

**NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
CITY MUNICIPAL BUILDING, 2 NORTH MAIN STREET
STAFF CONFERENCE ROOM, 1ST FLOOR
FEBRUARY 6, 2012, 5:00 P.M.
WORK SESSION AGENDA**

Staff will present the following items:

1. Discuss, as may be needed, Regular Meeting agenda items for the meeting posted for Tuesday, February 6, 2012.
2. Receive a presentation on the Planning & Zoning Commission Ordinance revised and adopted in June 2008.
3. Receive and discuss the Planning Director's Report containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code (UDC).

**NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
CITY MUNICIPAL BUILDING, 2 NORTH MAIN STREET
CITY COUNCIL CHAMBERS, 2ND FLOOR
FEBRUARY 6, 2012, 5:30 P.M.
REGULAR MEETING AGENDA**

1. _____ Invocation
2. _____ Pledge of Allegiance

A. CONSENT ITEMS

All items listed under this section, Consent Agenda, are considered to be routine by the Planning & Zoning Commission and may be enacted in one motion. If discussion is desired by the Commission, any item may be removed from the Consent Agenda at the request of any Commissioner and will be considered separately.

Item 1: [Approval of Minutes](#): Work session and the regular meeting of January 17, 2012.

B. ACTION ITEMS:

Item 2: [Z-FY-12-22](#) - Hold a public hearing to discuss and recommend action on a rezoning from Two Family District (2F), General Retail District (GR), and General Retail with a Conditional Use Permit to Commercial District on Lots 9 – 12, Block 17, Temple Heights Addition, located at 1208 and 1210 South 53rd Street and 2702 and 2706 West M Avenue. (Applicant: Karl Miller)

Item 3: [Z-FY-12-23](#) - Hold a public hearing to discuss and recommend action to an amendment to Ordinance No. 2001-2748, originally approved March 1, 2001, Planned Development Neighborhood Service) District, to allow additional

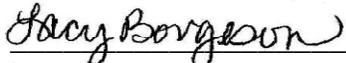
units and covered RV parking on Lot 1, Block 1, Johnson Lone Star Properties Addition, located at 7950 North State Highway 317. (Applicant: Doyle Spigener for RAS Investments)

Item 4: [Z-FY-12-24](#) - Hold a public hearing to discuss and recommend action on a rezoning from General Retail District (GR) to Planned Development (Multiple Family One) District (PD-MF1), on Lot 10, Block 1, Elmwood Addition, located at 4011 Brooklawn Drive. (Applicant: Patrick Guillen for Oak Park United Methodist Church)

C. REPORTS

Item 5: Receive and discuss the [Planning Director's Report](#) containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code. (*continued, if not completed in Work Session*)

I hereby certify that a true and correct copy of this Notice of Meeting was posted in a public place at 8:15 AM, on February 2, 2012.



Lacy Borgeson
City Secretary

SPECIAL ACCOMMODATIONS: Persons with disabilities, who have communication or accommodation needs and desire to attend the meeting, should notify the City Secretary's Office by mail or by telephone 48 hours prior to the meeting.

I certify that this Notice of Meeting Agenda was removed by me from the outside bulletin board in front of the City Municipal Building at _____ the _____ day of _____, 2012. Title _____.

**PLANNING AND ZONING COMMISSION
JANUARY 17, 2012
5:00 P.M.
WORK SESSION**

PLANNING AND ZONING MEMBERS PRESENT

Chair Derek Martin

COMMISSIONERS:

David Jones
Derek Martin
James Staats

Will Sears
Mike Pilkington

PLANNING AND ZONING MEMBERS ABSENT:

Greg Rhoads

STAFF PRESENT:

Brian Mabry, Planning Director
Trudi Dill, Deputy City Attorney
Michael Newman, City Engineer
Autumn Speer, Dir. of Community Services
Leslie Matlock, Senior Planner
Tammy Lyerly, Planner
Mary Maxfield, Planning Technician
Leslie Evans, Administrative Assistant
Jacob Calhoun, Planning Intern

The agenda for this meeting was posted on the bulletin board at the Municipal Building in compliance with the Open Meetings Law.

The following is a summary of the proceedings of this meeting. It is not intended to be a verbatim translation.

With a quorum present, Chair Martin opened the work session at 5:00 p.m., assigned the invocation and pledge, and asked Mr. Brian Mabry, Planning Director, to proceed.

The only consent item is the approval of minutes from January 3, 2012.

There are two action items: the first is a rezoning from AG to C on the east side of Kegley Road near north of Charter Oak Drive. The applicant proposes to do a retail/warehouse use for cleaning and janitorial products. Mr. Edgar Smith is the applicant and Mr. Jim Trantum is the property owner.

Seven notices were mailed to surrounding property owners. No responses have been received in favor or opposition. Leslie Matlock is the case manager and Staff recommends approval of this request.

Vice-Chair Staats stated he did the boundary survey on this track of land and asked Ms. Trudi Dill, Deputy City Attorney, if he needed to abstain from this item. Ms. Dill stated it was up to Vice-Chair Staats to determine if he knew of any foreseeable business interests.

Item 3 is an amendment to the UDC, another clean up request that is initiated from Staff. The items include:

Add the use of 'kiosk' to the use table in the Code, with kiosk being something like an ice machine or ATM machine that you drive up to. There would specific standards to go with a kiosk; especially if it is the only main or primary structure on the property, then certain requirements would be needed such as masonry and landscaping.

Remove the ability to have home occupations in the LI and HI districts. Mr. Mabry clarifies this as being a home occupation where someone operates a one-person office/business within the home. There are current regulations for having home occupations in the UDC such as no advertising, no disruption of the character of the property/area, not having traffic coming to the home, etc.

All parking areas/spaces have to be paved with asphalt or concrete.

