is the whole set, including the International Fire Code, and the owner is more lenient than the International Fire Code going from 20 foot to 18 foot unobstructed.

Mr. Mitchell is not in a position to grant any type of variance or exception, that is what the P&Z Commission and City Council is for and he would not take on that liability. Mr. Mitchell stated they adopted the code, the City Council has adopted the code saying 18 foot on each side of an island, and anything under 28 feet gets no parking on both sides, and no gates less than 16 foot. It is a 20 foot gate if it serves entrance and exit and 16 feet if it is one lane each, one lane in and one lane out, for the gate, with a 18 foot back of curb, back of curb. Mr. Mitchell stated

they had several subdivisions that are not in compliance which is the reason for looking and addressing it and meeting with TABA to provide a safe response.

Chair Staats closed the public hearing.

Ms. Lyerly stated the applicant requested time to confer with the owner.

(pause)

Mr. Mitchell approached the podium and asked the Commission to table this item until the next scheduled meeting in order to allow more opportunity to modify. Mr. Mitchell would rather have the item tabled than denied.

Commissioner Magaña made a motion to table Item 3, **P-FY-13-30**, until the next scheduled P&Z meeting and Commissioner Talley made a second.

Motion passed: (8:0)

Commissioner Johnson absent

C. REPORTS

Item 4: Receive and discuss the **Planning Director's Report** containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code.
(continued, if not completed in Work Session)

There being no further business, Chair Staats adjourned the meeting at 6.13 p.m.

Respectfully submitted,
Leslie Evans

**PLANNING AND ZONING COMMISSION
MONDAY, JULY 1, 2013
5:00 P.M.
WORK SESSION**

PLANNING AND ZONING MEMBERS PRESENT

Chair James Staats

COMMISSIONERS:

Will Sears	Chris Magaña
Derek Martin	Randy Harrell
David Jones	Greg Rhoads
H. Allan Talley	

PLANNING AND ZONING MEMBERS ABSENT:

Patrick Johnson

STAFF PRESENT:

Beverly Zendt, Interim Director of Planning
Trudi Dill, Deputy City Attorney
Jonathan Christian, Fire Marshall
Tammy Lyerly, Senior Planner
Mark Baker, Planner
Mary Maxfield, Planning Technician
Tiffany Miles, Planning Intern
Leslie Evans, Administrative Assistant

The agenda for this meeting was posted on the bulletin board at the Municipal Building in compliance with the Open Meetings Law.

The following is a summary of the proceedings of this meeting. It is not intended to be a verbatim translation.

With a quorum present, Chair Staats opened the work session at 5:00 p.m. and asked Ms. Beverly Zendt, Interim Director of Planning, to proceed.

The Director's Report was given:

A zone change request from Brad Dusek from AG to SF, east of Arrowhead Point Road close to the ETJ. Should be coming to P&Z on July 15th.

The final plat of Wyndham Hills. A preliminary plat was approved and this plat is in conformance with that preliminary plat. There is some density increase and realignment of alleys/streets.

The final plat of Central and 31st Addition (Walgreens) will be coming forward after rezoning and abandonment (for utilities) has been completed.

The final plat for Brazos Bend Subdivision is realigning their roads and Staff is waiting on revisions.

The final plat for Scott & White Memorial Hospital is waiting on revisions for street alignments and an abandonment.

A large four part rezoning will be coming forward which is located on the south corner of 5th Street and FM 93. There are multiple tracts involved with a PD for SF-2 and PD for GR. The applicant would like to eliminate the PD which has a lot of buffering and is adjacent to a residential area.

The final plat of Hills of Westwood Phase V went to DRC today and is on schedule.

The final plat of Lake Pointe Phase III, went to DRC today. This is located on Prairie View and N. Pea Ridge Road and issues with right-of-way requirements are being discussed.

City Council status update given.

Ms. Zendt mentioned the upcoming interview schedules for the selection of the new Planning Director. Ms. Zendt will be moving to northern Alabama to join her husband. An executive search is being conducted to find a new Director and Staff would like input from the P&Z Commissioners. Ms. Zendt's last day will be July 26th.

Commissioner Jones asked about the ETJ and who responds to medical emergencies. Fire Marshall Christian responded Scott and White because they run most of the county and they do stage ambulances outside the city. Commissioner Jones asked about fires and Fire Marshall Christian stated it may depend on where the fire is located. Once you get out of the city limits, the volunteer fire departments usually respond. Ms. Zendt stated there were fire protection agreements for support. Fire Marshall Christian stated they did have standing mutual aid agreements and if called, they would always go.

There being no further discussion, Chair Staats adjourned the meeting at 5:15 P.M.



PLANNING AND ZONING COMMISSION AGENDA ITEM

07/15/13
Item #2
Regular Agenda

APPLICANT / DEVELOPMENT: All County Surveying

CASE MANAGER: Mark Baker, Planner

ITEM DESCRIPTION: P-FY-13-13 Consider and take action on the Final Plat for Brazos Bend Subdivision, a \pm 5.50 acre, 19-lot, 2 tract, 1- block, Office 2 (O-2) residential subdivision, located on the west side of Old Waco Road, north of Brandon Drive. The property is addressed as 510 Old Waco Road.

ITEM SUMMARY: The Development Review Committee reviewed the Final Plat for Brazos Bend Subdivision on February 6, 2013. The plat was deemed administratively complete on July 3, 2013.

The Final Plat of Brazos Bend Subdivision, a 19-lot, 2 tract, 1 block, Office 2 (O-2) residential subdivision located on the west side of Old Waco Road, north of Brandon Drive and South of Conner Park. The property is addressed as 510 Old Waco Road.

Old Waco Road is identified as a proposed major arterial in the Thoroughfare Plan. It is anticipated that at some point in the future, Old Waco Road will be built to arterial standards when design and final right-of- way (ROW) acquisition have been completed. The Citywide Trails Master Plan calls for a minimum 10' wide trail along the subject property's frontage of Old Waco Road. Per Section 8.2.3 of the Unified Development Code, a 6-foot wide sidewalk is required and will be constructed at a later date as part of the road improvement project.

The plat proposes the creation of an approximate 500' long local street to be named Cameron Park Road. The street will have a ROW of 50' with a paved surface of 31' in accordance with UDC Section 8.2.1C.

There are existing 24" and 4" waterlines in Old Waco Road. Water service will be provided by extending an 8" waterline down the length of Cameron Park Road. Sewer service is available from an 8" line in Brandon Drive. The plat proposes to extend the existing 8" sewer line from Brandon Drive through Old Waco Road and down Cameron Park Road. The plat shows an existing 50' wide drainage and utility easement, which is part of the Old Waco West subdivision, located on the southern boundary of the proposed plat.

STAFF RECOMMENDATION: Staff recommends approval of the Final Plat for Brazos Bend Subdivision.

FISCAL IMPACT: Total required park fees are \$8,550.00 (\$225 per dwelling unit). Calculation based on 19 residential lots developed as duplexes.

ATTACHMENTS:

Final Plat
Utility Plan

FINAL PLAT of BRAZOS BEND SUBDIVISION

WITHIN THE CITY OF TEMPLE, BELL COUNTY, TEXAS

Being part of the NANCY CHANCE SURVEY, ABSTRACT 5, Bell County, Texas, being the remainder of a called 5.50 Acre tract conveyed to EXTRACO BANKS, NA, custodian of the Todd Scott IRA in Document No. 2011-0004131, Official Public Records of Real Property, Bell County, Texas.

This plat is to accompany a metes and bounds description of the herein shown 5.240 acre tract.

LOTS - 19
TRACTS - 2
BLOCKS - 1
AREA - 5.240 ACRES
0.873 ACRE IN ROADWAY

Based upon what can be scaled from the graphics shown on a LOMR Federal Insurance Rate Map (FIRM), Community Panel No. 48021C0339E, dated September 8, 2011, a portion of the above shown property DOES appear within the "Special Flood Hazard Area", and appears to be situated in Zone X. This Flood statement does not imply that this tract will or will not flood, nor does it create any liability in such event on the part of this surveyor or company.

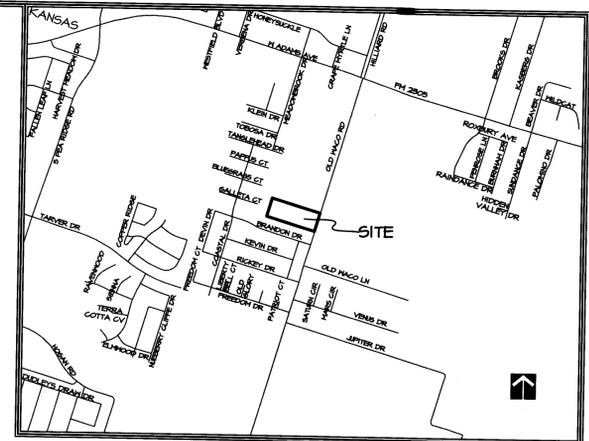
This project is referenced to the City of Temple Coordinate System, an extension of the Texas Coordinate System of 1983, Central Zone. All distances are horizontal surface distances unless noted and all bearings are grid bearings. All coordinates are referenced to City Monument No. 3. The combined correction factor (CCF) is 0.999847. Grid distance = Surface distance X CCF. Geodetic north = Grid north + theta angle. Published City coordinates for City Monument No. 3 are N= 10360408.04 E= 3225333.71. Reference to City Monument No. 3 to the northeast corner of said 5.240 acre tract is N 55°11'41" W 20380.05 feet.

NOTES

All corners are 5/8" Iron Rods with cap stamped "ACS", unless otherwise noted.

There is a 5' Side Building Line along the side lot lines of all lots except as noted otherwise.

A minimum 6' wide sidewalk with accessible crossings is required along Old Waco Road.



VICINITY MAP - N.T.S.

STATE OF TEXAS
COUNTY OF BELL

EXTRACO BANKS, NA, custodian of the Todd Scott IRA, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS BRAZOS BEND SUBDIVISION, WITHIN THE CITY OF TEMPLE, BELL COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN HEREON WITHIN THE PLAT BOUNDARIES OF THIS SUBDIVISION.

BY: _____ DATE _____
Jacob L. Herndon
Trust Officer, Extraco Banks

STATE OF TEXAS
COUNTY OF BELL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JACOB HERNDON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____ 2013.

NOTARY PUBLIC, STATE OF TEXAS

THIS FINAL PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF TEMPLE, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION. DATED THIS _____ DAY OF _____, 2013.

CHAIRPERSON _____ SECRETARY, PLANNING & ZONING _____

AFFIDAVIT:

The Tax Appraisal District of Bell County, the taxing authority for all taxing entities in Bell County, Texas, does hereby certify that there are currently no delinquent taxes due or owing on the property described by this plat.

Dated this the _____ day of _____, 2013.

By: _____
Bell County Tax Appraisal District

STATE OF TEXAS
COUNTY OF BELL

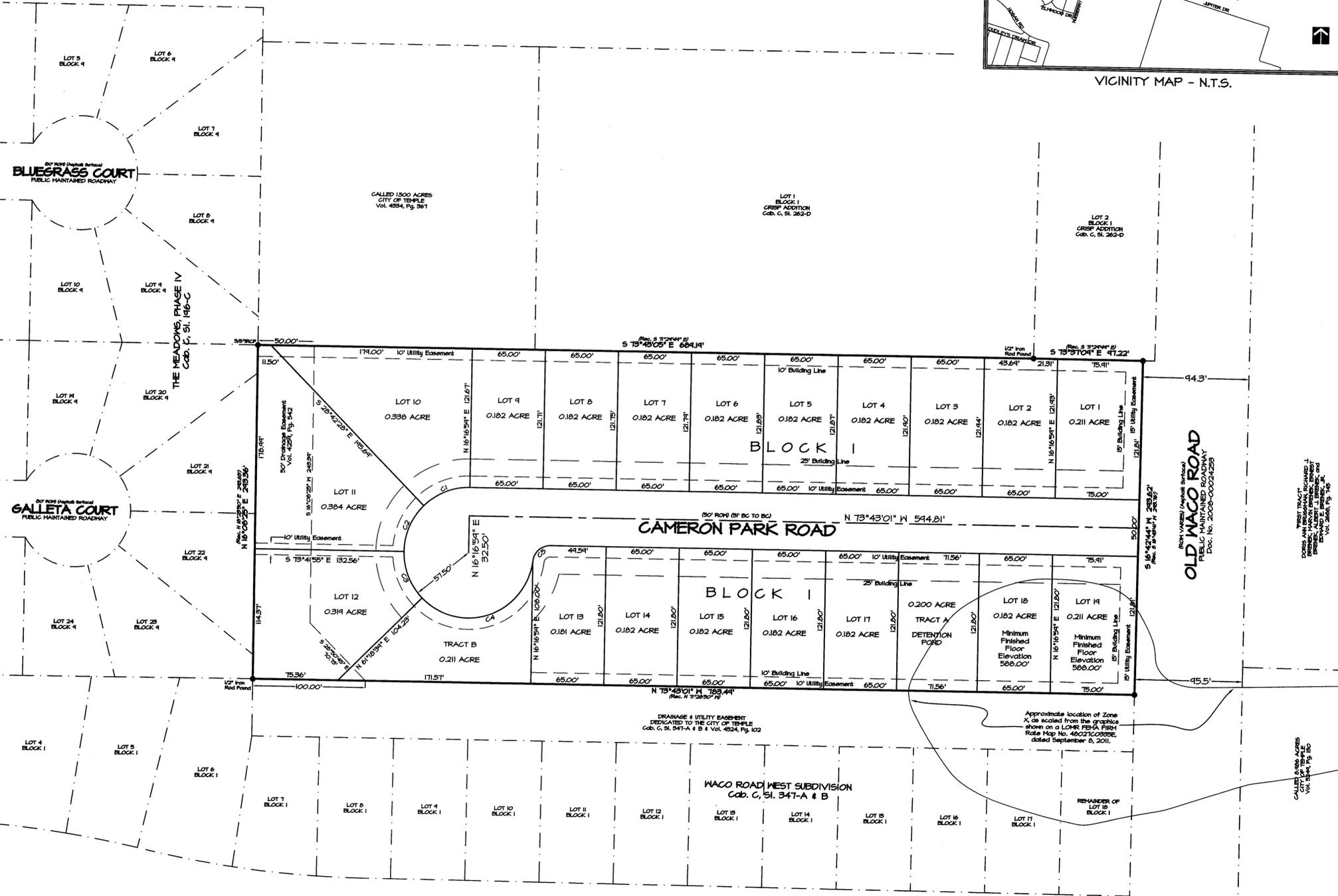
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT.

JUSTIN FULLER, PE
Registration Number 100183

STATE OF TEXAS
COUNTY OF BELL

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS PLAT IS TRUE AND CORRECT, THAT IT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT ALL NECESSARY SURVEY MONUMENTS ARE CORRECTLY SHOWN THEREON.

CHARLES C. LUCKO, R.P.L.S. DATE SURVEYED: AUGUST 25, 2012
REGISTRATION NO. 4636



RECORDATION INFORMATION:
PLAT RECORDED IN CABINET _____ SLIDE _____ PLAT RECORDS OF BELL COUNTY, TEXAS
DEDICATION RECORDED IN INSTRUMENT NO. _____ OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF BELL COUNTY, TEXAS
FILED THIS THE _____ DAY OF _____, 2013.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	57.50'	45.15'	44.00'	S 83°47'15" W	44°54'21"
C2	57.50'	45.15'	44.00'	S 36°47'44" W	44°54'21"
C3	57.50'	45.15'	44.00'	S 06°11'36" E	44°54'21"
C4	57.50'	124.20'	103.68'	N 86°50'34" E	128°44'10"
C5	15.50'	22.65'	20.68'	N 64°28'43" E	63°42'30"

FINAL PLAT of
BRAZOS BEND SUBDIVISION
WITHIN THE CITY OF TEMPLE, BELL COUNTY, TEXAS

ALL COUNTY SURVEYING, INC.
1303 South 21st Street, Temple, Texas 76504
(254) 718-2272 FAX (254) 714-7608



Copyright 2013 All County Surveying, Inc.
Plot date: 05-10-2013

Job No: 120554
Date: 08-25-2012
Scale: 1" = 50'
Drawing No: 12055404P
Drawn By: SLW
Checked By: CCL

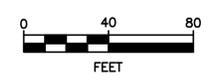


LEGEND

	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED 4" DIA. MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED 8" C900 PVC CLASS 150 WATER MAIN
	PROPOSED 8" PVC SDR 26 SANITARY SEWER MAIN
	PROPOSED STORM SEWER

- KEYED NOTES**
1. CAUTION!!! EXISTING POWER POLE/LIGHT POLE
 2. CAUTION!!! OVERHEAD ELECTRIC
 3. EXISTING TELEPHONE/FIBER OPTIC
 4. EXISTING FENCING
 5. EXISTING WATER MAIN/METER
 6. EXISTING SANITARY SEWER
 7. EXISTING STORM SEWER
 8. NEW SANITARY SEWER MAIN
 9. NEW WATER MAIN
 10. NEW FIRE HYDRANT
 11. NEW STORM SEWER

- NOTES**
1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE DEMOLITION OF EXISTING STRUCTURES, PAVEMENT SECTIONS, VEGETATION, ETC. WITH OWNER.
 2. EXISTING UTILITIES WERE LOCATED BY FIELD RESEARCH/OBSERVATION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND COORDINATE UTILITY REMOVAL AND RELOCATION WITH OWNER AND APPROPRIATE UTILITY COMPANY.



Date: _____ Revisions _____
Remarks: _____

DRAWING STATUS

THESE DRAWINGS WERE PREPARED UNDER THE AUTHORITY OF THE PROFESSIONAL ENGINEER LICENSE NO. 100163, CLARK & FULLER, PLLC, FIRM NO. F-10584.

THIS DRAWING IS RELEASED FOR THE PURPOSES OF PERMIT REVIEW ONLY AS PER DATE ON DRAWING. IT IS NOT TO BE USED FOR BIDDING OR CONSTRUCTION PURPOSES. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED COMPLETE.

ENCLOSURE
FINAL DRAWINGS

**BRAZOS BEND SUBDIVISION
NEW SITE DEVELOPMENT**
TEMPLE, TEXAS



CLARK & FULLER
CIVIL ENGINEERING • DESIGN • PLANNING
215 North Main Street, Temple, TX 76701
254.899.0899 www.clarkfuller.com F-10584

TOPO-UTILITY PLAN

Project No:	121266.01
Plot Date:	5-14-13
Drawn By:	DGR
Designed By:	JBF

C1.1



PLANNING AND ZONING COMMISSION ITEM MEMORANDUM

07/15/13
Item #3
Regular Agenda
Page 1 of 2

APPLICANT / DEVELOPMENT: Mitchell & Associates for JRBC Investments LLC.

CASE MANAGER: Tammy Lyerly, Senior Planner

ITEM DESCRIPTION: P-FY-13-30 Consider and recommend action on the Preliminary Plat of Brayson Crossing, a 6.008 ± acres, 9-lot, 1-block residential subdivision with a requested exception to Unified Development Code Section 8.3 C: Park Land Dedication: General Requirements in the Extraterritorial Jurisdiction to waive park fees **and** a requested exception to Chapter 12 of the Code of Ordinances, Section 12-10, Fire Apparatus Access Roads, to allow a private apparatus access road that has a combined pavement and concrete ribbon curb width of no less than thirteen feet, instead of the minimum required width of eighteen feet on both sides of an entrance island, located in the western E.T.J., at the northeast corner of FM 439 and Sparta Loop.

STAFF RECOMMENDATION: Staff recommends approval of the Preliminary Plat of Brayson Crossing with the developer's requested exception to UDC Section 8.3.C, **and** subject to meeting the minimum required 18-foot pavement width on both sides of an entrance island, per Chapter 12 of the Code of Ordinances, Section 12-10, Fire Apparatus Access Roads.

ITEM SUMMARY: The Development Review Committee reviewed the Preliminary Plat of Brayson Crossing on June 5, 2013. It was deemed administratively complete on June 26, 2013. At its July 1, 2013 meeting, the Planning and Zoning Commission tabled this plat until the next scheduled meeting on July 15, 2013, at the applicant's request.

As of Friday, July 12, 2013 at 11:30 AM, staff has not received any plat revisions or exhibits from the applicant. However, the applicant has indicated to staff of the intent to email letters of support from first responders in the ETJ and exhibits to staff and P&Z commission members prior to Monday's meeting on July 15, 2013. Although staff recommends adhering to standards adopted by the City of Temple Fire Code, the applicant's letters from first responders in the ETJ should also be considered.

After the July 1, 2013, Planning and Zoning Commission meeting, the applicant submitted a letter requesting an exception to required park fees. UDC Section 8.3 C General Requirements in the Extraterritorial Jurisdiction states that park land dedication is not required in the City's ETJ if all of the following circumstances exist:

1. The area proposed for development is more than one mile from the existing city limits;
2. The proposed subdivision will create fewer than nine lots; and
3. The City has not set forth plans to annex the area proposed for development in the City's Municipal Annexation Plan.

The proposed development meets conditions 1 and 3. The proposed plat has exactly nine residential lots. Staff supports the applicant's request to waive the required park fees in the sum of \$2,025 (\$225 per dwelling), per the Unified Development Code.

Preliminary Plat of Brayson Crossing is a 9-lot, 1-block, single family residential subdivision located in the western E.T.J., at the northeast corner of FM 439 and Sparta Loop.

Tract A consists of two private streets, Brayson Oaks Drive and Brayson Oaks Court, with 22-foot rights-of-way widths and 20-foot pavement widths. The development proposes entrance islands at F.M. 439 that do not meet the minimum width requirements of Chapter 12 of the Code of Ordinances. The applicant has proposed a private street width of 13 feet on both sides of the proposed entrance island.

The applicant has cited the wrong section of the Fire Code by requesting an exception to Chapter 12 of the Code of Ordinances, Section 12-13, d) Location of Private Fire Apparatus Access Roads and Fire Lanes, to allow a private apparatus access road that has a pavement and concrete ribbon curb width of no less than thirteen feet, instead of the minimum required width of eighteen feet. The private roads proposed throughout the development meet the minimum required width of eighteen feet. The applicant has not met the minimum required width of eighteen feet on both sides of the proposed island entrance, per Section 12-10 of the Fire Code, therefore an exception will be required.

Water will be provided to the subdivision through proposed 6-inch water lines. This development will be serviced by septic system.

City Council is the final plat authority since the applicant requests an exception to the Unified Development Code.

FISCAL IMPACT:

The applicant requests an exception to required park fees in the sum of \$2,025 (\$225 per dwelling), per the Unified Development Code.

ATTACHMENTS:

Letters of Requested Exceptions
Plat

Mitchell & Associates, Inc.
Engineering & Surveying

July 6, 2013

Ms. Tammy A. Lyerly
Senior Planner
City of Temple
Planning Department
2 North Main
Temple, Texas 76501

Re: Brayson Crossing Park Fee Exception

Dear Ms. Lyerly,

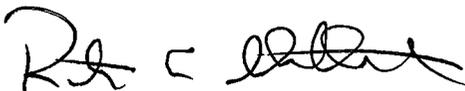
Please let this letter serve as a request for an exception to the UDC, Article 8, Section 3 Park Land Dedication.

Paragraph C of said Section 3 states "Park land dedication will not be required in the City's extraterritorial jurisdiction if all of the following circumstances exist:

1. The area proposed for development is more than one mile from the existing city limits'
2. The proposed subdivision will create fewer than nine lots; and
3. The City has not set forth plans to annex the area proposed for development in the City's Municipal Annexation Plan."

Brayson Crossing has exactly nine (9) lots so it close to meeting the second circumstance. This plat does meet the other two circumstances.

Respectfully,



Robert E. Mitchell, P.E.
Mitchell & Associates, Inc.

Mitchell & Associates, Inc.
Engineering & Surveying

June 25, 2013

Ms. Tammy A. Lyerly
Senior Planner
City of Temple
Planning Department
2 North Main
Temple, Texas 76501

Re: Brayson Crossing Exceptions

Dear Ms. Lyerly,

Please let this letter serve as a request for an exception to the UDC, Article 3, Section 3. The specific exception is to Chapter 12, Section 12 - 13, d) of the Code of Ordinances. The request is to allow a private apparatus access road that has a width less than twenty (20) feet. This request is to allow a private apparatus access road that has a pavement and concrete ribbon curb width of no less than thirteen (13) feet.

A similar request has been granted for the Valley Ranch II Subdivision.

Respectfully,



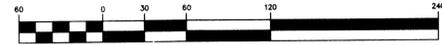
Robert E. Mitchell, P.E.
Mitchell & Associates, Inc.

RECEIVED

JUN 25 2013

City of Temple
Planning & Development

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

STATE OF TEXAS §
COUNTY OF BELL §

BRBC Investments, L.L.C, a Texas limited liability company, owner of the land shown on this plat and designated herein as BRAYSON CROSSING, within the extraterritorial jurisdiction of the City of Temple, Bell County, Texas, and whose name is subscribed hereto, does hereby dedicate for the use of the public forever all streets, alleys, parks, watercourses, drains, easements, and public places shown herein within the plat boundaries of this subdivision.

WITNESS the execution hereof, on this 21 day of JUNE, 2013.

Rebecca Taylor
Rebecca Taylor, President

Before me, the undersigned authority, on this day personally appeared Rebecca Taylor known to me to be the person whose name is subscribed to the foregoing instrument. It has been acknowledged to me that she executed the foregoing instrument as the owner of the property described herein.



Christine Marie Napper
NOTARY PUBLIC STATE OF TEXAS
My Commission Expires: 7/18/16

In approving this plat by the Commissioners' Court of Bell County, Texas, it is understood that the building of all streets, roads, and other public thoroughfares and any bridges or culverts necessary to be constructed or placed is the responsibility of the owners of the tract of land covered by this plat in accordance with the plans and specifications prescribed by the Commissioners' Court of Bell County, Texas. Said Commissioners' Court assumes no obligation to build any of the streets, roads, or other public thoroughfares shown on this plat or of constructing any of the bridges or drainage improvements in connection therewith. The County will assume no responsibility for drainage ways or easements in the subdivision, other than those draining or protecting the public road system and streets. The County assumes no responsibility for the accuracy of representation by other parties in this plat. Flood plain data, in particular, may change depending on the subsequent development.

All easements as shown on this plat are free of liens.

I, the undersigned, city engineer of the City of Temple, hereby certify that this subdivision plat conforms to all requirements of the subdivision ordinance and hereby recommend approval.

City Engineer: _____ Date: _____

This preliminary plat has been submitted to and considered by the Planning and Zoning Commission of the City of Temple, Texas, and is hereby approved by such commission.

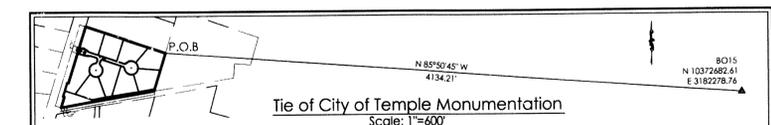
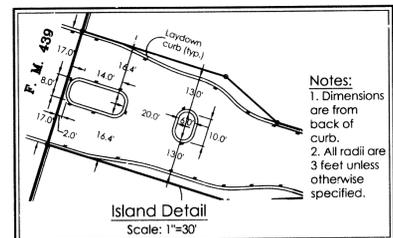
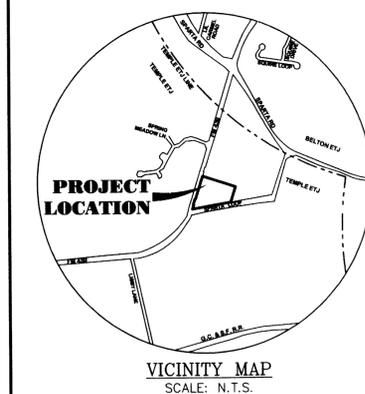
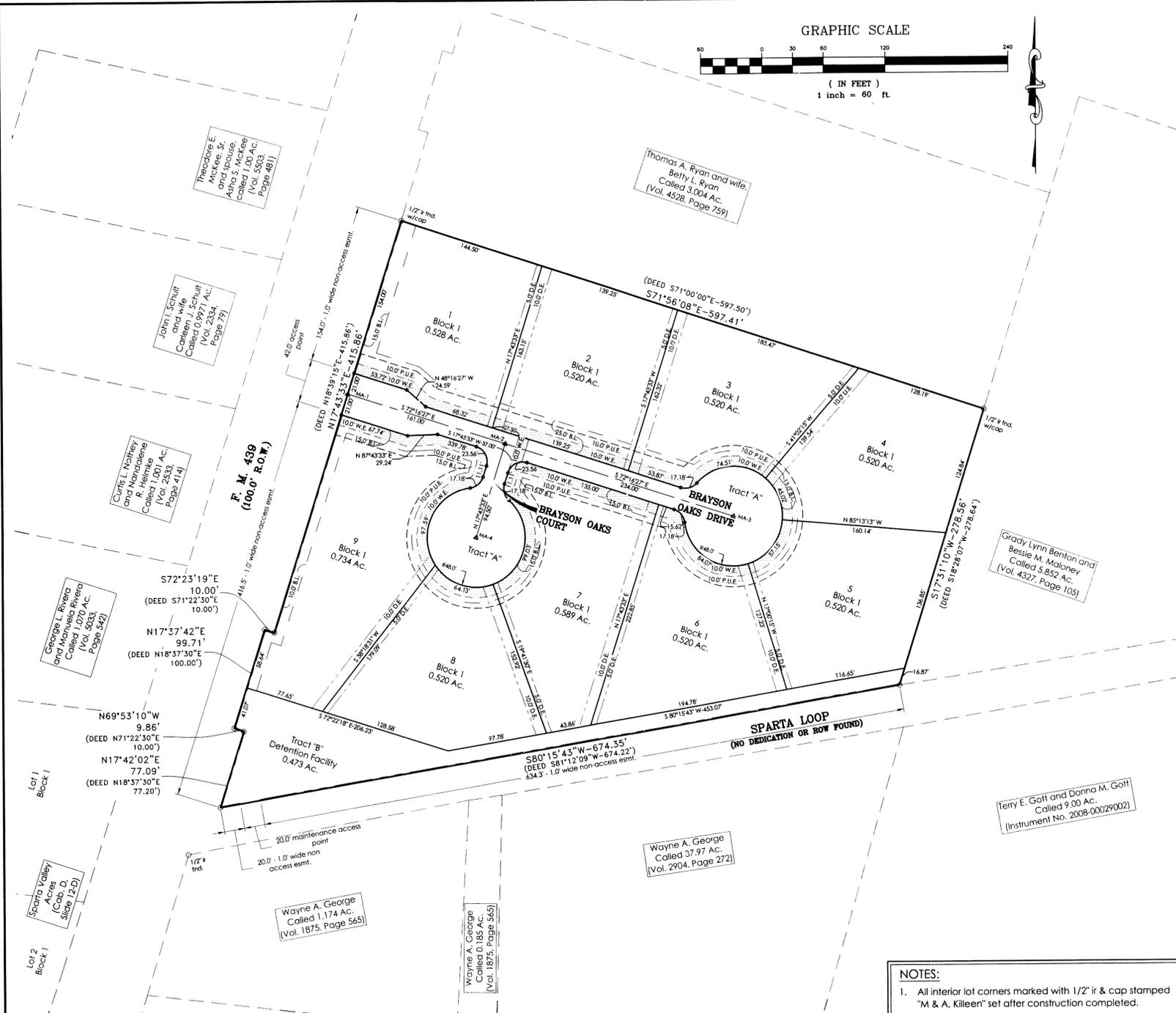
Dated this _____ day of _____, 2013.

Chairperson: _____

KNOW ALL MEN BY THESE PRESENTS,

That I, Rex D. Haas, Registered Professional Land Surveyor, do hereby certify that I did prepare this plat from an actual and accurate survey of the land, that the corner monuments shown hereon were properly placed under my personal supervision in accordance with the subdivision regulations of the County of Bell, Texas, and this subdivision is within the County Limits of Bell County, Texas.

Rex D. Haas
Rex D. Haas
Registered Professional Land Surveyor, No. 4378



MONUMENT	NORTHING	EASTING
MA-1	10373000.6407	3177534.1721
MA-2	10372951.6220	3177687.5285
MA-3	10372880.3774	3177910.4191
MA-4	10372861.6118	3177658.7577

- NOTES:**
- All interior lot corners marked with 1/2" ir & cap stamped "M & A, Killeen" set after construction completed.
 - All property corners are 1/2" ir & cap stamped "M & A, Killeen, found, unless otherwise specified.
 - This subdivision is located in zone X, by the U.S. FEMA Agency Boundary Map, (Flood Insurance Rate Map), Map No. 48027C0325E, effective date September 26, 2008 for Bell County, Texas.
 - This subdivision will be served by on site sewerage facilities (OSS). The Bell County Health Department must approve any on site sewerage facilities installation prior to construction.
 - All bearings are grid bearings referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83.
 - All coordinate values are referenced to City Monument No. B015.
 - The theta angle at City Monument number B015 is +01°27'28".
 - Combined Correction Factor (CCF) is 0.999854.
 - Published City Coordinates for City Monument number B015 are X = 3,182,278.76 and Y = 10,372,682.61.
 - The tie from City Monument number B015 to the northeast corner of this 6.007 acres tract is N85°50'45"W, 4,134.21 feet.
 - Grid Distance = surface distance times CCF.
 - Geodetic North = grid north + theta angle.
 - Area of Tract "A" = 0.564 Acres
Area of residential lots = 4.971 Acres
Area of Tract "B" = 0.473 Acres
 - ir = iron rod
fnd = found
P.U.E. = public utility easement
W.E. = water easement
D.E. = drainage easement
B.L. = building setback line
TBM = temporary bench mark
P.O.B = point of beginning
PAV. = pavement
 - Radii at right of way on lot 3, lot 6, lot 7 & lot 9 are 15' unless otherwise specified.
 - Tract "A" = private streets
Tract "B" = private detention facility
 - Common areas: Tract "A" & Tract "B".
 - Brayson Court & Brayson Oaks Drive:
Right of Way Width = 22.0'
Pavement Width = 20.0'
Along cul-de-sac:
Right of Way Radius = 48.0'
Pavement Radius = 47.0'

I, the undersigned, a registered sanitarian in the State of Texas, hereby certify that this subdivision has been reviewed for compliance with applicable state and county regulations governing On-Site Sewage Facilities and is hereby recommend for approval.

Signature: _____ Date: _____

Title: _____ Bell County Public Health District

The Bell County Tax Appraisal District, the taxing authority for all entities in Bell County, Texas does hereby certify that there are currently no delinquent taxes due or owing on the property described by this plat.

Dated this _____ day of _____, A.D. 2013

BELL COUNTY TAX APPRAISAL DISTRICT

BY: _____

FILED FOR RECORD this _____ day of _____, 2013, in Cabinet _____, Slide _____, Plat _____, Records of Bell County, Texas. Dedication Instrument in Instrument # _____, Official Public Records of Real Property, Bell County, Texas.

BRAYSON CROSSING
CITY OF TEMPLE ET J, BELL COUNTY, TEXAS
PRELIMINARY PLAT

MITCHELL & ASSOCIATES, INC.
ENGINEERING & SURVEYING
102 N. COLLEGE
KILLEEN, TEXAS 76541
PHONE: (254) 634-5541
FAX: (254) 634-2141
TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM REGISTRATION NO. 3241
T. B. P. L. S. FIRM REGISTRATION NO. 10200-00

DWG No. 13-24-D
SCALE: DATE: DRAWN BY: DATE: CHECKED BY: DATE: AREA: 6.008 AC.

Chiseled square west side F.M. 439, south east corner concrete drainage north side drive at 6224 F.M. 439

No.	DATE	REMARKS	BY
1	16/18/2013	CITY OF TEMPLE COMMENTS	
2	16/25/2013	ISLAND DETAIL	



PLANNING AND ZONING COMMISSION ITEM MEMORANDUM

7/15/13
Item #4
Regular Agenda
Page 1 of 1

APPLICANT / DEVELOPMENT: Gary Freytag for Belfair Development, Inc.

CASE MANAGER: Tammy Lyerly, Senior Planner

ITEM DESCRIPTION: P-FY-13-32 Consider and take action on the Final Plat of Wyndham Hill Addition Phase III, a 15.534 ± acres, 60-lot, 5-block residential subdivision, located on the west side of South 5th Street, west of Wyndham Hill Parkway.

STAFF RECOMMENDATION: Staff recommends approval of the Final Plat of Wyndham Hill Addition, Phase III.

ITEM SUMMARY: The Development Review Committee reviewed the Final Plat of Wyndham Hill Addition Phase III on June 19, 2013. The plat was deemed administratively complete on July 8, 2013.

The Final Plat of Wyndham Hill Addition Phase III is a continuation of the Wyndham Hill Addition. It consists of 60 single-family lots on 15.534 acres. The proposed plat complies with its Planned Development Single Family Two District (PD-SF2).

Water services will be provided through 6-inch and 8-inch water lines. Wastewater services will be provided through 6-inch and 8-inch wastewater lines. A 20-foot wide off-site wastewater easement at the north edge of Markham Drive has also been provided on the plat.

The developer will need to ensure that all letters of credit for previous phases of the development are up to date and provide a new letter of credit for this phase in the sum of \$13,560. Letter(s) of credit will need to be updated annually, until such time public park land is dedicated. As an alternative, one letter of credit, to cover all three phases proposed and/or developed may be submitted in the sum of \$52,260.

The Planning and Zoning Commission is the final plat authority since the applicant has not requested any new exceptions to the Unified Development Code.

FISCAL IMPACT:

ATTACHMENTS:

Plat

STATE OF TEXAS
COUNTY OF BELL

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT.

GEORGE E. WALKER, JR. P.E.
REGISTRATION NO. 63360

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF TEMPLE, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.
DATED THIS ____ DAY OF _____, 2013.

PLANNING & ZONING COMMISSION CHAIRMAN

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF TEMPLE, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.
DATED THIS ____ DAY OF _____, 2013.

SECRETARY TO PLANNING & ZONING

AFFIDAVIT:

THE TAX APPRAISAL DISTRICT OF BELL COUNTY, TEXAS, THE TAXING AUTHORITY FOR ALL TAXING ENTITIES IN BELL COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THERE ARE CURRENTLY NO DELINQUENT TAXES DUE OR OWING ON THE PROPERTY DESCRIBED ON THIS PLAT.

DATED THIS THE ____ DAY OF _____, 2013 A.D.