Backing maneuvers/motions are prohibited from a non-residential use into a public street, alley, or other right-of-way.

Clarify that obstructions are not permitted in sidewalks, such as trees, utility poles, etc.

Establish any needed definitions related to the standards being established.

Commissioner Pilkington asked if pavestone would be allowed—this surface allows grass to grow through it. Mr. Mabry stated no, it would not be allowed. Ms. Speer stated some cities use pavestone for fire access which is an alternative for keeping green space and landscaping and still have a hard surface for emergency vehicles. Pavestones are not allowed.

Mr. Mabry gave the Director's Report which included:

A rezoning from GR to PD-MF1 near Brooklawn near the interstate, near Jalisco del Sol. The applicant would like to do three duplex buildings, six units, on a single lot.

An amendment to an existing PD to allow additional mini-storage units at Amy's Attic on SH 317. Needs reapproval since it is an approved PD.

A rezoning request from several different zoning districts on a small piece of property to a C district. Temple Collision Center made the request and would like to expand their business.

Recent City Council decisions:

The Future Land Use and Character Map cleanup was approved on second reading;

Rezoning from AG to UE on 2305 north of Inverness was approved;

AG to SF1 at corner of Morgan's Point and Bonnie Lane was approved;

Westfield/Pea Ridge Thoroughfare Plan amendment was approved; and

Rezoning from SF2 to SF3 for Westfield Subdivision was approved.

Commissioner Talley asked for an update for new commissioners. Mr. Mabry stated it was on City Council agenda for January 19th to add more Commissioners. Ms Speer stated it may be continued.

There being no further discussion, Chair Martin adjourned the meeting at 5:15 P.M.

**PLANNING AND ZONING COMMISSION
JANUARY 17, 2012
5:30 P.M.**

PLANNING AND ZONING MEMBERS PRESENT

Chair Derek Martin

COMMISSIONERS:

Will Sears
H. Allan Talley
David Jones

James Staats
Mike Pilkington

PLANNING AND ZONING MEMBERS ABSENT:

Greg Rhoads

STAFF PRESENT:

Brian Mabry, Planning Director
Trudi Dill, Deputy City Attorney
Autumn Speer, Dir. of Community Services
Michael Newman, City Engineer
Leslie Matlock, Senior Planner
Mary Maxfield, Planning Technician
Leslie Evans, Administrative Assistant
Jacob Calhoun, Planning Intern

The agenda for this meeting was posted on the bulletin board at the Municipal Building, June 16, 2011 at 1:15 p.m. in compliance with the Open Meetings Law.

The following is a summary of the proceedings of this meeting. It is not intended to be a verbatim translation.

Chair Martin called Meeting to Order at 5:30 P.M.

Invocation by Commissioner Sears; Pledge of Allegiance by Commissioner Pilkington.

A. CONSENT ITEMS

Item 1: Approval of Minutes: Work session and the regular meeting of January 3, 2012.

Approved by general consent.

B. ACTION ITEMS

Item 2: Z-FY-12-21 - Hold a public hearing to discuss and recommend action on a rezoning from Agricultural District to Commercial District on Tract 1, being a 7.684 acre ± tract of land and Tract 2, being a 5.779 acre ± tract of land both out of the George Givens Survey, Abstract No. 345 and the Nance Chance Survey, Abstract No. 5, Bell County, Texas, located on the east side of South Kegley Road, north of the Caddy Shack Golf Range. (Applicant: Edgar A. S Smith for James Trantum)

Ms. Leslie Matlock, Senior Planner, stated if this case were approved it would go to City Council on February 16, 2012 for first reading and March 1, 2012 (*incorrectly stated on the record as March 8th*) for second reading and final action.

The surrounding land includes undeveloped land to the north, working ranch with a house on multiple acres to the west, golf range to the south, and vacant undeveloped land to the east. Current land uses include retail, commercial, and agricultural. This property is not affected by the Master Trails Plan.

The Future Land Use and Character Map designate this area as Auto-Urban Commercial to the south and east and Suburban-Residential to the west and north.

Seven notices were mailed out; zero notices were received.

The Thoroughfare Plan designates south Kegley as a minor arterial and public facilities are available to the site.

Staff recommends approval of this request since it complies with the Future Land Use and Character Map, the Thoroughfare Plan, and utilities are available for the site.

Chair Martin opened the public hearing.

Mr. Edgar Smith, Smith Supply Company, 2822 S. General Bruce Drive, Temple, Texas, stated they would like to find a place to have a new building due to TxDOT expansion. They have a warehouse located on Avenue K but would like another building with warehouse area and store front.

There being no further speakers, Chair Martin closed the public hearing.

Commissioner Talley made a motion to approve Item 2, **Z-FY-12-21** and Commissioner Jones made a second.

Motion passed: (5:0:1)

Vice-Chair Staats abstained; Commissioner Rhoads absent

Item 3: Z-FY-12-19 - Hold a public hearing to discuss and recommend action on an amendment to Ordinance 2010-4413, Temple Unified Development Code, Articles 5, 7, 8 and 11 of the Unified Development Code to: add "Kiosk" as a permitted use in the use table for certain zoning districts with specifications; remove "home occupation" as an allowable residential accessory use in the LI and HI zoning districts; Clarify all

parking areas must be paved with either asphalt or concrete; Clarify that vehicular backing motions are prohibited into a public street from a parking area on all non-residential sites; Clarify utility poles or other obstructions are not permitted in sidewalks; and establish or amend definitions related to such uses and standards. (Applicant: City of Temple)

Ms. Autumn Speer, Director of Community Services, stated this was the second in the UDC cleanups and more would be coming forward as the year progresses.

Kiosks would essentially clarify what type of requirements is needed for free-standing kiosks and they are to be treated as a primary use. Sidewalks are required, signage is required specifically for kiosks, parking spaces, and design standards would be required.