MARVIN HAHN, CHIEF APPRAISER

BY: _____ DEPUTY

STATE OF TEXAS

COUNTY OF BELL

I, THE UNDERSIGNED, BEING THE OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS WYNDHAM HILL ADDITION, PHASE III WITHIN THE CITY LIMITS OF THE CITY OF TEMPLE, BELL COUNTY, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN HEREON WITHIN THE PLAT BOUNDARIES OF THIS SUBDIVISION.

BELFAIR DEVELOPMENT, INC.

GARY FREYTAG, VICE PRESIDENT

STATE OF TEXAS

COUNTY OF BELL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GARY FREYTAG, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 2013.

NOTARY PUBLIC, STATE OF TEXAS

MAJIMO MORGAN TO LEAGUE BRADY
J&B HOLDINGS
TEMPLE, BELL COUNTY, TEXAS

REVISED FRYERS CREEK FLOOD PLAN
CITY OF TEMPLE, WYNDHAM HILLS ADDITION
HYDRAULIC ANALYSIS STUDY PREPARED BY THE G.E. WALKER AND ASSOCIATES, L.L.C. SEPTEMBER 2005

J&B HOLDINGS
CALLED 35,000 ACRES
VOLUME 8021, PAGE 838
O.P.R.B.C.T.

TRACT A
0.696 ACRE
TEMPLE WYNDHAM HILL
PROPERTY OWNERS
ASSOCIATION, INC. PRIVATE
PARK AND DRAINAGE AREA

J&B HOLDINGS
CALLED 21,085 ACRES
B.C.C.D. 200800026980
O.P.R.B.C.T.

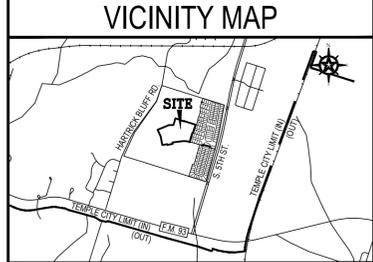
REMAINDER OF
J&B HOLDINGS
CALLED 35,000 ACRES
VOLUME 8087, PAGE 131
O.P.R.B.C.T.

J&B HOLDINGS
CALLED 36,000 ACRES
VOLUME 8021, PAGE 838
O.P.R.B.C.T.

REMAINDER OF
SARA KATHERINE CROSS MARSHALL
SECOND TRACT
CALLED 281.75 ACRES
VOLUME 3223, PAGE 593
O.P.R.B.C.T.

FIELD NOTE
POINT OF
BEGINNING

CITY OF TEMPLE
MONUMENT NO. 3501
N: 10,353,395.12
E: 3,225,922.01
DESC: NEWPORT
(CITY OF TEMPLE
ALUMINUM CAP)



- LEGEND**
- = 1/2" IRON ROD WITH CAP STAMPED "G.E. WALKER" FOUND
 - = 1/2" IRON ROD WITH CAP STAMPED "WALKER PARTNERS" SET
 - D.R.B.C.T. = DEED RECORDS OF BELL COUNTY, TEXAS
 - O.P.R.B.C.T. = OFFICIAL PUBLIC RECORDS OF BELL COUNTY, TEXAS
 - () = PLATTED CALL
 - (*) = PROPOSED STREET LIGHT
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - B.S.L. = BUILDING SETBACK LINE
 - (1) = BLOCK NUMBER

GENERAL NOTES

SURVEYORS NOTE:
BEARINGS BASED UPON CITY OF TEMPLE SURVEY CONTROL MONUMENTS 3500 AND 3501
AFTER COMPLETION OF STREET AND UTILITY CONSTRUCTION MONUMENTS WILL BE SET IN COMPLIANCE WITH CITY OF TEMPLE UNIFIED DEVELOPMENT CODE.

FLOOD NOTE:
FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NOTE: THIS PROPERTY IS IN FEMA "OTHER AREAS" ZONE A AND FEMA ZONE A AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 48023038E, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 20, 2008. THIS FLOOD STATEMENT DOES NOT MEAN THAT THIS TRACT WILL OR WILL NOT FLOOD, NOR DOES IT CREATE ANY LIABILITY IN SUCH EVENT ON THE PART OF THIS SURVEYOR OR COMPANY.

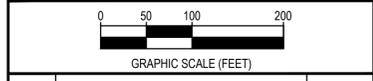
EXPLANATION OF FEMA ZONE:
FEMA "OTHER AREAS" ZONE A - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
FEMA ZONE A - NO BASE FLOOD ELEVATIONS DETERMINED.

COORDINATE NOTE:
THIS PROJECT IS REFERENCED TO THE CITY OF TEMPLE COORDINATE SYSTEM, AN EXTENSION OF THE TEXAS COORDINATE SYSTEM OF 1983 CENTRAL ZONE. ALL DISTANCES ARE HORIZONTAL SURFACE DISTANCES UNLESS NOTED AND ALL BEARINGS ARE GRID BEARINGS. ALL COORDINATES ARE REFERENCED TO CITY MONUMENT NO. 3501. THE THETA ANGLE AT CITY MONUMENT NO. 3501 IS 01°32'12". THE COMBINED CORRECTION FACTOR (CFC) IS 0.99988. GRID DISTANCE = SURFACE DISTANCE X CFC. GEOGRAPHIC NORTH = GRID NORTH + THETA ANGLE. REFERENCE TO FROM CITY MONUMENT NO. 3501 TO THE SOUTHEAST CORNER OF THIS 15.34 ACRE TRACT IS N 80°10'18" W - 191.33 FEET. PUBLISHED CITY COORDINATES FOR PROJECT REFERENCE POINT 3501 ARE: N = 10,303,396.12 E = 3,225,922.01

FIELD NOTES ATTACHED HERETO, MADE A PART HEREOF AND TITLED: WYNDHAM HILL ADDITION, PHASE III, TO THE CITY OF TEMPLE, BELL COUNTY, TEXAS.

SIDEWALK NOTE

SIDEWALK TO BE CONSTRUCTED ON THE NORTH SIDE OF WYNDHAM HILL PARKWAY WILL BE CONSTRUCTED BY THE BUILDER.



REV.	DESCRIPTION	DATE

Wyndham Hill

**FINAL PLAT
WYNDHAM HILL ADDITION
PHASE III
TO THE CITY OF TEMPLE, BELL
COUNTY, TEXAS**

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THIS PLAT AND THE SURVEY UPON WHICH IT IS BASED MEETS THE REQUIREMENTS FOR LAND SURVEYS IN THE STATE OF TEXAS. SURVEYED DURING THE MONTH OF MAY, 2013.

RELEASE DATE:
PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

MARTY PAUL POLK, R.P.L.S. 6031	
PLAT NUMBER	D1-0234
PROJECT NUMBER	1-02098
DRAWN BY/CHECKED BY	MPP/KRH
FIELD NOTE NO.	NA
DRAWING NAME	1-02098P1N.DWG
DRAFT DATE	05/13/13
SHEET NUMBER	1 OF 1

RECORDATION INFORMATION:
PLAT RECORDED IN CABINET ____ SLIDE ____
PLAT RECORDS OF BELL COUNTY, TEXAS

DEDICATION RECORDING #
OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF BELL COUNTY, TEXAS

CURVE	LENGTH	RADIUS	DELTA	CHORD
C-1	96.42	650.00	8°29'57"	N 18°33'54" W - 96.33
C-2	244.56	300.00	46°42'24"	S 37°40'08" E - 237.64
C-3	187.51	300.00	35°48'44"	S 78°55'42" E - 184.48
C-4	273.79	650.00	24°08'01"	N 84°48'03" W - 271.77
C-5	127.15	250.00	29°08'28"	N 03°59'56" E - 125.79
C-6	42.19	250.00	9°40'12"	N 23°24'16" E - 42.14
C-7	123.72	300.00	23°37'44"	N 16°25'30" E - 122.85
C-8	113.71	75.00	86°51'55"	S 48°02'36" W - 103.13
C-9	220.93	800.00	15°49'22"	N 80°38'45" W - 220.23
C-10	100.50	677.50	8°29'57"	S 18°32'54" E - 100.41
C-11	120.66	272.50	25°22'11"	S 27°00'11" E - 119.68
C-12	102.12	47.00	124°29'21"	N 78°04'13" E - 83.18
C-13	53.83	275.00	11°12'54"	N 10°13'05" E - 53.74
C-14	151.61	100.00	86°51'55"	N 48°02'36" E - 137.50
C-15	15.95	825.00	1°06'28"	S 87°58'12" E - 15.95
C-16	57.11	825.00	3°57'59"	S 85°25'59" E - 57.10
C-17	54.66	825.00	3°47'48"	S 81°33'06" E - 54.65
C-18	60.23	825.00	4°10'59"	S 77°33'44" E - 60.22
C-19	39.88	825.00	2°46'10"	S 74°09'59" E - 39.87
C-20	30.46	775.00	2°15'06"	S 87°23'57" E - 30.45
C-21	62.35	775.00	4°36'34"	S 83°58'03" E - 62.33
C-22	65.91	775.00	4°52'21"	S 79°13'38" E - 65.89
C-23	55.31	775.00	4°05'21"	S 74°44'45" E - 55.30
C-24	75.80	50.00	86°51'55"	S 48°02'36" W - 68.79
C-25	47.94	272.50	10°04'50"	S 88°12'21" W - 47.88
C-26	126.15	74.00	97°40'33"	N 37°54'58" W - 111.42
C-27	7.79	74.00	6°02'02"	N 13°58'20" E - 7.79

CURVE	LENGTH	RADIUS	DELTA	CHORD
C-28	51.04	325.00	8°59'55"	N 12°27'24" E - 50.99
C-29	18.98	325.00	3°20'47"	N 06°17'02" E - 18.98
C-30	14.79	677.50	1°15'04"	N 83°47'28" E - 14.79
C-31	53.45	677.50	4°31'12"	N 86°40'35" E - 53.43
C-32	58.47	677.50	4°56'43"	S 88°35'28" E - 58.46
C-33	53.48	677.50	4°31'20"	S 83°51'28" E - 53.46
C-34	59.35	677.50	5°01'08"	S 79°05'12" E - 59.33
C-35	45.84	677.50	3°52'35"	S 74°38'20" E - 45.83
C-36	3.00	622.50	0°16'34"	N 83°18'13" E - 3.00
C-37	65.46	622.50	5°01'29"	N 86°27'15" E - 65.43
C-38	68.92	622.50	6°20'38"	S 87°21'42" E - 68.89
C-39	69.07	622.50	6°21'27"	S 81°00'40" E - 69.04
C-40	55.75	622.50	5°07'54"	S 75°16'00" E - 55.73
C-41	100.40	51.00	112°47'56"	N 45°49'40" E - 84.96
C-42	56.01	327.50	9°47'58"	S 82°40'21" E - 55.95
C-43	52.94	327.50	9°15'44"	N 87°47'48" E - 52.88
C-44	57.24	622.50	5°16'05"	S 20°10'52" E - 57.22
C-45	35.11	622.50	3°19'54"	S 15°55'53" E - 35.11
C-46	25.64	327.50	4°29'06"	S 16°33'29" E - 25.63
C-47	60.09	327.50	10°30'48"	S 24°03'26" E - 60.01
C-48	25.06	327.50	4°23'00"	S 31°30'20" E - 25.05
C-49	35.46	666.00	3°03'03"	S 32°10'19" E - 35.46
C-50	81.94	666.00	7°02'58"	S 27°07'18" E - 81.89
C-51	61.92	666.00	5°14'59"	S 20°58'20" E - 61.00
C-52	60.27	666.00	5°11'05"	S 15°45'17" E - 60.25
C-53	30.12	666.00	2°35'27"	S 11°52'01" E - 30.11

Belfair
Development Inc.

**LOTS-60
BLOCKS-5
AREA-15.534 ACRES**

7353 West Adams Avenue - Temple, Texas 76502 - 254/300-1939



PLANNING AND ZONING COMMISSION AGENDA ITEM

07/15/13
Item #5
Regular Agenda
Page 1 of 5

APPLICANT/ DEVELOPMENT: Brad Dusek

CASE MANAGER: Mark Baker, Planner

ITEM DESCRIPTION: Z-FY-13-27 Hold a public hearing to discuss and recommend action on a zone change from Agricultural District (AG) to Single Family Dwelling 1 District (SF-1) on 17.65 ± acres, being part of the S.P. Terry survey, Abstract No. 812, in Bell County, Texas, located on the north side of FM 2305 east of Arrowhead Point Road.

STAFF RECOMMENDATION: Based on the following discussion, staff recommends approval for a zone change from AG to SF-1 for the following reasons:

1. The proposed zoning does not comply with the Future Land Use Map which identifies this area as Estate Residential, but is consistent with the adjacent SF-1 district to the north and with the suburban character of the area;
2. The request complies with the Thoroughfare Plan;
3. The proposed zoning is compatible with the surrounding uses; and
4. Public facilities are available to serve the subject property.

ITEM SUMMARY: According to the City of Temple Comprehensive Plan / Future Land Use Plan (FLUP), the subject property is within the designated Estate Residential District. The Estate Residential district is for rural development on larger lots. The lots would generally be located on the City's fringes with a character and lifestyle setting of the ETJ. The minimum lot size should be larger than the City's current Urban Estates standard of one-half acre, and then this minimum could be reduced with a corresponding increase in the required open space ratio, for developments that cluster the estate lots within an overall site. The zoning most fitting for the Estate Residential FLUP district is the Urban Estate (UE) zoning district. Although the zoning request does not fully comply with the FLUP, staff recommends approval as this zoning designation is compatible with the adjacent land use and will continue the suburban pattern of development. If approved, the FLUP will need to be updated.

Although it is anticipated the property will be developed with detached single-family residences, there are a number of uses that are permitted by right. Those uses include but are not limited to:

Residential uses

Family or Group Home
Industrialized Housing

Nonresidential uses

Farm or Ranch
Park or Playground
Fire Station
Gas line Regulating Station

Prohibited uses include HUD-Code manufactured homes and land lease communities, duplexes and apartments. All commercial and industrial uses are prohibited, except these uses allowed by an approved conditional use permit. The uses include but are not limited to: temporary asphalt concrete batching plants, a petroleum or gas well or a cemetery, crematory or mausoleum.

SURROUNDING PROPERTY AND USES: The following table shows the subject property, existing zoning and current land uses:

Direction	Zoning	Current Land Use	Photo
Subject Property	AG	Existing Single-Family Residence on acreage	

Direction	Zoning	Current Land Use	Photo
North	SF-1	Single Family Residential (Eagle Oaks at the Lakes subdivision)	
South	AG & ETJ	Scattered S.F. Residential and Non-Residential Uses	

Direction	Zoning	Current Land Use	Photo
East	AG	Scattered Single-Family Uses	
West	AG	Scattered Single-Family Uses & Non-Residential Uses	

COMPREHENSIVE PLAN COMPLIANCE: The proposed rezoning relates to the following goals, objectives or maps of the Comprehensive Plan and Sidewalk and Trails Plan:

CP	Map 3.1 - Future Land Use and Character (FLUP)	Estate Residential is identified for the subject property as well as identified in three of the four	Y
----	--	--	---

		directions from the subject property. Suburban Commercial is identified in a strip along the south side of FM 2305. Agriculture/Rural is identified further surrounding the immediate area on three of four sides.	
CP	Map 5.2 - Thoroughfare Plan	The subject property has frontage on FM 2305 which has been identified as a major arterial.	Y
CP	Goal 4.1 - Growth and development patterns should be consistent with the City's infrastructure and public service capacities	The subject property is served by 6" water lines in FM 2305. There is no city sewer line serving the immediate area however, there is a 12" sewer line in FM 2305 approx. 0.8 mile to the east.	Y
STP	Temple Trails Master Plan Map & sidewalks	Master Plan Map has not identified any proposed trails within the development. Per UDC section 8.2.3, sidewalks are required on both sides of arterials.	Y

CP = Comprehensive Plan STP = Sidewalk and Trails Plan

DEVELOPMENT REGULATIONS: Standard residential setbacks in the SF-1 district are:

- Front - 25'
- Side - 10% of Lot Width 6' Min
- Side (corner) - 15'
- Rear - 10'

Sidewalks are required on both sides of arterials per UDC Section 8.2.3. The sidewalks will be required at time of development.

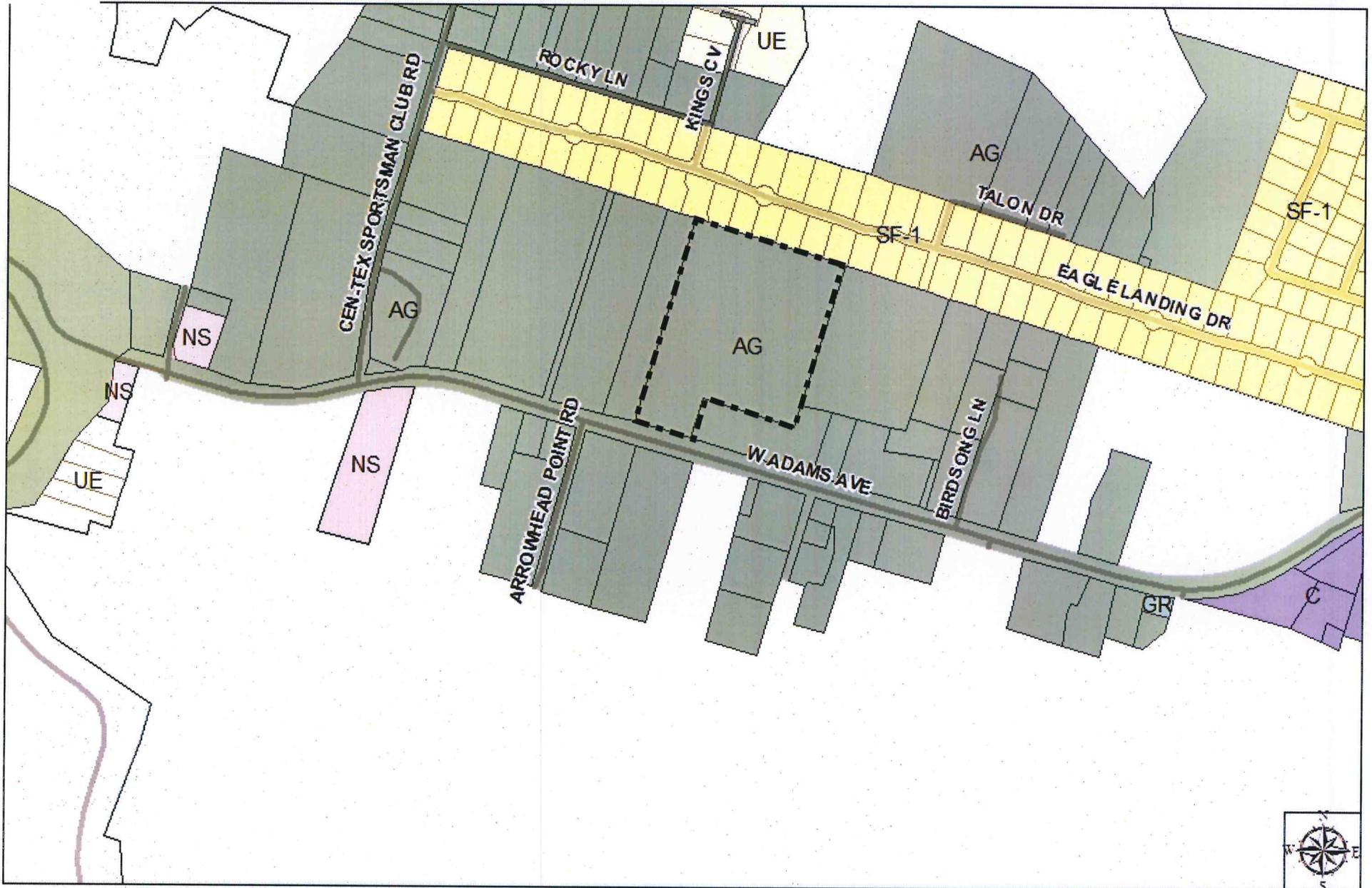
PUBLIC NOTICE: Seventeen notices of the Planning and Zoning Commission public hearing were sent out to property owners within 200-feet of the subject property as required by State law and City Ordinance. As of Friday July 12, 2013 at 5:00 PM, Two notices for approval and one notice for denial for the zone change have been received.