Queuing spaces have also been included for drive-through kiosks. Temple does not currently have any queuing spaces required in drive-through uses and this would be the first of that kind.

Removing home occupation from the use table as an allowed use in LI and HI.

Clarification that all required or optional parking areas be paved with asphalt or concrete.

Parking design language needs clarification that any off-street parking does not use the street, alley, or any other public right-of-way to make maneuvers; it must all be made on-site.

Sidewalks obstructions are not permitted. If there is an obstruction that cannot be removed, go around it.

Staff recommends approval of these UDC modifications.

Chair Martin opened the public hearing. There being no speakers, the public hearing was closed.

Commissioner Talley made a motion to approve Item 3, **Z-FY-12-19**, and Commissioner Pilkington made a second.

Motion passed: 6:0

C. REPORTS

Item 4: Receive and discuss the **Planning Director's Report** containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code. ***(continued, if not completed in Work Session)***

Respectfully submitted,
Leslie Evans



PLANNING AND ZONING COMMISSION AGENDA ITEM

02/06/12
 Item 2
 Regular Agenda
 Page 1 of 7

APPLICANT / DEVELOPMENT: Karl Miller

CASE MANAGER: Jacob Calhoun, Planning Intern

ITEM DESCRIPTION: Z-FY-12-22 Hold a public hearing to discuss and recommend action on a rezoning from Two Family District (2F), General Retail (GR), and General Retail with a Conditional Use Permit (GR-CUP) to Commercial District (C) on Lots 9 – 12, Block 17, Temple Heights Addition, located at 1208 and 1210 South 53rd Street and 2702 and 2706 West Avenue M.

BACKGROUND: The applicant requests a rezoning from Two Family District (2F), General Retail (GR), and General Retail with a Conditional Use Permit (GR-CUP) to Commercial District (C) to use the property to expand the applicant’s body shop business across S. 53rd St. from the subject property. Staff has informed the applicant of the screening, parking, landscaping & other standards that will apply if the rezoning is approved. The CUP on the property was for the serving of alcoholic beverages from when the building on the property was a restaurant.

SURROUNDING PROPERTY AND USES:

The following table shows the subject property, existing zoning and current land uses:

Direction	Zoning	Current Land Use	Photo
Subject Property	2F, GR, GR-CUP	Vacant former laundromat, single-family dwellings	

Direction	Zoning	Current Land Use	Photo
North	C	Vacant structure	
South	GR	Vacant former contracting supply store	
East	C, 2F, GR	Major auto repair (applicant's business)	

Direction	Zoning	Current Land Use	Photo
West	C, GR	Residential Buildings	

COMPREHENSIVE PLAN COMPLIANCE:

The proposed Planned Development amendment relates to the following goals, objectives or maps of the Comprehensive Plan:

Document	Policy, Goal, Objective or Map	Site Conditions	Compliance?
CP	Map 3.1 - Future Land Use and Character	Auto-Urban Commercial.	Yes
CP	Map 5.2 - Thoroughfare Plan	Ave. M is a Minor Arterial.	Yes
CP	Goal 4.1 - Growth and development patterns should be consistent with the City's infrastructure and public service capacities.	2-inch water line along east of property. 8-inch and 6-inch sewer line south and west of property	Yes
CP	Land Use Policy 9 – New development or redevelopment on infill parcels in developed areas should maintain compatibility with existing uses and the prevailing land use pattern in the area.	Land use pattern to north and west is compatible to C-Commercial zoning.	Yes

DEVELOPMENT REGULATIONS:

The Commercial zoning district permits all retail and most commercial land uses, including auto dealerships with complete servicing facilities, building material sales, light manufacturing and heavy machinery sales and storage. Residential uses are allowed, except apartments. This district is intended to serve citywide or regional service areas.

According to the district's purpose statement in the Unified Development Code, the Commercial zoning district should be located at the intersection of major thoroughfares or highways. This district should be located away from low and medium density residential development and may be used as a buffer between retail and industrial uses. Adjoining zoning districts should be carefully selected to reduce environmental conflicts.

Commercial Zoning District	Minimum Standards
Front Setback	30-ft from Center of Street
Side Setback	0-ft *
Back Setback	0-ft **
Height	Any Legal Height
* <i>Unless adjacent to Residential District, then 10-ft. If building exceeds 40-ft, increase setback 1 foot for each 3-ft over 40-ft in height</i>	
** <i>Unless adjacent to Residential District, then 10-ft. (0-ft if boundary is alley)</i>	

STAFF ANALYSIS

The land to the west of the property is zoned Commercial and has both residential and commercial uses. Directly west of the 200’ buffer is Clem Mikeska’s BBQ which is also zoned Commercial. The land to the south of the property is being used as a car wash and is permitted in the General Retail zoning district. The land to the east of the property is a combination of Commercial and General Retail uses along Ave M and residential along 53rd Street. The land to the north of the property is zoned Commercial and has a few commercial properties and some residential properties as well.

The property itself neighbors a Commercial district to the north and would thereby be a reasonable extension of that district. The other surrounding properties are General Retail or denser residential and thereby provide an adequate transition from Commercial to adjacent properties. The proposed use of the property as an extension for the Temple Collision Center fits with the surrounding area. Temple Collision Center is currently within a Commercial zoning which allows for major vehicle servicing and fits the applicant’s business.

The new Commercial zoning will have to abide by certain regulations regarding landscaping, parking, screening/buffering, any signage that is built or masonry for any new structures. There are currently 6 trees that will contribute to landscaping requirements with either 3 more trees or 9 more shrubs to meet requirements. All used parking will be paved. Automobiles under service will be screened with a fence. An existing pole sign will be used for signage.