The newspaper printed notice of the Planning and Zoning Commission public hearing on July 4, 2013, in accordance with state law and local ordinance.

FISCAL IMPACT: Not Applicable

ATTACHMENTS:

- Zoning and Location Map
- Future Land Use and Character Map
- Buffer Notification Map
- Returned Property Owner Notices

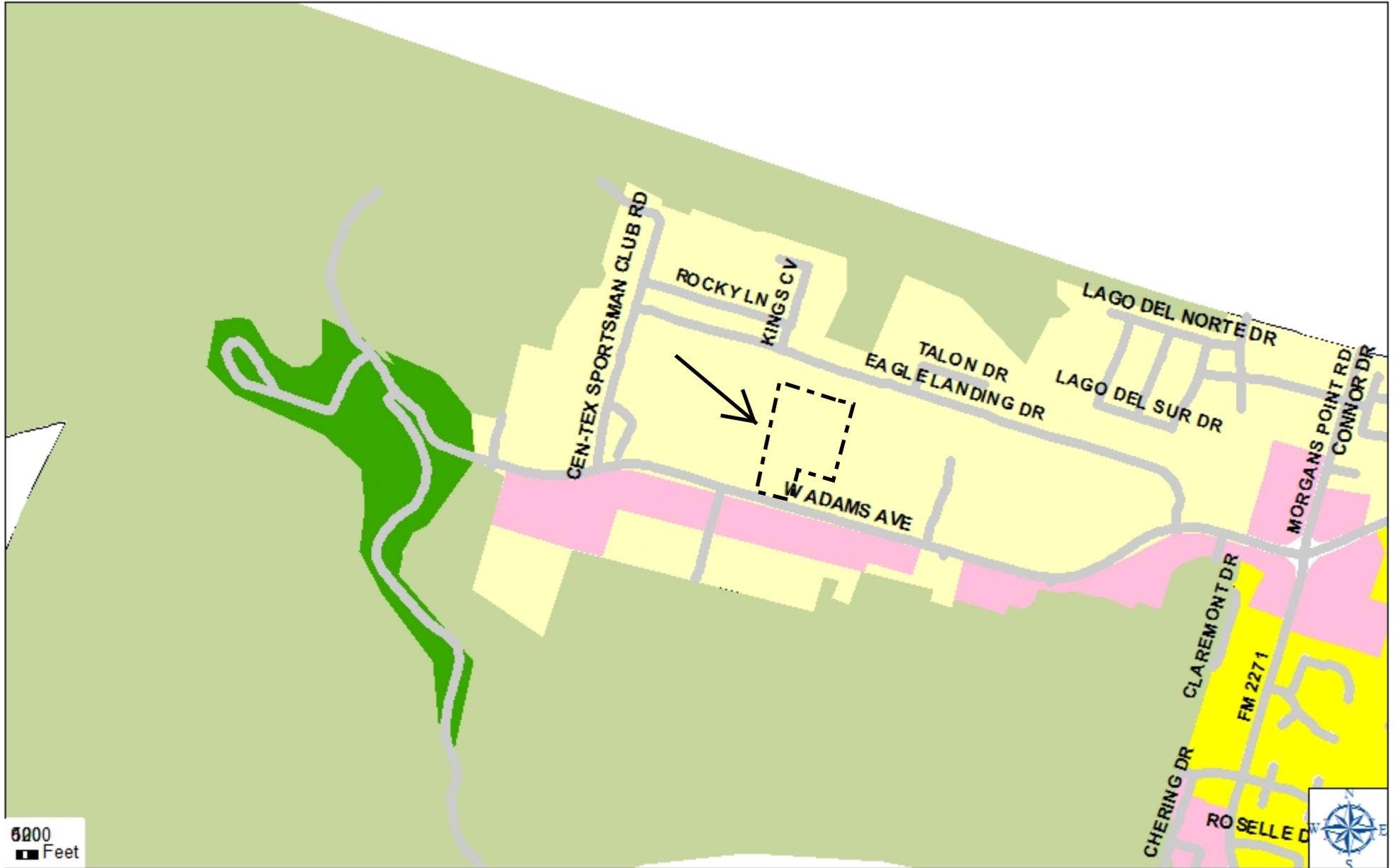


- Case
- Zoning
- Subdivisions
- Parcel
- Outblocks 1
- Addresses 1
- Blocks
- Lots

0500200
Feet

7/3/2013
City of Temple GIS

GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.



Future Land Use

- | | | | | |
|---------------------------|-------------------------|-----------------------|-----------------------------------|----------------------|
| Neighborhood Conservation | Auto-Urban Residential | Auto-Urban Commercial | Temple Medical Education District | Public Institutional |
| Estate Residential | Auto-Urban Multi-Family | Suburban Commercial | Industrial | Parks & Open Space |
| Suburban Residential | Auto-Urban Mixed Use | Urban Center | Business Park | Agricultural/Rural |

GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.



**RESPONSE TO PROPOSED
ZONE CHANGE REQUEST
CITY OF TEMPLE**

Joann M. Tuck Hodges Etal
8600 South Wells Road
Rogers, Texas 76569

Zoning Application Number: Z-FY-13-27

Project Manager: Mark Baker

Location: 201 South Main Street

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend approval () denial of this request.

Comments:


Signature

JoAnn Hodges
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than July 15, 2013

**City of Temple
Planning Department
Room 102
Municipal Building
Temple, Texas 76501**

RECEIVED

JUL 05 2013

City of Temple
Planning & Development

Number of Notices Mailed: 17

Date Mailed: July 3, 2013



**RESPONSE TO PROPOSED
ZONE CHANGE REQUEST
CITY OF TEMPLE**

Howard & Diedre Steinman
2801 Dame Brisen Drive
Lewisville, Texas 75056

Zoning Application Number: Z-FY-13-27 **Project Manager:** Mark Baker

Location: 201 South Main Street

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval denial of this request.

Comments: It will decrease the value of our
house that backs up to it

Diedre Steinman
Signature

Diedre Steinman
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than July 15, 2013

**City of Temple
Planning Department
Room 102
Municipal Building
Temple, Texas 76501**

RECEIVED
JUL 10 2013
City of Temple
Planning & Development



**RESPONSE TO PROPOSED
ZONE CHANGE REQUEST
CITY OF TEMPLE**

John Etux Angela Bailey
373 Eagle Landing Drive
Belton, Texas 76513

Zoning Application Number: Z-FY-13-27

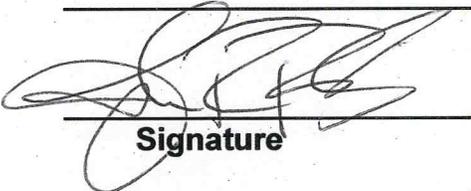
Project Manager: Mark Baker

Location: 201 South Main Street

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend approval () denial of this request.

Comments:


Signature

John R. Bailey
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than July 15, 2013

City of Temple
Planning Department
Room 102
Municipal Building
Temple, Texas 76501

RECEIVED
JUL 11 2013
City of Temple
Planning & Development

Number of Notices Mailed: 17

Date Mailed: July 3, 2013



PLANNING AND ZONING COMMISSION ITEM MEMORANDUM

7/15/13
Item 6
Regular Agenda
Page 1 of 6

APPLICANT / DEVELOPMENT: W. Randy Harrell on behalf of Boose-Mitchell Properties, LTD.

CASE MANAGER: Beverly Zendt, Interim Planning Director

ITEM DESCRIPTION Z-FY-13-28: Hold a public hearing to consider and recommend action on a zone change for the following:

1. Planned Development- Single Family Two District (PD-SF-2) to Multiple Family One District (MF-1) on 35.22 ± acres;
2. Planned Development- Single Family Two District (PD-SF-2) to General Retail District (GR) on 3.40 ± acres;
3. Planned Development- General Retail District (PD-GR) to Multiple Family One District (MF-1) on 1.27 ± acres; and
4. Planned Development- General Retail District (PD-GR) to General Retail District (GR) on 10.80 ± acres.

being out of and part of a called 50.691 ± acres of land out of the Maximo Moreno Survey, Abstract 14, Bell County, Texas located at the northeast corner of South 5th Street and F.M. 93.

STAFF RECOMMENDATION: The staff recommendation is as follows:

1. Planned Development- Single Family Two District (PD-SF-2) to Multiple Family One District (MF-1) on 35.22 ± acres – recommend disapproval;
2. Planned Development- Single Family Two District (PD-SF-2) to General Retail District (GR) on 3.40 ± acres- recommend disapproval;
3. Planned Development- General Retail District (PD-GR) to Multiple Family One District (MF-1) on 1.27 ± acres- recommend disapproval; and
4. Planned Development- General Retail District (PD-GR) to General Retail District (GR) on 10.80 ± acres- recommend approval.

ITEM SUMMARY:

In 2008, the tract was divided into two zoning districts, PD-SF2 and PD-GR. At that time staff was directed by City Council to work with the applicants to create planned development standards for both districts that addressed screening and buffering of residential uses. Additionally, City Council asked staff to provide screening standards on the north and east sides of the PD-GR district and to identify the development triggers for the installation of that screening. The zoning approved at that time included, but was not limited to, the following improvements as part of the Planned Development (see attached Ordinance # 2008 4263):

1. Landscaped walls and buffers between retail and residential uses;
2. Landscaping along FM 93;
3. Landscape islands in non-residential parking lot (hardwood trees required every 20 parking spaces);
4. The installation of buffering walls at the time of infrastructure construction for non-residential portions of development; and
5. Continued maintenance by a Home Owners Association for improvements in the PD-SF2 District.

The property owner is now seeking to rezone this tract from PD-SF-2 and PD-GR to MF-1 and GR. Because the proposed zoning district boundaries do not line up precisely with the previous zoning district boundaries, four separate parts of the total tract will have to be rezoned to achieve a two district zoning designation in accordance with the boundaries requested by the applicant/property owner.

If approved the following uses will be permitted in accordance with Article 5, Use Standards, of the Unified Development Code.

Multifamily-One (MF-1)

The Multiple Family Dwelling 1 zoning district permits typical garden apartment development of one to two stories, allowing approximately 15 units per acre and is intended to be located near, and reasonably accessible to, collectors and arterials, due to the traffic generating capacity of medium density multiple family dwellings.

A Multiple Family Dwelling 1 zoning district will permit a range of uses including but not limited to:

- Single Family Attached Dwelling
- Single Family Detached Dwelling
- Townhouse (subject to limitations)
- Triplex
- Two-family dwelling (duplex)
- No commercial uses
- One industrial use (asphalt plant with a CUP)
- One retail use (Gym with a CUP)
- No entertainment or recreational uses except park or playground
- Private or public school

General Retail (GR)

The General Retail zoning district is the standard retail district and allows most retail uses including retail sales, restaurants, grocery store, department store or offices and residential uses except apartments. The General Retail zoning district is intended to serve larger service areas than

neighborhoods. This district should be located at the intersection of major arterials and should provide total on-site traffic maneuvering such that traffic entering and exiting the facility should have room to turn, stack and park within the confines of the retail facility. Adjoining zoning districts should be carefully selected to reduce environmental conflicts.

A General Retail zoning designation will permit a range of uses including but not limited to:

- Most retail and service uses; off-premise alcohol and beverage sale (beer and wine only);
- Beauty shop; drugstore and pharmacy;
- Off-premise alcohol and beverage sale (all) with a CUP;
- Restaurant with or without drive-ins;
- Food or beverage sales store without fuel sales (fuel sales subject to limitations)
- Three commercial uses: indoor flea market, plumbing shop, and print shop;
- Two industrial uses: asphalt batching plant (CUP) and indoor recycling operation (subject to limitations); and
- Some recreational/entertainment uses: Dance Hall (CUP); day camp for children (CUP); some on premise consumption of alcohol (CUP >75%).

SURROUNDING PROPERTY AND USES:

The following table shows the subject property, existing zoning and current land uses:

Location	Zoning	Current Use	Photo
Subject Property	PD-SF-2 and PD-GR	Undeveloped	

Location	Zoning	Current Use	Photo
South across FM 93	AG	Undeveloped	
East	AG	Residential	
West	AG	Undeveloped	
North	AG and SF-2	Church/ Undeveloped residential	

COMPREHENSIVE PLAN COMPLIANCE:

The proposed rezoning relates to the following goals, objectives or maps of the Comprehensive Plan and Sidewalk and Trails Plan:

Document	Policy, Goal, Objective or Map	Compliance?
CP	Map 3.1 - Future Land Use and Character (FLUP)	N*
CP	Map 5.2 - Thoroughfare Plan	Y*
CP	Goal 4.1 - Growth and development patterns should be consistent with the City's infrastructure and public service capacities	Y*
STP	Temple Trails Master Plan Map and Sidewalks Ordinance	Y*

CP = Comprehensive Plan STP = Sidewalk and Trails Plan

***Future Land Use and Character Plan (FLUP) (CP Map 3.1)**

The Comprehensive Plan/Future Land Use and Character Map identify this area as Suburban Commercial and Suburban Residential in accordance with the following requested zoning designations:

1. Planned Development- Single Family Two District (PD-SF-2) to Multiple Family One District (MF-1) on 35.22 ± acres – **Future Land Use: Suburban Residential**
2. Planned Development- Single Family Two District (PD-SF-2) to General Retail District (GR) on 3.40 ± acres – **Future Land Use Suburban Residential**
3. Planned Development- General Retail District (PD-GR) to Multiple Family One District (MF-1) on 1.27 ± acres- **Future Land Use Suburban Residential**
4. Planned Development- General Retail District (PD-GR) to General Retail District (GR) on 10.80 ± acres – **Future Land Use Suburban Commercial.**

Suburban Residential: This future land use designation is the second least intensive residential land use designation calling for mid-size single family lots, allowing for more separation between buildings and greater emphasis on green spaces vs. streets and driveways. Lot size may be reduced if corresponding increases in landscaping achieve the desired suburban character.

Suburban Commercial: This future land use designation is appropriate for retail and services adjacent to residential neighborhoods and in other areas where the community's image and aesthetic value is to be promoted, such as "gateways" and high profile corridor locations.

Based on the Future Land Use designation for all tracts, only the proposed PD-GR to GR (item 4) district is compatible with the future land use designation, Suburban Commercial. While the GR Zoning District is the most intensive non-residential district recommended for the Suburban Commercial land use, the proposed location for this district (the intersection of two major arterials) can support a more intensive non-residential use providing that all abutting residential uses are appropriately screened and buffered in accordance with UDC standards. Three of the four requested zonings call for either a multi-family or non-residential use in an area identified as Suburban Residential, an area clearly set aside for single family lots of varying densities and corresponding landscape intensities.

In determining whether or not staff will recommend a rezoning, staff typically evaluates the following with particular attention to the Comprehensive Plan/ Future Land Use Map:

- Is the proposed land consistent with the Comprehensive Plan/ Future Land Use Map?
- Do surrounding uses seem compatible and similar to the proposed rezoning?
- Do surrounding zoning designations seem compatible or similar to the proposed rezoning?

This area has a predominantly suburban character with low intensity residential uses and large undeveloped tracts which reflect a somewhat rural character in some places. The proposed rezoning of items 1-3 are not consistent with the Comprehensive Plan/ Future Land Use Map which has identified this area as Suburban Residential reserving this area for residential single family development. Items 1 and 3 are not consistent with either the surrounding uses or the surrounding zoning designations. Item 2, while contiguous to a another GR recommended tract, does not front on two arterials and, unlike Item 4, is not consistent with the Comprehensive Plan/ Future Land Use Map. For this tract, staff would recommend a Neighborhood Service District designation which is more compatible with the abutting residential and limits the uses to those compatible with churches and residential property.

Staff recommends approval of the proposed rezoning identified in item 4. This area has been identified in the Comprehensive Plan/ Future Land Use Map as Suburban Commercial which reserves this area for retail and service related uses adjacent to residential areas.

*Thoroughfare Plan (CP Map 5.2)

The Thoroughfare Plan identifies both South 5th Street and FM 93 as major arterials. Both roads provide sufficient capacity to accommodate the proposed uses.

*Availability of Public Facilities (CP Goal 4.1)

Water is available along South 5th Street by means of a 12" line. Sanitary Sewer has been extended via a private easement to the Memorial Baptist Church site just north of the subject tract. Sewer will have to be extended from either the existing public facilities located north (Alta Vista Subdivision) or west (Wyndham Hill Subdivision) of the subject tract.

*Temple Trails Master Plan Map and Sidewalks Ordinance

The Trails Master Plan does not call for a trail in this general area. Per UDC Section 7.3: Sidewalks will be required along both sides of arterials if a new building or structure is built requiring a building permit. A sidewalk will be required along both FM 93 and South 5th Street.

DEVELOPMENT REGULATIONS:

According to section 7.7.4 of the Unified Development Code:

Continuous buffering is required along the common boundary between nonresidential or multiple-family uses and an agricultural or residential zoning district or use, except where a public street provides buffering. Buffering is also required along the perimeter of a nonresidential or multiple-family use located across an alley from a residential zoning district or use.

Buffering design standards are as follows:

- Buffering may consist of evergreen hedges composed of plants purchased in five-gallon or larger containers, with a minimum planted height of six feet, placed on 36-inch centers.
- Buffering may consist of fences or walls constructed of wood, masonry, stone or pre-cast concrete, with integrated color, texture and pattern. Structural buffering must be from 6 to 8 feet in height above the adjacent grade. Fences or walls used for buffering must not contain openings of more than 20 square inches in each square foot of wall or fence surface. Gates must be equal in height and screening characteristics to the fence or wall in order to create a visual barrier.

The table below identifies all applicable dimensional standards related to the proposed zoning.

Article 4: Zoning Districts																						
Sec. 4.5: Residential Dimensional Standards																						
4.5.1 Single-Family Detached Dwelling																						
Type of Use	AG	UE	SF-1	SF-2	SF-3	SFA-1	SFA-2	SFA-3	TH	2F	MF-1	MF-2	MF-3	O-1	O-2	NS	GR	CA	C	LI	HI	
Min. Lot Area (sq. ft.)	1 ac.	22,500	7,500	5,000	4,000	5,000	3,000	2,300	4,000	6,000	6,000	5,000	--	6,000	6,000	6,000	5,000	5,000	5,000	--	--	
Min. Lot Width (ft.)	100	80	60	50	40	50	30	20	40	50	50	50	--	50	50	50	50	50	50	--	--	
Min. Lot Depth (ft.)	150	125	100	100	100	100	100	100	100	100	100	100	--	100	100	100	100	100	100	--	--	
Min. Front Yard Setback (ft.)	50	30	25	25	15	25	15	15	15	25	25	25	--	25	25*	15	15	See 4.4.4F.1.d*			--	--
Min. Side Yard Setback (ft.)	15	15	10% of lot width 6 min 7.5 max	5	5	5	5	5	10% width of lot 5 min	5	10% of lot width 5 min	10% of lot width 5 min	--	10% of lot width 5 min	10% of lot width 5 min*	10% of lot width 5 min					--	--
Min. Side (Corner) Yard Setback (ft.)	15	15	15	15	15	15	15	15	15	15	15	15	--	15	15*	15	15	15	15	--	--	
Min. Rear Yard Setback (ft.)	10	10	10	10	10	10	10	10	10	10	10	10	--	10	10	10	10	10	10	--	--	
Max. Building Coverage (%) for Rear Half of Lot	50	50	50	50	50	50	50	50	50	50	50	50	--	50	50	50	50	50	50	--	--	
Max. Height (stories)	3	3	2	2 ½	2 ½	2 ½	2 ½	2 ½	2 ½	2 ½	3	4	--	3	ALH	2 ½	3	ALH	ALH	--	--	

ALH = Any Legal Height not prohibited by other laws -- = Use not permitted NA = Use permitted but standard does not apply * = See Sec. 4.4, Measurements and Special Cases

Temple, Texas Unified Development Code
 Effective 12/16/10 • Last Amended 07/19/12
 4-19

PUBLIC NOTICE:

Notices of the Planning and Zoning Commission public hearing was sent out to property owners within 200-feet of case Z-FY-12-22 and responses were received as required by state law and local ordinance in accordance with the following table:

Notices Mailed	Number of Notices Mailed	Approval	Denial
PD-SF-2 to MF-1	4		1
PD-SF-2 to GR	2		
PD-GR to MF-1	1		1
PD-GR to GR	5	1	1

The newspaper printed notice of the Planning and Zoning Commission public hearing on July 4, 2013, in accordance with state law and local ordinance.

FISCAL IMPACT: Not Applicable

ATTACHMENTS:

[Zoning and Location Map](#)

[Ordinance # 2008-4263](#)

[Future Land Use Map](#)

[Surrounding Property Owner Notification Maps](#)

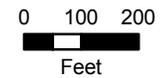
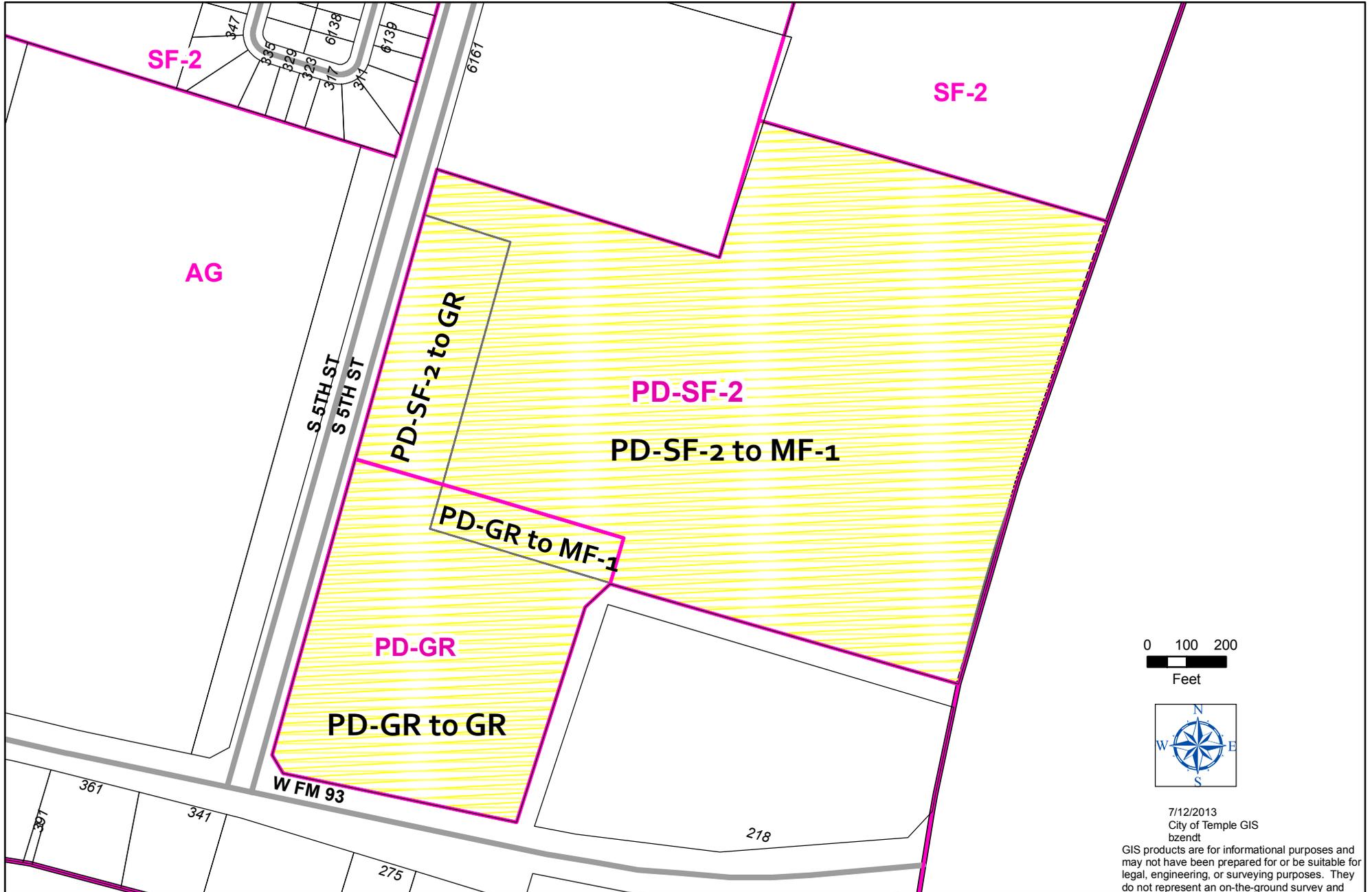
[Surrounding Property Owner Responses](#)



Z-FY-13-28

**Zone Change Request:
PD-SF-2 to MF-1; PD-SF-2 to GR;
PD-GR to MF-1; PD-GR to GR**

Northeast corner of
South 5th Street and
F.M. 93



7/12/2013
City of Temple GIS
bzendt

GIS products are for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. They do not represent an on-the-ground survey and represent only the approximate relative location of property boundaries and other features.

Zoning
 1234 Address
 Case

ORDINANCE NO. 2008-4263

[PLANNING NO. Z-FY-08-37]

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TEMPLE, TEXAS, APPROVING A ZONING CHANGE FROM AGRICULTURAL DISTRICT (A) TO PLANNED DEVELOPMENT GENERAL RETAIL DISTRICT (PD-GR) ON AN APPROXIMATELY 12.2 ACRE TRACT OF LAND AND A ZONING CHANGE FROM AGRICULTURAL DISTRICT (A) TO PLANNED DEVELOPMENT SINGLE FAMILY TWO DISTRICT (PD-SF2) ON AN APPROXIMATELY 38.5 ACRE TRACT OF LAND, FOR A TOTAL REZONING OF APPROXIMATELY 50.7 ACRES OUT OF THE MAXIMO MORENO SURVEY, ABSTRACT NO. 14, ON THE NORTHEAST CORNER OF FM 93 AND SOUTH 5TH STREET, IN ACCORDANCE WITH SECTIONS 7-500 THROUGH 7-509 OF THE COMPREHENSIVE ZONING ORDINANCE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING AN EFFECTIVE DATE; AND PROVIDING AN OPEN MEETINGS CLAUSE.

Whereas, the owner of the property consisting of an approximately 50.7 acres out of the Maximo Moreno Survey, Abstract No. 14, on the corner of FM 93 and South 5th Street, requested a zoning change from Agricultural District (A) to Planned Development General Retail District (PD-GR) on approximately 12.2 acres and a zoning change from Agricultural District (A) to Planned Development Single Family Two District (PD-SF2) on approximately 38.5 acres; and

Whereas, the City Council, after notice and a public hearing, finds that it is in the public interest to authorize this action.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TEMPLE, TEXAS, THAT:

Part 1: The City Council approves a zoning change from Agricultural District (A) to a Planned Development General Retail District (PD-GR) on an approximately 12.2 acre tract of land and a zoning change from Agricultural District (A) to Planned Development Single Family Two District (PD-SF2) on an approximately 38.5 acre tract of land, for a total rezoning of approximately 50.7 acres out of the Maximo Moreno Survey, Abstract No. 14, on the northeast corner of FM93 and South 5th Street, more fully described in Exhibit A, attached hereto and made a part hereof for all purposes.

Part 2: In accordance with Sections 7-500 through 7-509 of the Comprehensive Zoning Ordinance of the City of Temple, Texas, Ordinance No. 91-2101 is amended by changing the zoning classification of the property described in Part 1 above, to Planned

Development (General Retail) District and Planned Development (Single Family Two) District. Development of the property shall comply with all applicable sections of the Code of Ordinances of the City of Temple, Texas, and all local, State and Federal laws and regulations as they may now read or hereafter be amended, including but not limited to the following conditions:

- A. The following uses shall be permitted within the PD-GR District:
1. Antique shop
 2. Art supply store
 3. Retail bakery
 4. Bank or saving and loans office
 5. Barber or beauty shop
 6. Book or stationery shop
 7. Cleaning and pressing small shop and pick up
 8. Customer personal service shop
 9. Discount or department store
 10. Drug store or pharmacy
 11. Florist or garden shop
 12. Food beverage sales store with gasoline pumps
 13. Food beverage sales store without gasoline pumps
 14. Furniture and appliance store
 15. Greenhouse or plant nursery (retail sales)
 16. Handcraft shop and art objects
 17. Hardware store or hobby shop
 18. Key shop
 19. Laboratory, Medical or Dental
 20. Laundry and cleaning (self-service)
 21. Medical appliances, fitting, sales or rental
 22. Offices, general business and professional
 23. Pet shop
 24. Restaurant or cafeteria (not drive-in type)
 25. Retail shop, gift, apparel, accessory and similar items
 26. Retail shop other than listed
 27. Photographer studio
 28. Studio, music, dance or drama
 29. Tool rental (inside only)
 30. Travel bureau or consultant
 31. Veterinarian office only (no animal hospital, no inside pens)
- B. The following uses require a conditional use permit within the PD-GR District:
1. Florist or garden shop
 2. Restaurant or eating place (drive-in service)
 3. Health and reducing or similar service studio
 4. Veterinarian hospital (inside pens)
 5. Tool rental (outside equipment storage)
- C. The following uses are prohibited within the PD-GR District:
1. Single family detached residential
 2. Single family attached dwelling

3. Townhouse
4. Two family dwelling (duplex)
5. Industrialized housing
6. Single family dwelling attached 3
7. Family home
8. Accessory dwelling
9. Accessory building (residential)
10. Backyard compost operation
11. Home occupation
12. Hotel or motel
13. Stable (private)
14. Electrical substation (high voltage bulk power)
15. Electrical transmission line (high voltage)
16. Gasoline and regulation station
17. Cleaning Plant (Commercial)
18. Household appliance service or repair
19. Pawn Shop
20. Radio or television tower
21. Radio, television transmitting station
22. Telephone Exchange Switch-relay or transmitting equipment
23. Public building shop yard of local, state or federal government
24. Water Treatment Plant
25. Playfield or stadium (public)
26. Roller or ice rink
27. Child Care: small home facility
28. Fraternity or sorority
29. Helistop
30. Railroad track or right-of-way
31. Veterinarian Hospital (outside pens only)
32. Farm, ranch orchard or garden
33. Flea market (indoors)
34. Plumbing shop
35. Warehouse office

D. The following buffering standards apply to the PD-GR District:

1. Landscape and wall buffers between retail and residential uses. A landscape and wall buffer must be installed along the north and east boundaries of the PD-GR District, excluding the curb cut for street access and the intersection visibility triangles.
 - a. The landscape buffers must be 10 feet wide and consist of hardwood trees on 25 foot centers, with a minimum 2 inch caliper and 5 foot planted height, with 5 gallon shrubs placed 5 feet on center between trees located outside of the buffering wall.
 - b. The buffering walls must consist of fences or walls constructed of brick or rock columns, supported by a capstone, placed on 50-75 foot centers, interspersed with wood plank fencing supported by a rot board and stained a compatible color to the brick or rock columns, with a minimum 6 foot vertical height and a maximum 8

○ foot vertical height. ○

- c. Openings in fence or wall buffering must not contain openings constituting more than 20 square inches in each square foot of wall or fence surface. The objective is to create a visual barrier.
2. Landscaping along highways. A landscape buffer must be installed along the south and west sides of the PD-GR District (adjoining FM 93 and South Fifth Street), consisting of hardwood trees on 25 foot centers, with a minimum 2 inch caliper and 5 foot planted height, and 5 gallon shrubs placed 5 feet on center between the hardwood trees.
3. Landscape islands in parking lot. One hardwood tree with a minimum 2 inch caliper and 5 foot planted height shall be installed in a landscape island in the parking lot for every 20 parking spaces. Landscape islands shall be a minimum of 128 square feet.
4. Total landscaped area. The total area of landscaping on private property within the PD-GR District must equal or exceed 5 percent of the aggregate lot area.
5. Time of installation. Buffering walls must be installed after the City of Temple's acceptance of infrastructure installed for water, sewer and storm drainage, and prior to the issuance of any building permit. Landscaping must be installed prior to issuance of a certificate of occupancy.
6. Maintenance. If the PD-GR District is divided into two or more lots, the developer must establish a property owners' association (POA) and record covenants so that every lot in the subdivision is sold subject to covenants that require the POA to perpetually maintain buffering and landscaping in compliance with the standards for the PD-SF2 District.

E. The following buffering standards apply to the PD-SF2 District:

1. Buffering walls. Buffering walls must be installed on the western edge of the lots next to South 5th Street and the southern edge of the southernmost lots (abutting the abandoned road parallel to FM 93).
 - a. The buffering walls must consist of fences or walls constructed of brick or rock columns, supported by a capstone, placed on 50-75 foot centers, interspersed with wood plank fencing supported by a rot board and stained a compatible color to the brick or rock columns, with a minimum 6 foot vertical height and a maximum 8 foot vertical height.
 - b. Openings in fence or wall buffering must not contain openings constituting more than 20 square inches in each square foot of wall or fence surface. The objective is to create a visual barrier.
2. Time of installation. The buffering walls must be installed after the infrastructure of water, sewer, paving and drainage is accepted by the City of Temple and prior to the issuance of any building permit.
3. Maintenance. The developer must establish a homeowners' association and record covenants so that every lot in the subdivision is sold subject to covenants that require the HOA to perpetually maintain buffering in compliance with the standards for the PD-SF2 District.

F. Development or redevelopment of the property shall be through the building permit process, in accordance with the Aberdeen Heights Concept Plan, which is attached hereto as Exhibit B.

These conditions shall be expressed conditions of any building permit issued for construction on the property which may be enforced by the City of Temple by an action either at law or in equity, including the right to specifically enforce the requirements of the ordinance, and these requirements shall run with the land.

Part 4: The City Council directs the Director of Planning to make the necessary changes to the City Zoning Map accordingly.

Part 5: It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses, and phrases of this ordinance are severable and, if any phrase, clause, sentence, paragraph or section of this ordinance should be declared invalid by the final judgment or decree of any court of competent jurisdiction, such invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such phrase, clause, sentence, paragraph or section.

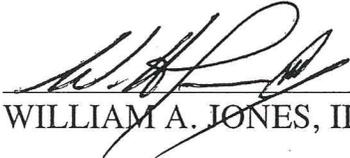
Part 6: This ordinance shall take effect immediately from and after its passage in accordance with the provisions of the Charter of the City of Temple, Texas, and it is accordingly so ordained.

Part 7: It is hereby officially found and determined that the meeting at which this Ordinance is passed was open to the public as required and that public notice of the time, place, and purpose of said meeting was given as required by the Open Meetings Act.

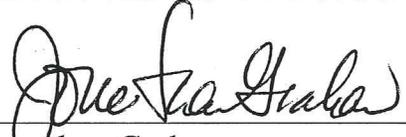
PASSED AND APPROVED on First Reading and Public Hearing on the 6th day of November, 2008.

PASSED AND APPROVED on Second Reading on the 20th day of November, 2008.

THE CITY OF TEMPLE, TEXAS

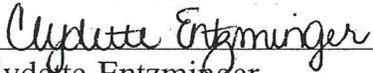

WILLIAM A. JONES, III, Mayor

APPROVED AS TO FORM:


Jonathan Graham
City Attorney

ATTEST:




Clydette Entzminger
City Secretary

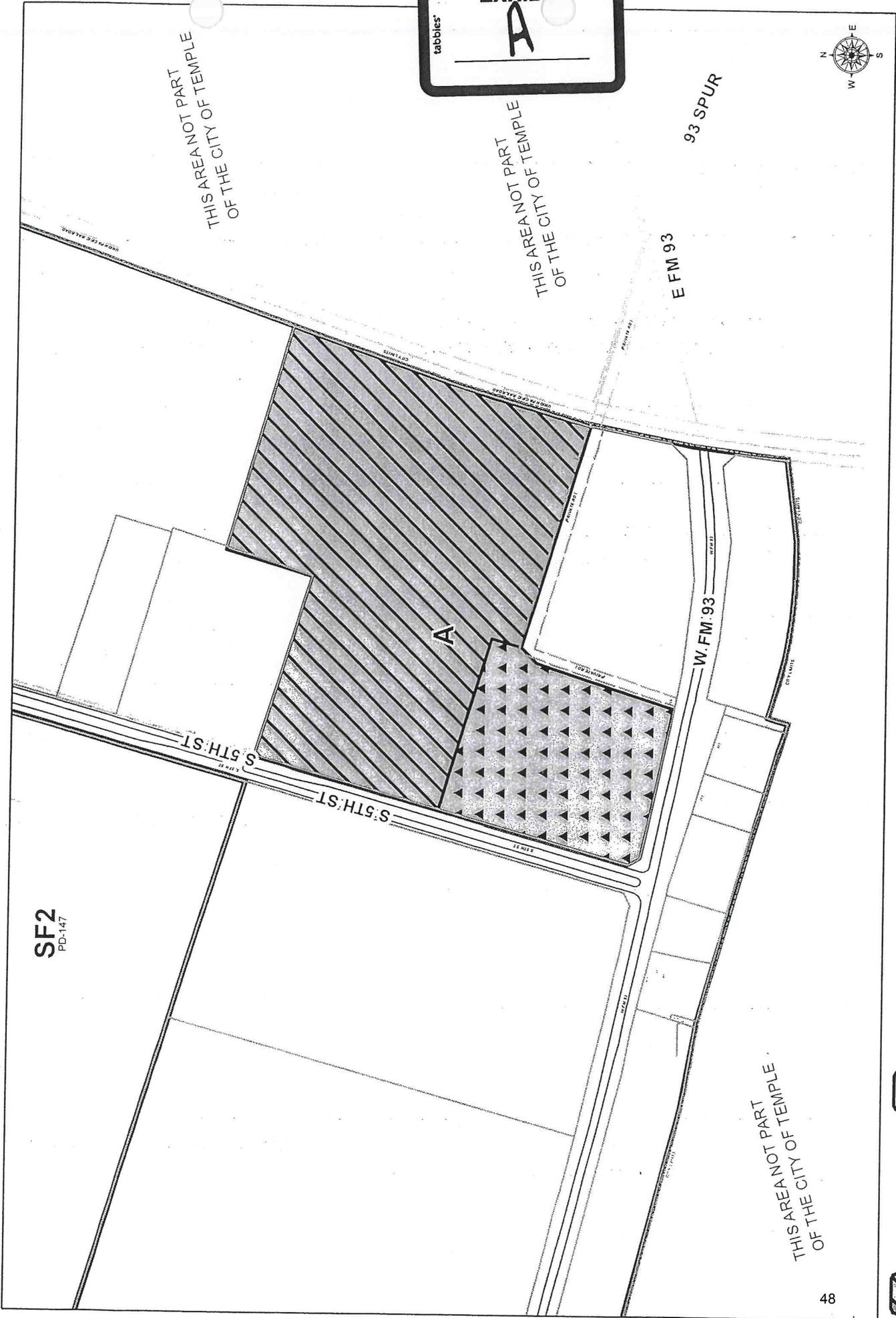


Z-FY-08-37

50.69 Acres

OB#6070-A

Proposed Aberdeen Heights Addtn.