PUBLIC NOTICE:

Staff mailed notices of the Planning and Zoning Commission’s public hearing to the sixteen property owners within the 200-foot radius surrounding the rezoning site. As of Wednesday, January 25th, 2012 at 12:00 PM, one notice was returned in favor of the request and one was returned in opposition to the request. The newspaper printed notice of the Planning and Zoning Commission public hearing on February 6, 2012 in accordance with state law and local ordinance.

STAFF RECOMMENDATION:

Staff recommends approval of the requested zone change to Commercial District for the following reasons:

1. The request complies with the Future Land Use and Character Map;
2. The request complies with the Thoroughfare Plan Map; and
3. Public facilities are available to serve the property.

FISCAL IMPACT:

Not Applicable

ATTACHMENTS:

[Future Land Use and Character Map](#)

[Aerial, Thoroughfare Plan Map and Trails Plan Map](#)

[Zoning and Notice Map](#)

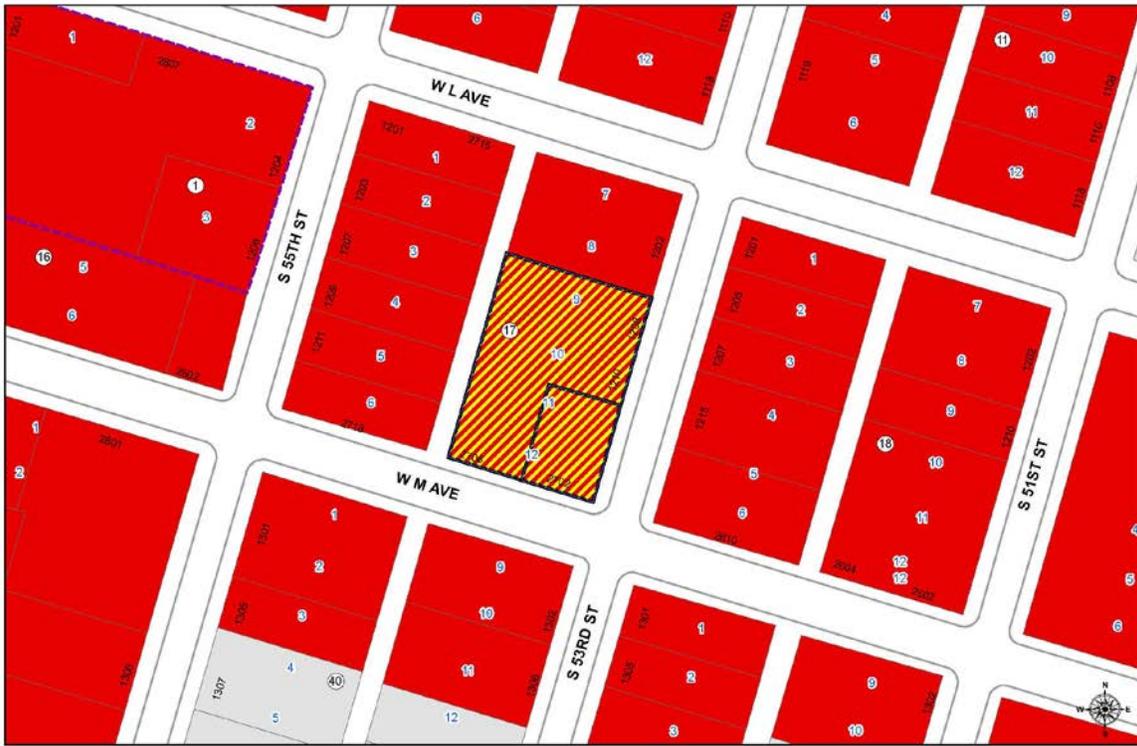
[Utility Map](#)



Z-FY-12-22

2F, GR to C

1208 & 1210 S 53rd St
& 2702 & 2706 W Ave M



- ZFY 12-22
- Auto-Urban Mixed Use
- Business Park
- Neighborhood Conservation
- Suburban Commercial
- Urban Center
- Agricultural/Rural
- Auto-Urban Multi-Family
- Estate Residential
- Parks & Open Space
- Suburban Residential
- Auto-Urban Commercial
- Auto-Urban Residential
- Industrial
- Public Institutional
- Temple Medical Education District