Proposed SF2



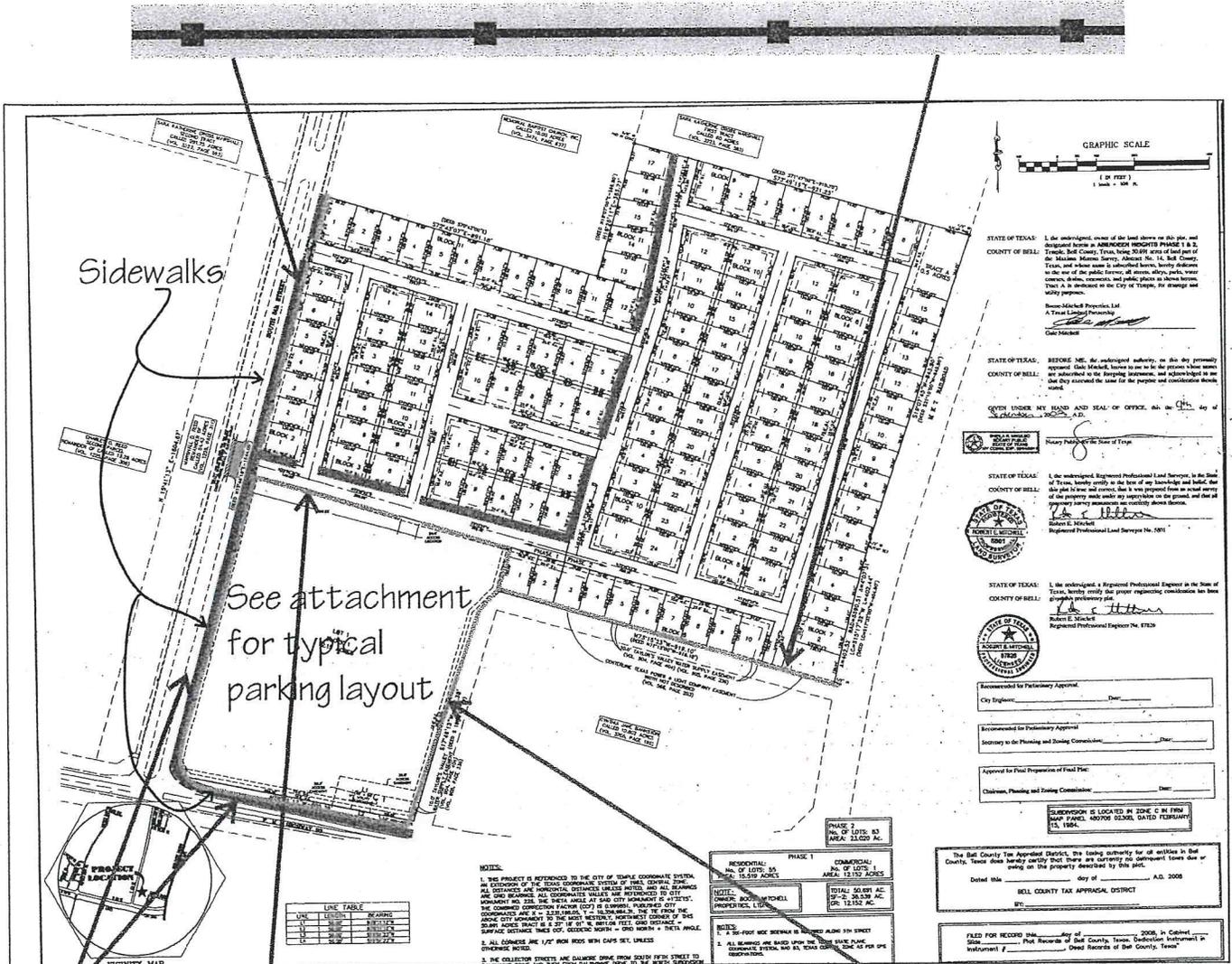
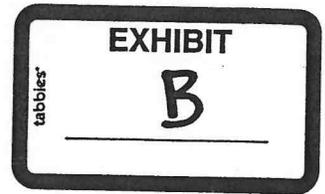
Proposed GR

A to SF2 & GR Zoning

1 inch = 500 feet
J Stone 08.12.08

Aberdeen Heights Concept Plan

6' to 8' stained wood fence
with brick or rock columns with capstones
50' to 75' apart
Maintained by Home Owners Association

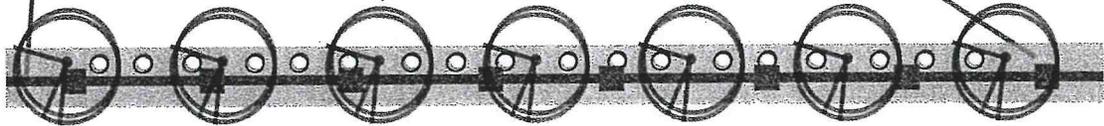


Sidewalks

See attachment for typical parking layout

Min. 5% landscape area with hardwood trees 25' & shrubs 5' on center with living groundcover

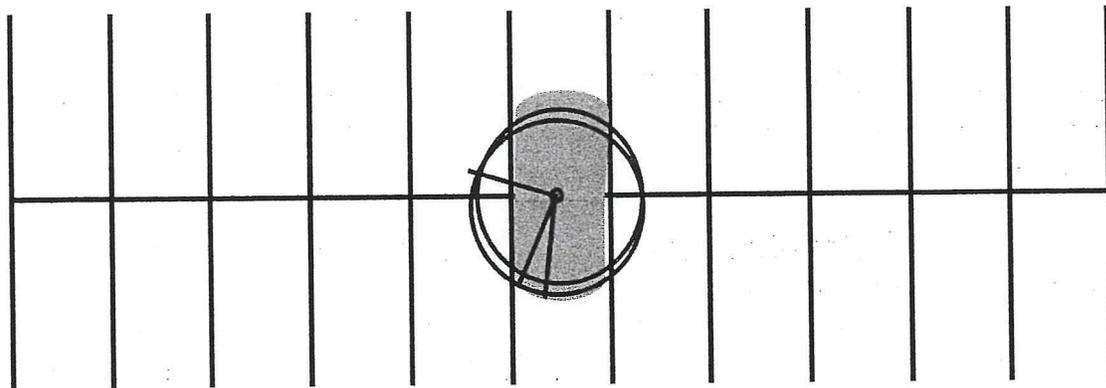
6' to 8' wall with brick or rock columns interspersed with wood plank fencing



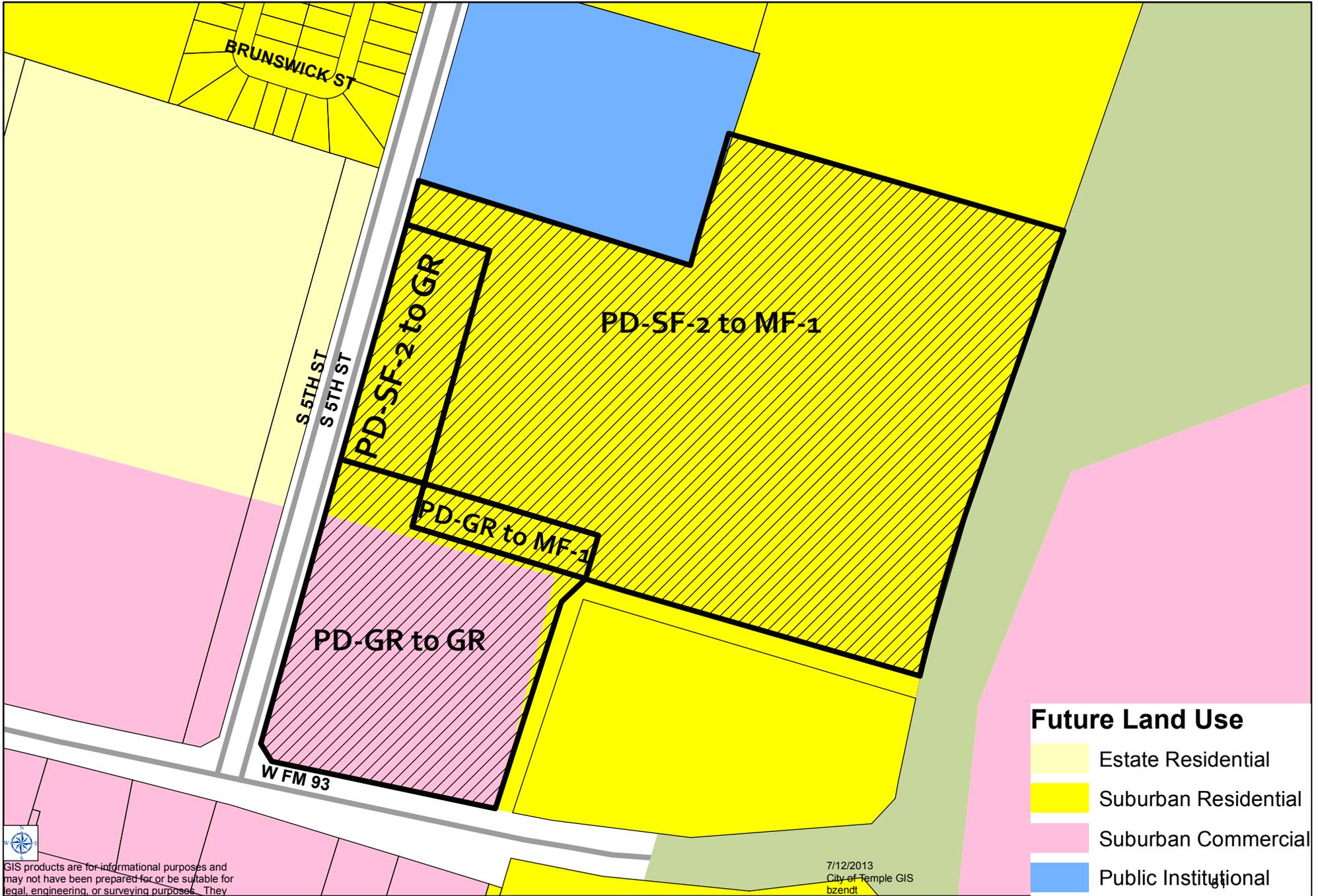
Hardwood trees 25' on center with shrubs 5' on center
Maintained by Property Owners Assoc.

Note: In addition to improvements noted on this Concept Plan, development must meet Landscaping Regulations of the Zoning Ordinance

Aberdeen Heights Concept Plan Typical Parking Layout



20 spaces maximum
with 128 sq. ft. island and 1 tree



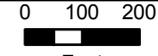
Future Land Use

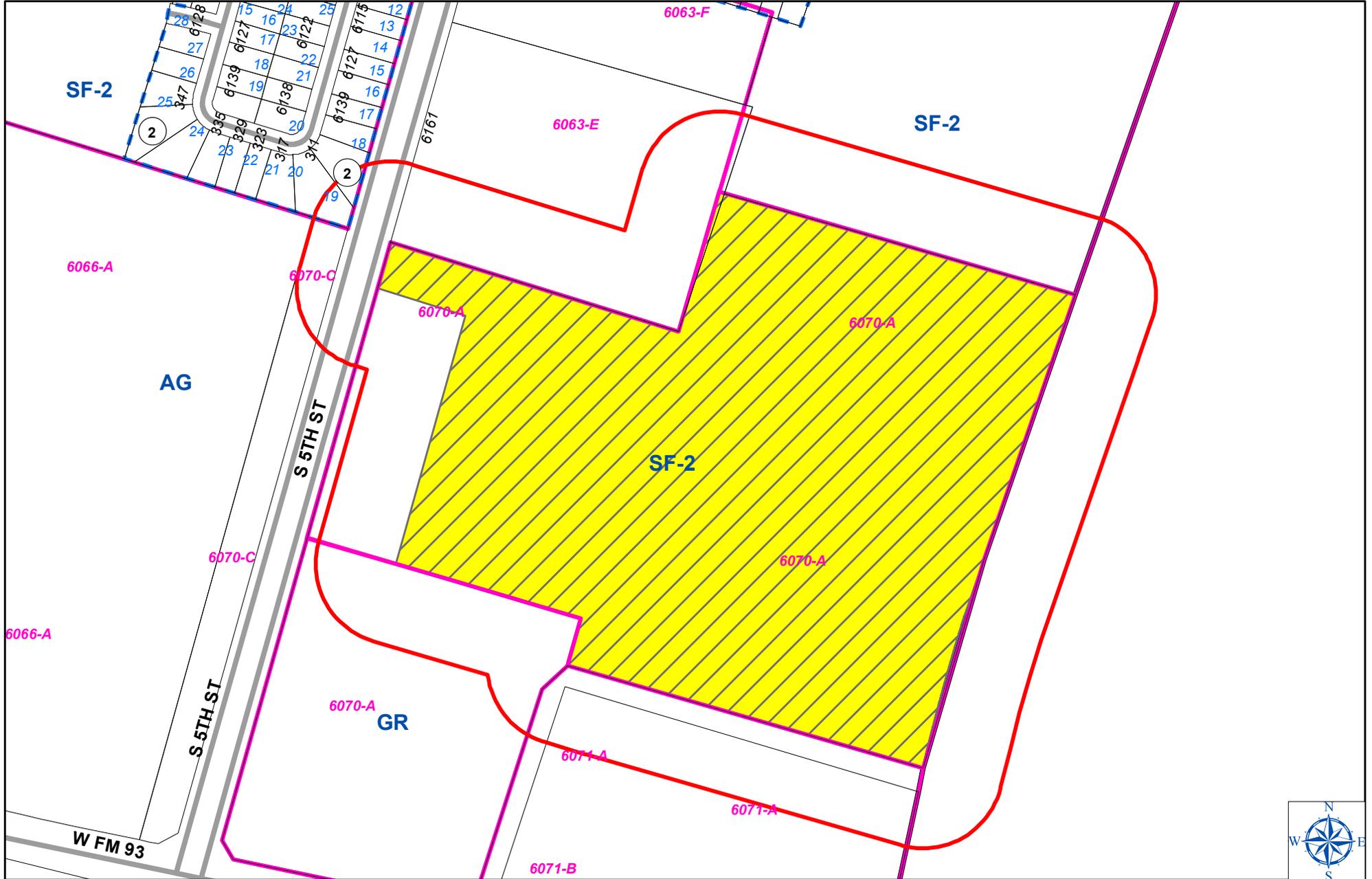
- Estate Residential
- Suburban Residential
- Suburban Commercial
- Public Institutional
- Agricultural/Rural



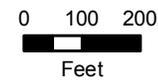
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7/12/2013
City of Temple GIS
bzendf



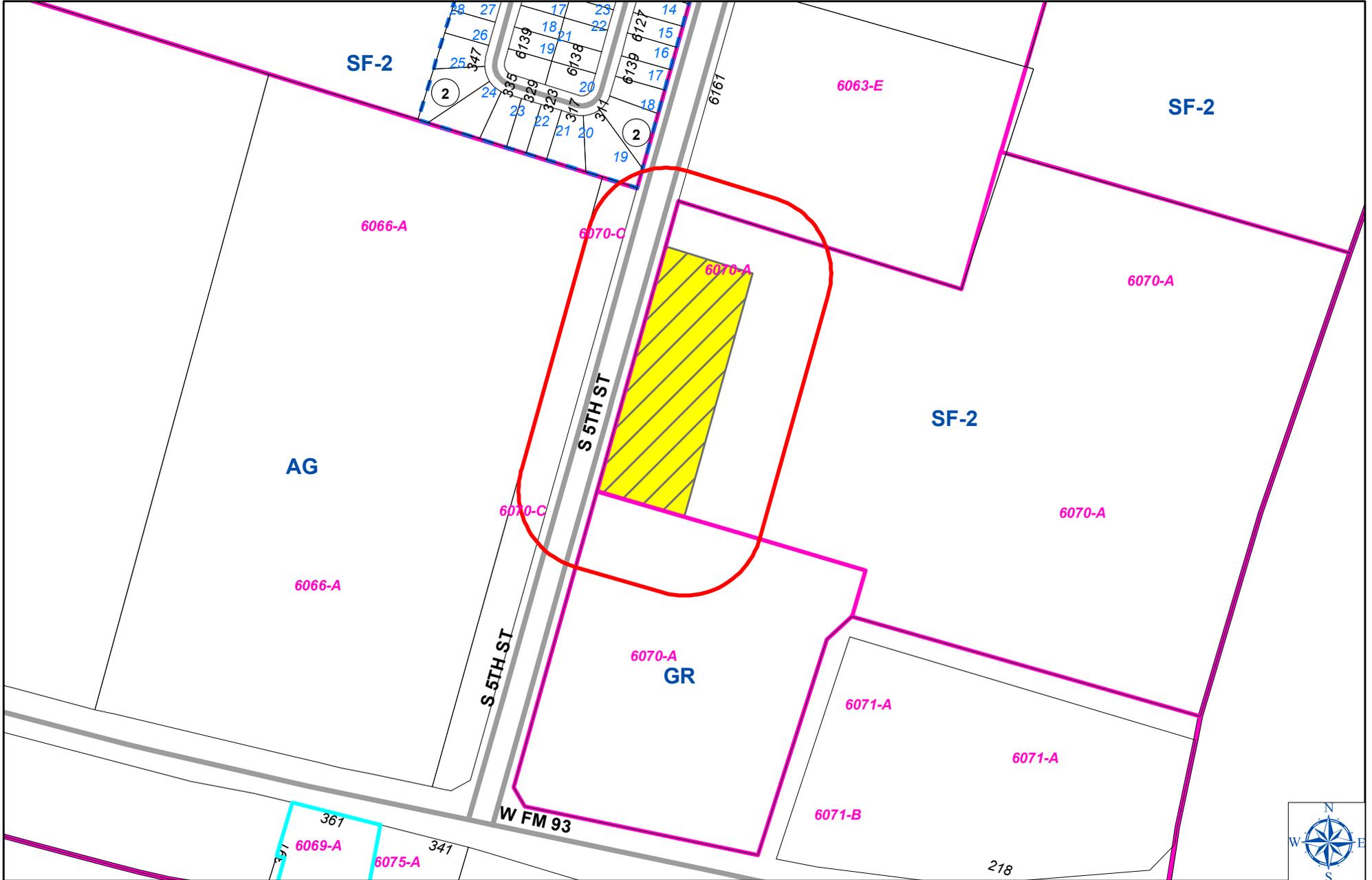


- Case
- Zoning
- 1234-A Outblock Number
- 200' Buffer
- Subdivision
- 1234 Address
- Block Number
- 1 Lot Number

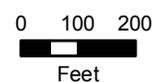


6/24/2013
City of Temple GIS
gkeith

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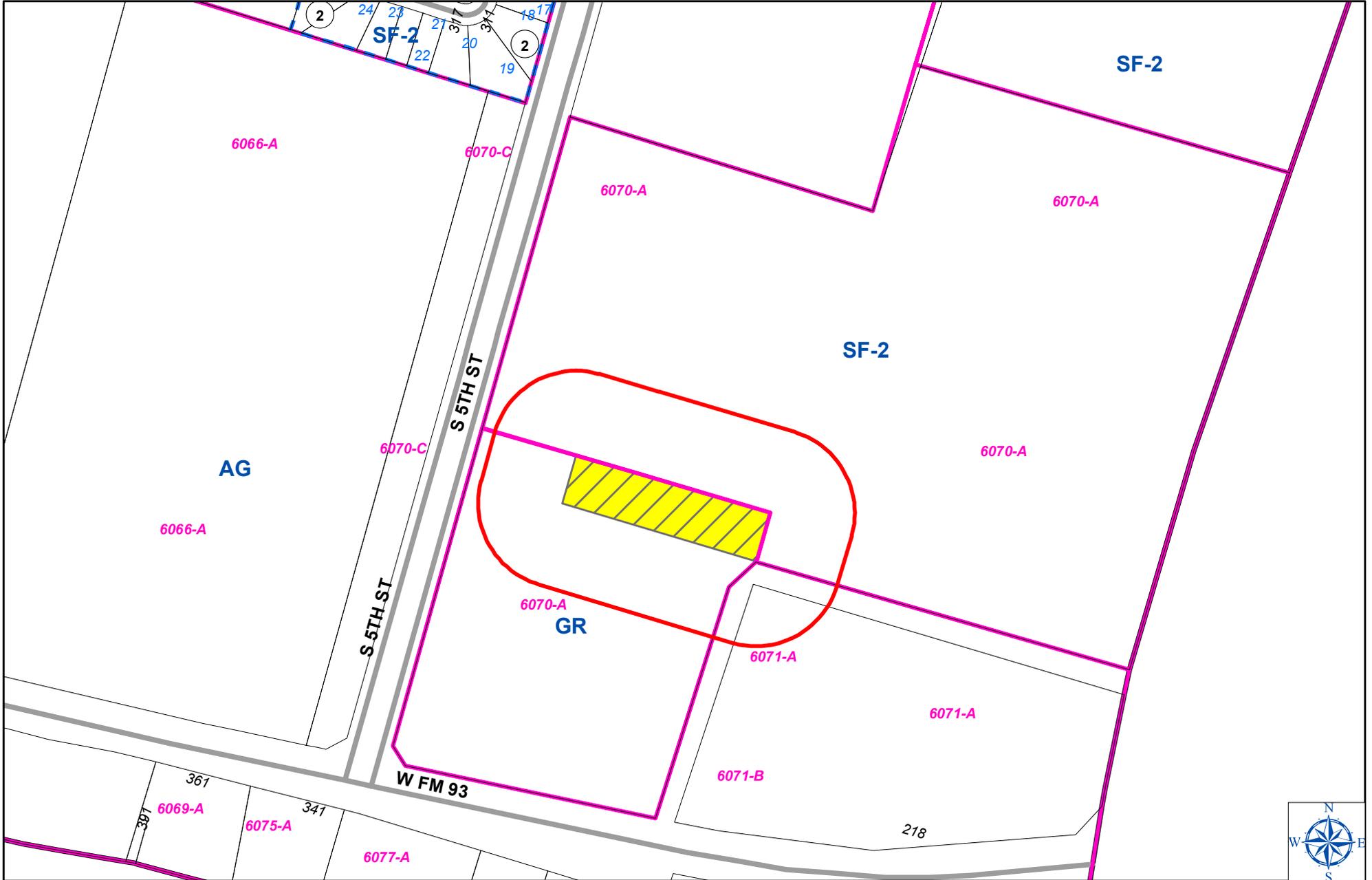


- Case
- 200' Buffer
- Zoning
- Subdivision
- 1234-A Outblock Number
- 1234 Address
- Block Number
- 1 Lot Number

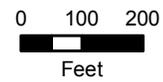


6/25/2013
 City of Temple GIS
 gkeith

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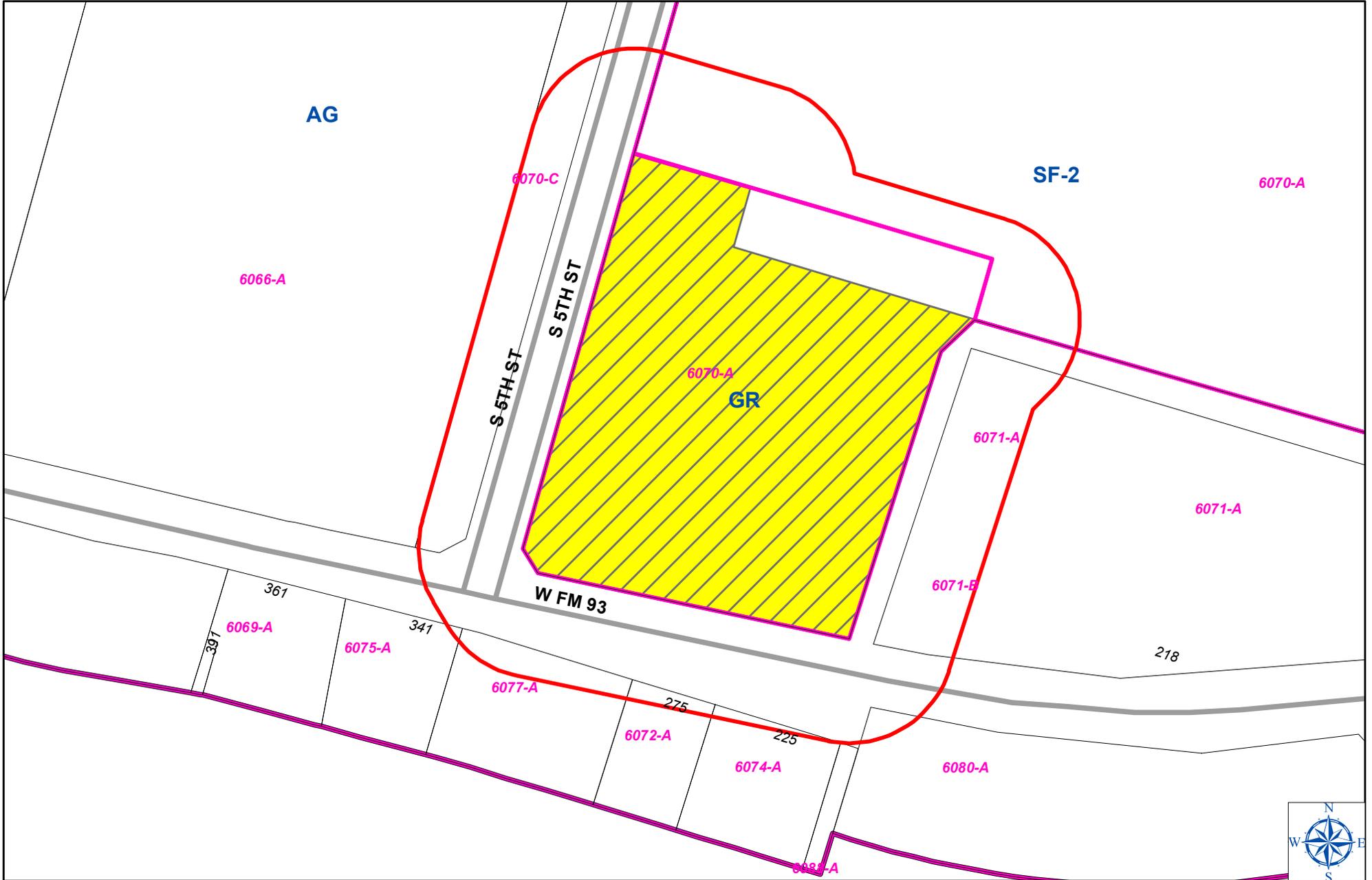


-  Case
-  Zoning
- 1234-A Outblock Number
-  200' Buffer
-  Subdivision
- 1234 Address
-  Block Number
- 1 Lot Number

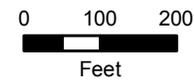


6/24/2013
City of Temple GIS
gkeith

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- Case
- Zoning
- 1234-A Outblock Number
- Block Number
- 200' Buffer
- Subdivision
- 1234 Address
- 1 Lot Number



6/25/2013
City of Temple GIS
gkeith

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**RESPONSE TO PROPOSED
ZONE CHANGE REQUEST
CITY OF TEMPLE**

Patsy Reed Jackson
4706 Stagecoach Trail
Temple, Texas 65502

Zoning Application Number: Z-FY-13-28 **Project Manager:** Beverly Zendt

Zone Change Request: Planned Development-General Retail District (PD-GR) to
General Retail District (GR)

Location: Northeast corner of South 5th Street and F.M. 93

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend approval () denial of this request.

Comments:

Patsy Reed Jackson
Signature 1-6-13

Patsy Reed Jackson
Print Name

**Please mail or hand-deliver this comment form to the address shown below, no later than
July 15, 2013**

City of Temple
Planning Department
Room 102
Municipal Building
Temple, Texas 76501

RECEIVED
JUL 10 2013
City of Temple
Planning & Development



**RESPONSE TO PROPOSED
ZONE CHANGE REQUEST
CITY OF TEMPLE**

Cynthia Bankston
4311 S 31st Street, Suite 150, No. 130
Temple, Texas 76502

Zoning Application Number: Z-FY-13-28 **Project Manager:** Beverly Zendt

Zone Change Request: **Planned Development-General Retail District (PD-GR) to
Multiple Family One District (MF-1)**

Location: Northeast corner of South 5th Street and F.M. 93

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval () Denial of this request.

Comments:

*The current zonings (as approved 2008) were deemed appropriate by the city council at that time. What, if anything, has changed since 2008, to create a need for the current changes being proposed?
* See attachment, esp. p. 6-11 may be of more specific significance.*

Cynthia Bankston
Signature

Cynthia Bankston
Print Name

**Please mail or hand-deliver this comment form to the address shown below, no later than
July 15, 2013**

**City of Temple
Planning Department
Room 102
Municipal Building
Temple, Texas 76501**



**RESPONSE TO PROPOSED
ZONE CHANGE REQUEST
CITY OF TEMPLE**

Cynthia Jane Bankston
4311 S 31st Street, Suite 150, No. 130
Temple, Texas 76502

Zoning Application Number: Z-FY-13-28 Project Manager: Beverly Zendt

Zone Change Request: **Planned Development-General Retail District (PD-GR) to
General Retail District (GR)**

Location: Northeast corner of South 5th Street and F.M. 93

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval () denial of this request.

Comments:

The current zonings (as approved 2008) were deemed appropriate by city council at that time. What, if anything, has changed since then to create a need for the current changes being proposed?

** See attachment for a fuller understanding of reasons for denial of this request.
* pages 6-11 of the attachment are of particular significance*

Cynthia Bankston
Signature

Cynthia Bankston
Print Name

**Please mail or hand-deliver this comment form to the address shown below, no later than
July 15, 2013**

**City of Temple
Planning Department
Room 102
Municipal Building
Temple, Texas 76501**



**RESPONSE TO PROPOSED
ZONE CHANGE REQUEST
CITY OF TEMPLE**

Cynthia J. Bankston
4311 south 31st Street, Suite 150, No 130
Temple, Texas 76543

Zoning Application Number: Z-FY-13-28 **Project Manager:** Beverly Zendt

Zone Change Request: Planned Development-Single Family Two District (PD-SF-2) to
Multiple Family One District (MF-1)

Location: Northeast corner of South 5th Street and F.M. 93

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval (✓) denial of this request.

Comments:

*The current zonings (as approved 2008) were deemed appropriate by the city council at that time. What, if anything, has changed since 2008 to create a need for the current changes being proposed?
* See Attachment esp. p. 6-11 may be of more specific significance*

Cynthia Bankston
Signature

Cynthia Bankston
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than July 15, 2013

**City of Temple
Planning Department
Room 102
Municipal Building
Temple, Texas 76501**

July 9, 2013

Dear Neighbors,

We wish to make you aware of a proposed zoning change for our area. If the change is approved, it will devalue our properties, increase security risks, and nullify the standard of living and sales potentials that we currently enjoy.

A preliminary meeting of the Temple Planning and Zoning Commission will be held at 5:30 p.m. on Monday, July 15. It will take place in the Municipal Building, on the second floor, in the Council Chambers. I hope that you will be on hand to represent your interests. It is essential that we let the Planning and Zoning Commission know our views on this matter. (As my fourth grade teacher once told me, "Silence means consent.") If you have questions regarding location, parking, etc., you may call the Planning and Zoning Office at 298-5668.

In addition to attending this meeting, you may also communicate your views in writing or by phone.

Written communications can be mailed or hand-delivered to:

City of Temple
Planning Department
Room 102
Municipal Building
Temple, TX 76501

Some of you may be more comfortable communicating with members of the Planning and Zoning Committee. Here are names and numbers:

Chairman: James Staats 760-4633
Derek Martin 771-2084
Patrick Johnson cell 913-0122
Greg Rhoads wk 774-8301
Will Sears wk/cell 931-2485
H. Alan Talley 770-0289
Chris Magana 778-4741
David Jones wk 939-9404
William Harrell wk 771-1855

Should the proposed zoning change be passed by the Planning and Zoning Committee, it will be considered by the mayor and city council. Here are their names and numbers:

Mayor: Danny Dunn wk 774-7355

Our District Councilman: Perry Cloud 778-1363

Timothy Davis 791-8221

Judy Morales 254 654-9392

Russell Schneider 933-2529

Please do not hesitate to let these individuals know of your concerns. The future of an entire community will be impacted by our actions.

I hope to see you at the meeting on July 15, and I am certain that our city officials' decisions will be influenced by our input.

Thank you for your time,

Cindy and Gary Bankston 773-7625

Other attachments, in order of appearance, are as follows:

Notice of Public Hearings for Proposed Zoning Change

Map of the Zone Change Request

A List of Objections raised in 2008, when the same developer wanted to make similar zoning changes.

A List of Suggested Alternatives to the proposed zoning (the alternatives were Accepted by the Mayor and City Council in 2008, and are stated in the Current zoning documents.

****The partial list of objections presented in 2008 refers to a zoning change proposed by Boose-Mitchell, which requested the zoning be changed from Agricultural to General Retail and a combination of Multi-family and Two-Family dwellings. The current zoning change, again initiated by Boose-Mitchell, is similar in nature to the 2008 request, with one notable difference: Now, instead of developing some of the residential areas as Two-Family Dwellings, Boose-Mitchell wants the entire residential area to be Multi-Family (apartment buildings). During the 2008 sessions when the first

Zoning changes were requested by Boose-Mitchell, some reasonable objections and alternatives were presented to the Mayor and City Council. The City Council then rendered its decision, which called for the two zonings currently in place: PD-GR and SF-2.

These same objections and alternatives, NOW IN PLACE as part of the zoning document, call for stringent controls on the types of businesses allowed in the area now zoned for

PD-GR, with the rest of the property being zoned for SF-2. Copies of these objections and suggestions are included on the following pages.

The SF-2 communities now in place along South 5th Street include homes by Kiella, Omega, Centex, and D.B. Horton. These builders are comfortable with the zoning regulations adopted in 2008. However, Boose-Mitchell wants these regulations to be changed, in favor of apartment dwellings and an unregulated business area.

There is a final page, which shows a photo of Two-Family units that were produced in Killeen by Boose-Mitchell and Associates.

Let your opinions be known today.



NOTICE OF PUBLIC HEARINGS

CONSIDERATION OF A ZONING CHANGE PLANNING AND ZONING COMMISSION MEETING

The Temple Planning and Zoning Commission will hold a public hearing in the City Council Chambers on the 2nd floor of the Municipal Building, 2 North Main Street, Temple, Texas 76501, on Monday, the 15th day of July, 2013 at 5:30 p.m., for the purpose of considering the following change to the City of Temple's Official Zoning District Map:

Consider a zone change from:

***Planned Development-Single Family Two District (PD-SF-2) to Multiple Family One District (MF-1) on 35.22 ± acres;
Planned Development-Single Family Two District (PD-SF-2) to General Retail District (GR) on 3.40 ± acres;
Planned Development-General Retail District (PD-GR) to Multiple Family One District (MF-1) on 1.27 ± acres; and
Planned Development-General Retail District (PD-GR) to General Retail District (GR) on 10.80 ± acres***

Zoning Application No. Z-FY-13-28

Proponents: Beverly Zendt

On 50.69 ± acres out of the Maximo Moreno Survey, Abstract 14, Bell County, Texas, being out of a part of a called 50.691 acre tract
(legal description)

Located at the northeast corner of South 5th Street and F.M. 93
(street address or physical location)

If this request goes forward to the City Council, the anticipated public hearing (first reading) for this case will be at the August 15, 2013, City Council meeting in the Council Chambers on the 2nd floor of the Municipal Building at 5:00 pm. The City Council will make its decision on the second reading of this request. The second reading is anticipated at the September 5, 2013, City Council meeting. If you plan to attend the public hearings, please call (254) 298-5668 to verify meeting dates.

The Planning and Zoning Commission and City Council welcome your comments on this matter and will consider them in their deliberations. If you cannot be present at the public hearings, but desire to comment on this matter, or desire information on the proposed zoning change, please contact the City Planning Department, Suite 201, 2nd Floor, Municipal Building, or by calling (254) 298-5668. When calling, please refer to the zoning application number shown above.