1 inch = 103 feet

JCalhoun Planning 01.10.12



Z FY 12-22

2F, GR to C

1208 & 1210 S 53rd St
& 2702 & 2706 W Ave M



- ZFY 12-22
- Proposed, Local Connector
- Minor Arterial

Feet 0 100 200 300 400

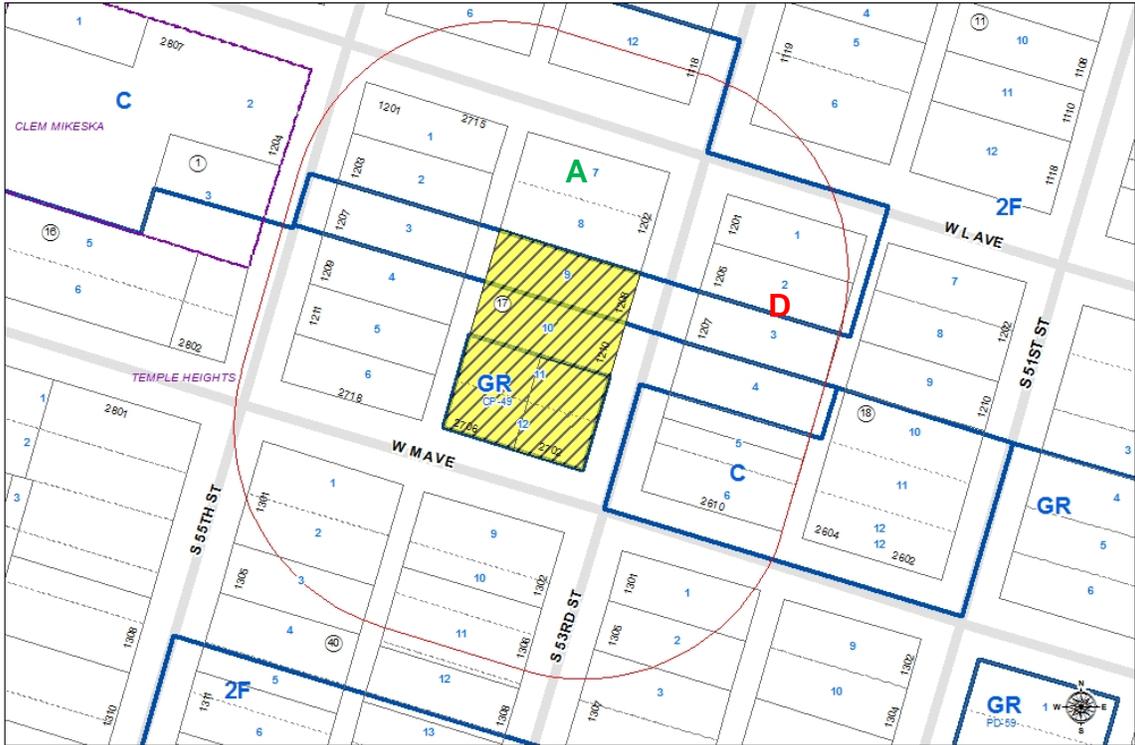
JCalhoun 01.10.2012



Z FY 12-22

2F, GR to C

1208 & 1210 S 53rd St
& 2702 & 2706 W Ave M



ZFY 12-22

ZFY 12-22, 200

Feet 0 100 200 300 400

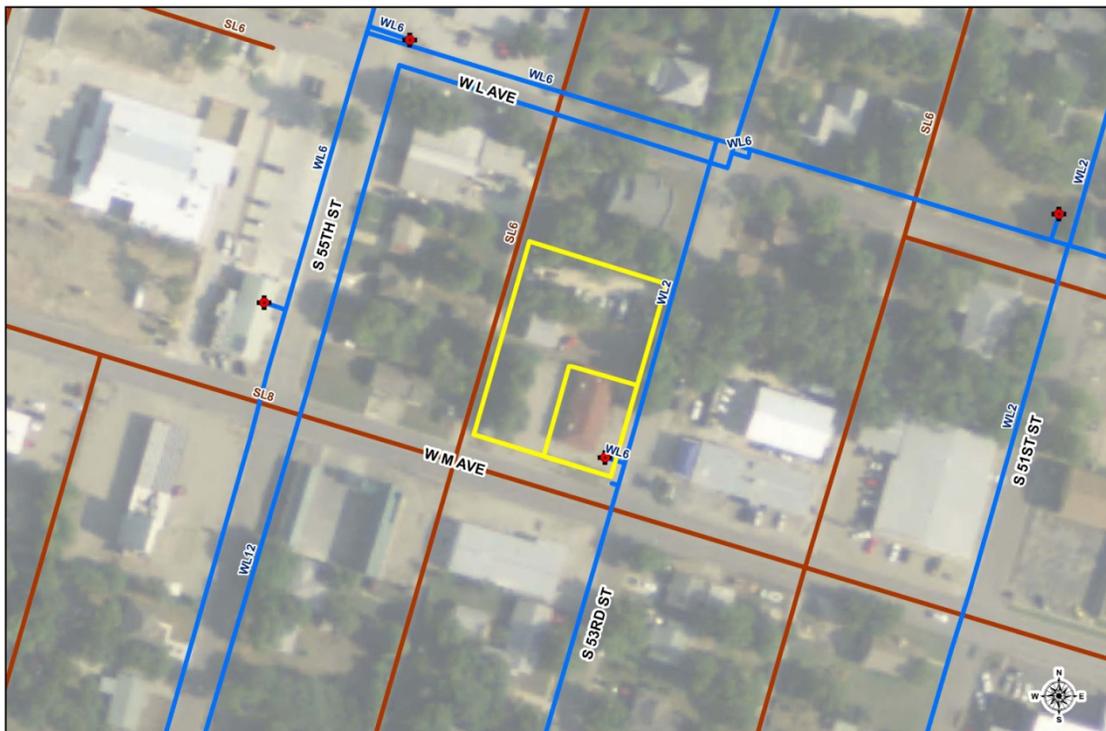
JCalhoun 01.10.2012



Z FY 12-22

2F, GR to C

1208 & 1210 S 53rd St
& 2702 & 2706 W Ave M



ZFY 12-22

Water Line

Fire Hydrant

Sewer Line

Feet 0 100 200 300 400

JCalhoun 01.10.2012



**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Sammy R. Sikes
3922 Dove Lane
Temple, Texas 76502

Zoning Application Number: Z-FY-12-22 Project Manager: Jacob Calhoun

Location: 1208 & 1210 South 53rd Street and 2702 & 2706 West Avenue M

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend approval () denial of this request.

Comments:


Signature


Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than February 6, 2012

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

RECEIVED
JAN 31 2012
City of Temple
Planning & Development

Number of Notices Mailed: 16

Date Mailed: January 26, 2012



**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Donnie Etux Barbara Carpenter
536 Chatham Road
Belton, Texas 76513

Zoning Application Number: Z-FY-12-22

Project Manager: Jacob Calhoun

Location: 1208 & 1210 South 53rd Street and 2702 & 2706 West Avenue M

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval () denial of this request.

Comments:

(See Attached)

Barbara Carpenter
Signature

Barbara Carpenter
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than February 6, 2012

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

RECEIVED

JAN 31 2012

Number of Notices Mailed: 16

Date Mailed: January 26, 2012 City of Temple
Planning & Development

January 30, 2012

We are not in favor of the rezoning due to the fact that there is currently already too much traffic on 53rd street due to the employees from 2610 W. Ave M parking on the street. Speeding, loud music, noise, and traffic are already out of control on this residential block.

We have owned the property at 1207 South 53rd street for the past 20 years, and find it hard to rent do to the above. The current renter complains about the issues above as well. This block should be kept residential, so the residents living on this street do not have to deal with the above issues.

Thank you,

A handwritten signature in cursive script that reads "Barbara Carpenter". The signature is written in black ink and is positioned to the right of the typed name.

Barbara Carpenter

APPLICANT: Doyle Spigener for RAS Investments - Amy's Attic Storage Warehouses

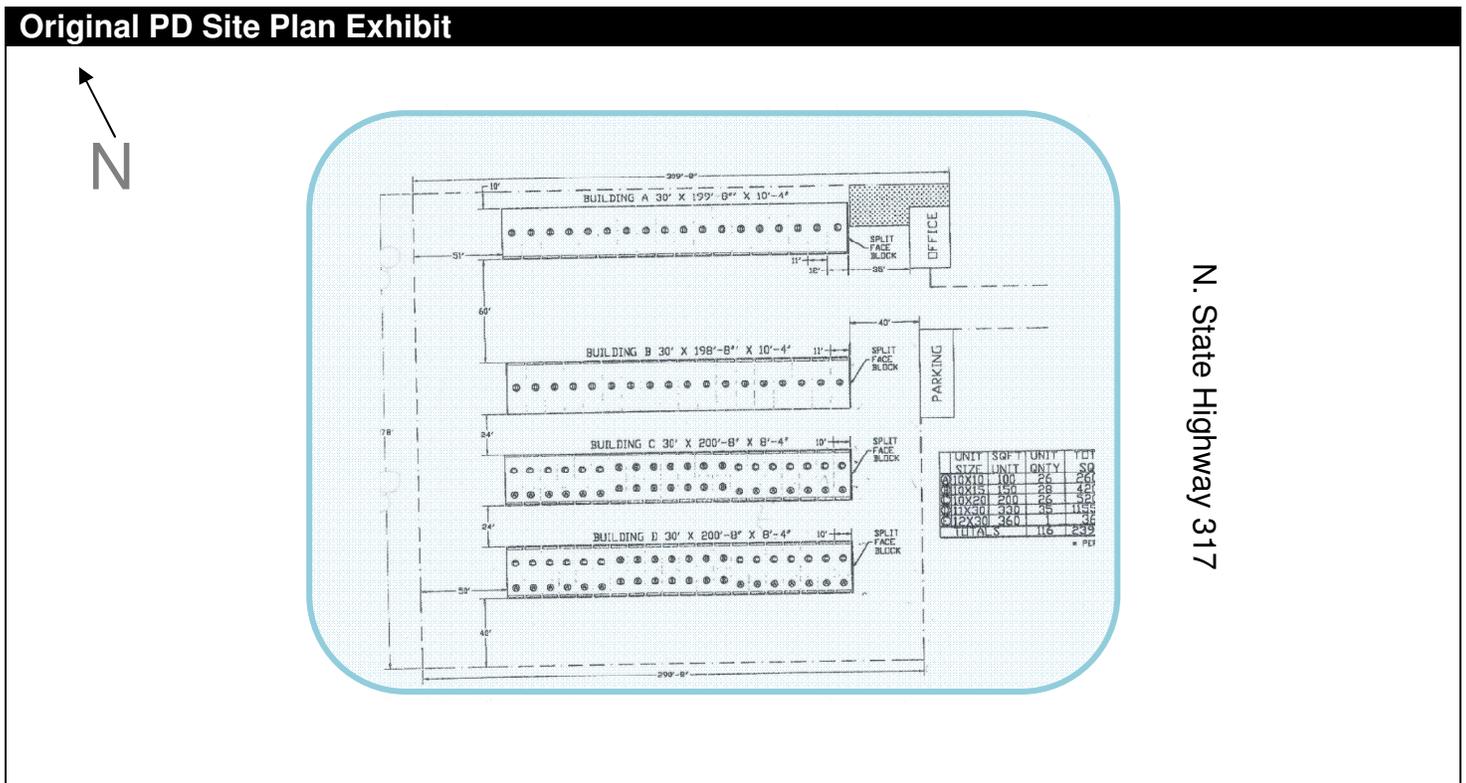
CASE MANAGER: Leslie Matlock, AICP, Senior Planner

ITEM DESCRIPTION: Z-FY-12-23 Hold a public hearing to discuss and recommend action to an amendment to Ordinance No. 2001-2748, originally approved March 1, 2001, Planned Development (Neighborhood Service) District, to allow additional units and covered RV parking on Lot 1, Block 1, Johnson Lone Star Properties Addition, located at 7950 North State Highway 317.