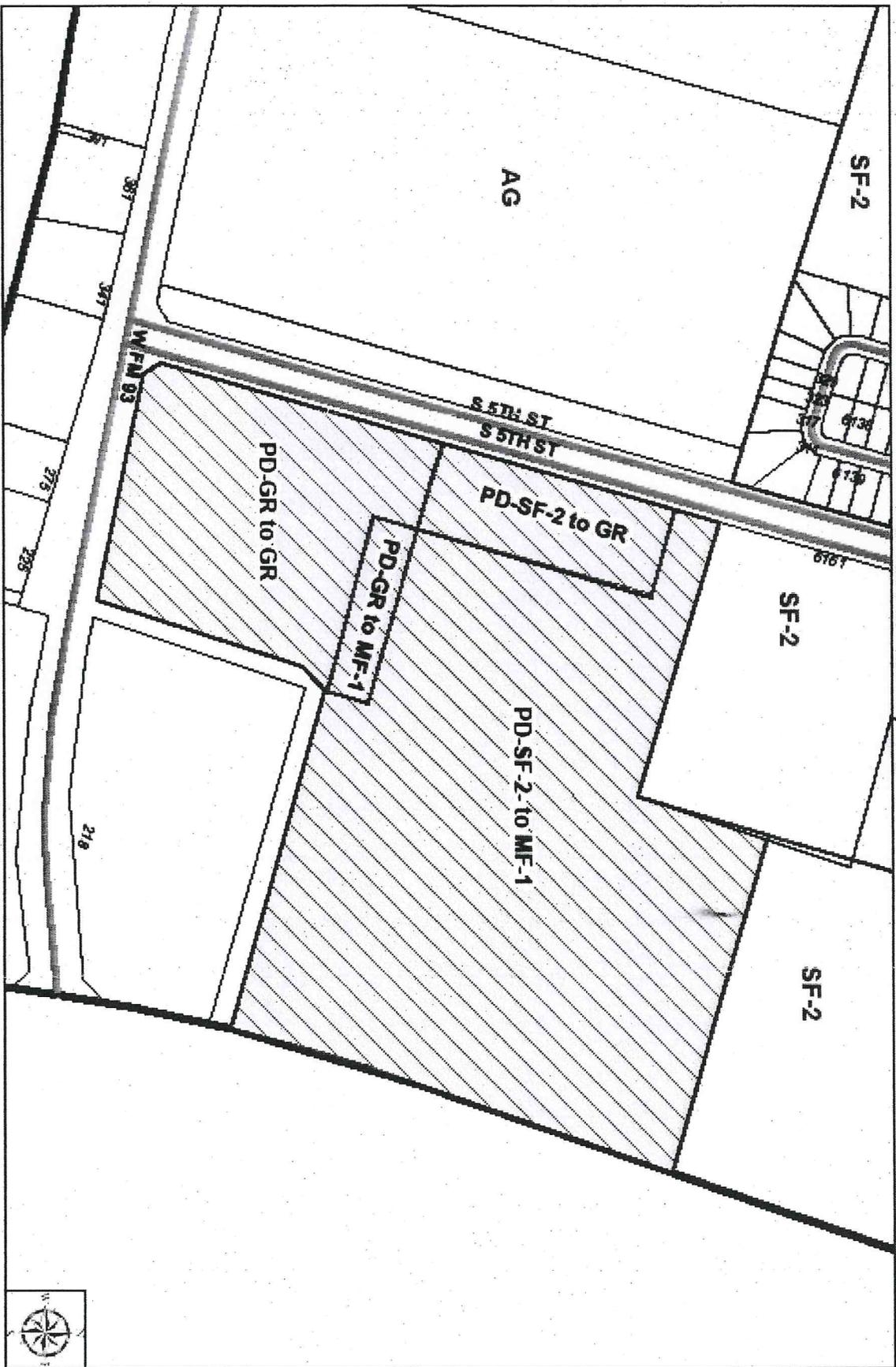
Special Accommodations: Persons with disabilities who have special communication or accommodation needs and desire to attend the meetings should notify City Staff by mail or telephone 48 hours prior to the meetings.



Z-FY-13-28

**Zone Change Request:
PD-SF-2 to MF-1; PD-SF-2 to GR
PD-GR to MF-1; PD-GR to GR**

**Northeast corner of
Intersection of South
5th St./FM 93**



Case



Zoning

1234 Address



City of Temple
Planning Dept.
June 11
6-26-13

Old positions on the historical portions and
may not have been prepared for or be suitable for
legal, engineering, or surveying purposes. They
do not represent an official record survey and
agencies may use separate survey locations
if properly substantiated with other evidence.



To the Temple Planning & Zoning Commission
Opposition to Zoning
143 Duplex's (286 Rental Units) – Northeast Corner FM93 & South 5th Street
Zoning Application: Z-FY-08-26-B

Concern #1 – High Density: The 'South Temple Comprehensive Plan' indicates a plan for 'Moderate Density' residential with 'Commercial' at the FM 93 intersection for the property. While duplexes are generally acceptable in moderate density, 143 Duplexes (286 rental units) on the proposed site is in reality 'High Density'. At nearly 8 units to the acre the project compares with a 300 unit multi-family project... generally considered high density.

Concern #2 – Single Family Residential Character: Allowing 286 rental duplex units to penetrate a primarily owner-occupied single family area is inconsistent with the character and harmony of area communities such as Springwood Creek, Misty Creek, Las Colinas, Wyndham Hill, Stonegate, Silverstone, Echo Village, Canyon Ridge and others.

Concern #3 – Rental Project: A development of renters means no 'Home Owners' Association' ("HOA") and no mechanism for maintenance of even minimum standards of property use, appearance and conduct. Renters typically do not maintain properties as well as homeowners. In similar west Bell County projects, duplexes are typically sold to out-of-area investors who have little or no interest in monitoring minimum standards compliance or in making the development an attractive addition to the City.

Concern #4 – Parks and Green Space: The development plat, provided with the zoning application, appears to have no provision for parks or green space. While the developer may be required to pay a City park fee, a rental project of nearly eight dwelling units to the acre, with its lack of open and recreational space, will negatively impact the surrounding homes and neighborhoods.

Concern #5 – City Gateway: The South 5th Street 'Gateway' at FM 93 has been designated for median upgrades including irrigation systems by the City and landscaping by 'Keep Temple Beautiful'. The proposed duplex project will surely be occupied by renters with absentee landlords, fostering concern that the boulevard will be less than desirable as a City gateway.

Concern #6 - Traffic: The recent edition of the Institute of Traffic Engineers, 'Trip Generation Manual', sets 10 as the 'average daily (vehicle) trips' per day, per household. Two hundred eighty-six (286) rental units will generate an additional 2,860 vehicle trips per day for the area.

Concern #7 – South 5th Street Access: While multiple access points for a high-density development are desirable, two South 5th Street access streets in close proximity to one another will congest busy boulevard traffic, especially when combined with additional driveway access to the commercial property. Due to TxDOT limitations, FM 93 commercial driveways, in addition to the street show, is questionable... further congesting area traffic at the gateway.

Concern #8 – Utilities: A duplex project of this magnitude will likely consume a disproportionate share of existing City water and sewer lines, which could negatively affect development potential of the area.

Concern #9 – Storm Drainage: 143 duplexes, with double the amount of required off-street parking as single family, has the potential to substantially impact area storm drainage

In summary, the proposed hi-density duplex project is wrong for Temple because the above concerns are valid. Recent beautification efforts of the City, including masonry requirements and landscaping incentives demonstrate that the will of the community is to be visually more pleasing. Allowing this hi-density duplex project to develop not only contradicts the positive direction of our city, but also circumvents the moderate density intent of the South Temple Comprehensive Plan. Please do not allow this to happen by voting against this project and the zoning request.

To the Temple Planning & Zoning Commission

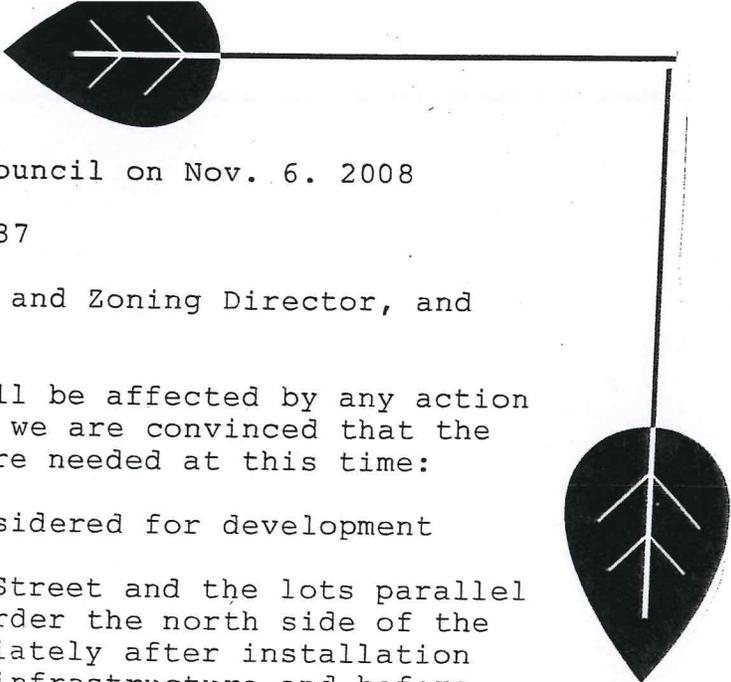
Opposition to Zoning

143 Duplex's (286 Rental Units) – Northeast Corner FM 93 & South 5th Street

Zoning Application: Z-Fy-08-26-B

Concern #10 – Retail: The current over build of retail space has left many vacant properties in the Marlandwood Rd. and Canyon Creek Road area. This location which is even further out from the main shopping area would perhaps follow that pattern and would stand vacant thus not providing a positive image or impact for the surrounding property owners. The current location of Retail Space is not inconvenient to the property owners in this area. Therefore, additional retail is not desired.

Concern #11 – TXDOT intersection to Hwy 93: An additional street intersection so near the existing 5th street intersection could cause travelers along Hwy 93 who travel 60 to 70 mph a very dangerous hazard at this point due to the elevated congestion caused by the density of the duplex construction. Also, the location of a new street intersecting Hwy 93 would not work well with the TXDOT plans to widen the current road with an overpass at the railway tracks. The overpass elevations start about where this new intersection is proposed.



Temple, Texas: Meeting of the City Council on Nov. 6. 2008

Re: Zoning Proposal Z-FY-08-37

To the Mayor, City Council, Planning and Zoning Director, and
Other City Officials

As owners of properties that will be affected by any action taken on Zoning Proposal Z-FY-08-37, we are convinced that the following restrictions and actions are needed at this time:

1. Concerning the portion being considered for development as SF2:

For the lots next to South 5th Street and the lots parallel to FM 93, including all lots that border the north side of the PD-GR section, we request that immediately after installation of water, sewer, and storm drainage infrastructure and before issuance of any building permits, that these lots be screened with a fence constructed of the following material:

Rock or Brick Columns, with Capstones, evenly spaced every 50-55 feet, attached to a wood fence stained a complementary color and with a rot board attached to its base.

We also request that a mechanism be put into place at the time of construction for the fence to be maintained and repaired in a timely manner.

In addition, we request that the fencing described above be installed the entire length of the northern border of the SF2 section.

Another Concern for the SF2: Before any decisions are made concerning this proposed, planned development, we request a full explanation of the term "Moderate Density," as it applies to SF2, in light to the South Temple Comprehensive Plan. Specifically, we request that the developer and the City give substantial evidence that the site plan submitted by the developer does in fact meet the requirements of the South Temple Comprehensive Plan.



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2. TRAFFIC CONCERNS: Traffic Concerns need to be addressed as described below, and for the following reasons:

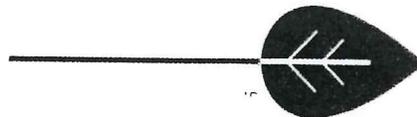
Street Access for the PDGR: Due to safety concerns, it is our strong opinion that no access for the PDGR be allowed from FM 93. Instead, we ask that one entry and one exit point be located on South 5th Street, as far north of the FM 93 intersection as is possible.

Traffic Light: We request that a traffic light be installed at the intersection of South 5th Street and FM 93, prior to the issuance of any building permits in the SF-2 and the PDGR sections. This light is essential because of the additional traffic generated during the building construction phase, not to mention the traffic that will be generated as units in the SF2 and PDGR section are completed and occupied.

Concerning the statements above, we are aware that the recent edition of the Institute of Traffic Engineers' "Trip Generation Manual" sets 10 as the average daily vehicle trips, per day, by each residential household. Using those figures, a housing edition of 139 units would generate an additional 1,390 vehicle trips per day for the area. This traffic, plus the traffic generated by the PDGR section, makes the installation of a traffic light at the intersection of South 5th Street and FM 93 a top priority.

3. Screening and Fencing for the PDGR: Immediately following the installation of water, sewage, and storm drainage infrastructure, we request that a buffering wall be installed along the eastern border of the PDGR section, running the length of the property and constructed of rock or masonry, with a mechanism in place for its continual maintenance by the developer. We also request that landscaping consisting of a specific number of trees, flowers, and shrubbery be installed as an "apron" running the entire outer length of the buffering wall.

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p.2

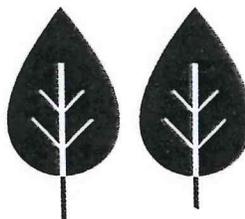
4. Concerning Uses for the PDGR Section:

We request that the following uses be removed from the list of permitted uses, and added to the list of prohibited uses:

1. Customer Personal Service Shop
2. Greenhouse or Plant Nursery
3. Laundry and Cleaning (self-serve)
4. Pet Shop
5. Veterinary Office
6. Tattoo Shop
7. Car Wash
8. Wrecking Yard
9. Auto Repair Shop
10. Bar or Tavern
11. Cattle Sales
12. Cabinet Shop
13. Consignment Shop
14. Animal Boarding Facility
15. Adult Entertainment
16. Funeral Home
17. Industrial Gases Distribution
18. Gun Shop
19. Kennels
20. Motorcycle Dealership
21. Night Club
22. Recycling Center
23. Portable Toilet Company
24. Salvage Company
25. Wrecker Service and/or Auto Holding Area

Please Remove the following from the list of "Uses Requiring Conditional Use Permit" and add it to the list of "Uses Prohibited":

1. Veterinary Hospital







PLANNING AND ZONING COMMISSION AGENDA ITEM

7/15/13
Item #7
Regular Agenda
Page 1 of 2

APPLICANT: Planning & Zoning Commission

CASE MANAGER: Beverly Zendt, Interim Director of Planning

ITEM DESCRIPTION: Receive and discuss the Planning Director's Report containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code (UDC).

BACKGROUND: The Planning & Zoning Commission will consider several items at future meetings which may also require City Council review for a final decision, shown on the following table.

Future Commission Projects	Status	Applicant
P-FY-13-21- Consider and take action on the Final Plat of Scott and White Memorial Hospital, a 209.04 ± acre 1 lot, 1-block nonresidential subdivision located generally from the main campus to various locations along West Avenue R to south 13th, 15th, 19th Streets to Fryers Creek	DRC 6/05/13 Pending	Ronald Carroll
P-FY-13-31 - Consider and take action on the Final Plat of Central and 31st Addition, a 2.066 ± acre, 1-lot, 1-block nonresidential subdivision, located at the southeast corner of South 31st Street and West Central Avenue	DRC 6/17/13 Pending	Jeff Mallet
P-FY-13-34 - Consider and take action on the Final Plat of Lake Pointe Phase III, a 66.87 ± acres, 343-lot, 10-block residential subdivision, located on the southwest corner of Prairie View Road and North Pea Ridge Road.	DRC 7/01/13	W&B Development
P-FY-13-35 - Consider and take action on the Final Plat of Hills of Westwood Phase V, a 16.402 ± acre, 64-lot, 4-block residential subdivision, located at the northeast corner of Hogan Road and South Pea Ridge Road.	DRC 7/01/13	John Kiella
P-FY-13-36 - Consider and recommend action on final plat of the amended plat for Lake Pointe Phase II, 132.97± acres, 347 residential lots, located at the southeast corner of the intersection of State Highway 317 and Prairie View Road.	DRC 7/01/13	Scott A. Brooks
P-FY-13-37 - Consider and take action on the Final Plat of Centrifugal Castings Addition, a ± 7.35 acres, 1-lot, 1-block, nonresidential subdivision located at between Range Road and Parkway Drive.	DRC 7/22/13	All County Surveying

City Council Final Decisions	Status
<p>Z-FY-13-20 - Hold a public hearing to discuss and recommend action on a zone change from Agricultural District (AG) to General Retail District (GR) on 1.00 ± acres, being a portion of the Daniel Meador Survey, Abstract Number 577, situated in the City of Temple, Bell County, Texas located at 8744 Airport Road.</p>	<p>APPROVED at 2nd Reading on July 11, 2013</p>
<p>Z-FY-13-21 - Hold a public hearing to consider and recommend action on a zone change from Agricultural District (AG) to General Retail District (GR) on ± 1.296 acres of land situated in the Nancy Chance Survey, Abstract 5, Bell County, Texas, located on the west side of Old Waco Road, south of West Adams Avenue.</p>	<p>APPROVED at 2nd Reading on July 11, 2013</p>
<p>Z-FY-13-22 - Consider adopting an ordinance authorizing a zoning change from Commercial District (C) to Planned Development–Commercial (PD-C) on 29.659± acres of land out of the Uri Holbrook Survey, Abstract No. 1009, City of Temple, Bell County, Texas, being a portion of that 99.39 acre tract of land conveyed by deed and recorded in Volume 1858, Page 292, of the Deed Records of Bell County, Texas, located at the southeast corner of North General Bruce Drive and NE H K Dodgen Loop.</p>	<p>APPROVED at 1st Reading on July 11, 2013</p>
<p>P-FY-13-29 - Consider adopting a resolution authorizing a Final Plat of The Groves At Lakewood Ranch Phase I, a + 43.560 acre, 63 lot, 7 block residential subdivision, with a developer requested exception to Section 8.3.1A of the Unified Development Code related to the payment of required park fees, being out of the John J. Simmons Survey, Abstract 737, Bell County, Texas located on the north side of West Adams Road (FM 2305), west of Starlight Drive and East of St. Andrews Place.</p>	<p>APPROVED at 1st Reading on July 11, 2013</p>



**PLANNING AND ZONING COMMISSION
MEETING EVALUATION
July 15, 2013**

Rating Scale

Excellent Average Poor

- 1. What is your overall rating of the P & ZC's Meeting?
- 2. How would you rate the content of the staff's reports?
- 3. How would you rate the clarity of the meeting agenda?
- 4. How would you rate the staff presentation?

Excellent	Average	Poor

5. In what ways did tonight's meeting meet (or not meet) your expectations?

6. Please provide any comments and suggestions that you feel would be useful for the next meeting (content, speakers, materials, resources, etc.).

P&Z COMMISSION ATTENDANCE

2013															
	Jan 7	Jan 22	Feb 4	Feb 19	Mar 4	Mar 18	Mar 26	Apr 1	Apr 15	May 6	May 20	June 3	June 17	P	A
James Staats	P	No Meeting Held	P	P	P	P	P	A	P	P	P	A	P	9	2
Allan Talley	P		P	P	P	P	P	P	P	A	P	A	P	9	2
Derek Martin	A		P	A	P	P	P	A	P	P	A	A	P	6	5
Will Sears	P		A	P	P	A	P	P	P	P	P	P	P	9	2
Greg Rhoads	P		P	P	P	A	A	P	P	P	P	A	P	8	3
David Jones	P		P	P	P	P	A	P	P	P	P	P	P	10	1
Chris Magaña	P		P	A	P	A	A	P	P	P	P	A	P	7	4
Randy Harrell	A		P	P	P	P	P	P	P	P	P	P	P	10	1
Patrick Johnson	P		P	A	P	P	P	P	A	P	A	P	P	8	3
									Special Called Meeting						

	July 1	July 15	Aug 5	Aug 19	Sept 3	Sept 16	Oct 7	Oct 21	Nov 4	Nov 18	Dec 2	Dec 16	P	A
James Staats	P												10	2
Allan Talley	P												10	2
Derek Martin	P												7	5
Will Sears	P												10	2
Greg Rhoads	P												9	3
David Jones	P												11	1
Chris Magaña	P												8	4
Randy Harrell	P												11	1
Patrick Johnson	A												8	4

not a Board member