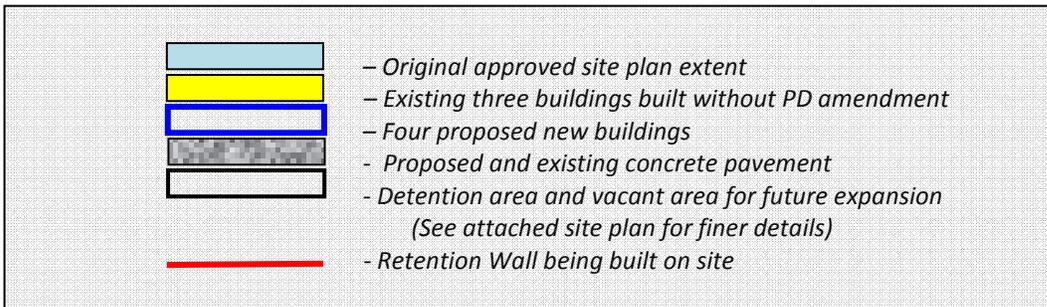
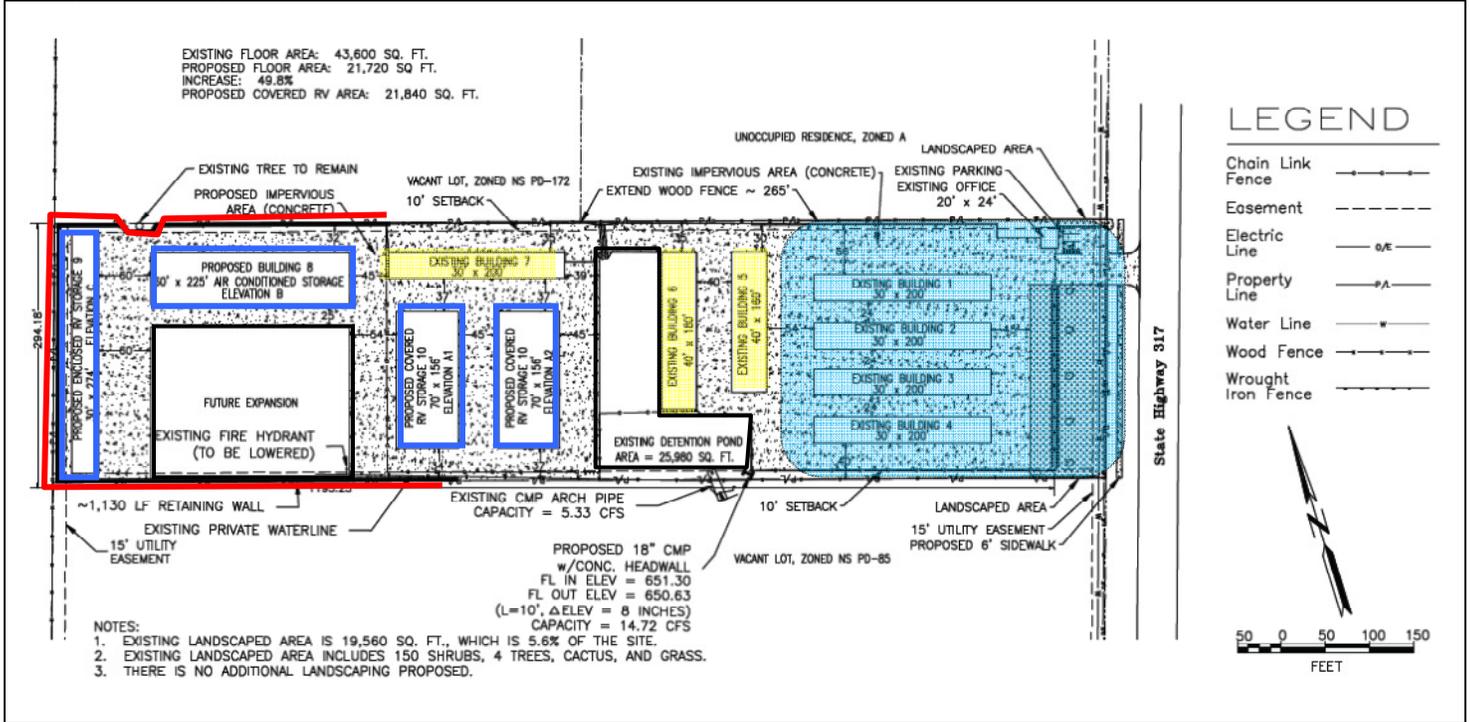
BACKGROUND: In March 2001, the City Council approved a rezoning request for the subject property from AG, Agricultural to PD-NS, Neighborhood Services zoning district which included a site plan for mini-warehouses. As with all PDs, the City Council required that future development of the property require reapproval of an amended PD site plan. The applicant proposes to expand the layout on the originally approved PD site plan to fill the entire lot.

The original site plan below shows 116 units and an office. Landscaping, while not shown on this plan, was also required along the SH 317 frontage in the form of 1 tree per 60 feet of street frontage for a total of 5 trees. Currently, 3 trees exist along the street frontage so an additional two trees were originally required in the wording of the PD. All surfaces shown between buildings and to the road side were paved with concrete. There is a 6-ft. wooden stockade fence shown and placed along the north side of the property as a screen between the adjacent residential property, an ornamental iron fence along the frontage, and a chain link fence around the west and south property lines, as approved with the PD in 2001.

Original PD Site Plan Exhibit



Proposed Expansion of PD Site Plan



In 2005, there were three buildings and concrete flatwork added to the storage warehouse without an amendment to the PD site plan. These buildings are being shown as existing units on the Proposed Expansion Site Plan and highlighted above in yellow. This amendment, if approved, will add these existing units to the approved site plan and ordinance, along with the new proposed units outlined in blue and the detention area in white.

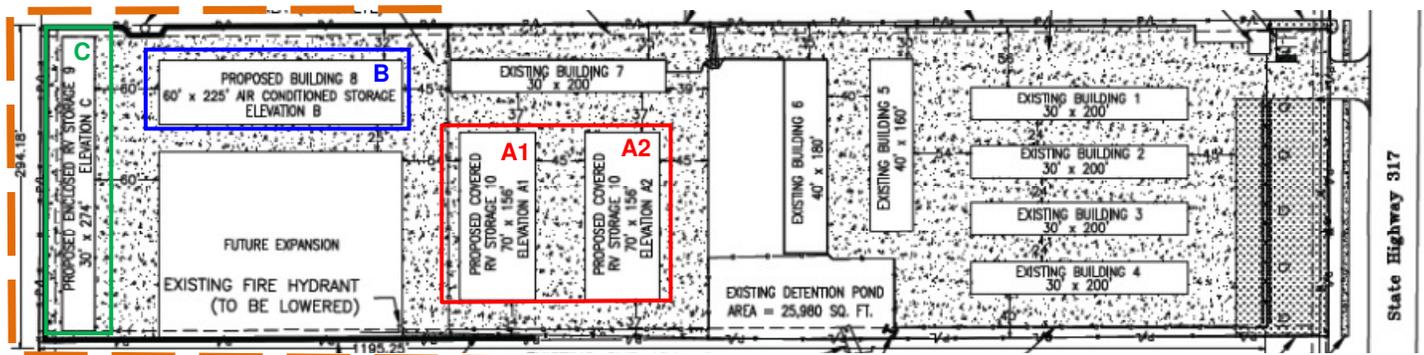
Additionally shown on the plan to the west, another white area is labeled as vacant, remaining unpaved, for future expansion. Around the western portion of the lot, a retention wall is shown outlined in red. It is currently being built for proper drainage for the entire lot (see photo below - looking to the north from an adjacent residential lot).



Site Plan Review:

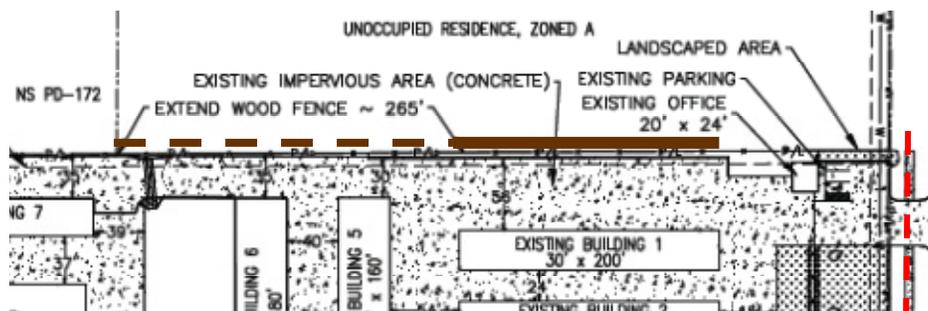
The four unbuilt storage building units are proposed to the rear of the lot and would not be visible from the public ROW or, for the most part, from adjacent non-storage-related uses. The plans and elevations for each are attached at the end of this report.

- Buildings A1 and A2, near the center of the site in red, are proposed for covered storage for recreational vehicles and boats. They are entered and remain open from both long sides and have a wall in the center of the building, being much like a large carport. All inner and outer facades are proposed to be metal. Each building has 12 bays, all totaling 24, 26-ft wide openings between each support column.
- Building B, at the northern property line in blue, is fully enclosed and air conditioned storage unit building, is entered from all sides and has 55 storage units.
- Building C, at the far west in green, is only entered from one side and has 26 enclosed garages for recreational vehicles.



The plans show a variable height retaining wall (2-3 ft.) that is currently being built around the rear portion of the lot to redirect rainwater to the proposed detention pond. It is indicated in orange above. The chain link security fence is proposed to be reestablished around the existing portion of the building site. There will be no change to the ornamental iron fence with a security gate along the ROW.

Cement paved maneuvering areas are shown around all new buildings. The requested site layout has adequate fire coverage and has been reviewed for vehicle maneuvering by the Fire Marshal. They also show a 6-ft. sidewalk along the entire adjacent ROW, as SH 317 is classed as a major arterial on the Thoroughfare Map. The sidewalk is shown in red below.



The applicant is adding additional wood fencing along the north side of the lot to the end of the residential property as shown with the brown dashed line above. The rear property line is adjacent to Windmill Farms residential subdivision. The applicant has shown the rear of the Building C storage

unit as the required 8-ft. screen with the property being secured by the chain link security fence. The rear wall is proposed to block the view between the use and the residential lots.

The homes, however, are above the rear building pad level (the photos below are from an adjacent residential back yard). While the building will approximately come up to the fence line or higher of homes, the rear façade of the unit is not made of the materials that are usually required for a wall, which would be masonry, wood, stone, or precast concrete.



Looking eastward from a residential yard adjacent to the building site. Existing storage warehouses are in the distance.

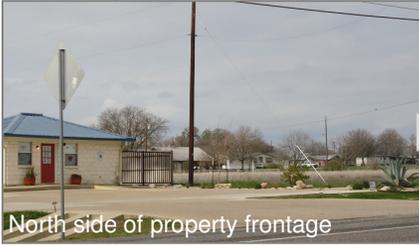
Looking southeasterly from the residential yard, the land is somewhat higher on the southern rear end of the subject site, and it will bring the walls and roofs of the proposed storage units into view.



The applicant has not proposed any additional landscaping on this site. The site currently has 150 shrubs along the base of the front wrought iron fence, ornamental cacti and four trees along the street frontage. One tree is along the side of the office, and three are in the landscaping area, even though the submitted site plan shows 5 trees planted in this area. In order to be in compliance with the originally approved Planned Development for this property, which requires one tree per 60 feet of street frontage, and give some mitigation for the lack of a formal screen at the rear of the property, the front landscaping area, forward of the street facing facades, should have two additional 2"-3" caliber inch, 65 gallon oak species trees added.

SURROUNDING PROPERTY AND USES:

The following table shows the existing zoning and current land uses for the subject property and its general vicinity:

Direction	Zoning	Current Land Use	Photo
Subject Property	PD-NS 85	Amy's Attic Storage Warehouse	  
West	SF-3	Single-family residential	
North	AG and PD-NS 172	Vacant residential and undeveloped property approved for boat storage with a PD	

Direction	Zoning	Current Land Use	Photo
South	PD-NS 85	Undeveloped	
East	AG	Undeveloped	

PUBLIC NOTICE:

Twenty-eight notices of the Planning and Zoning Commission public hearing were sent out to property owners within 200 feet of the subject property. As of Wednesday, February 1, at 10 am, one notice was returned in favor of and no notices were returned in opposition to the request. The newspaper printed notice of the Planning and Zoning Commission public hearing on January 26, 2012, in accordance with state law and local ordinance.

STAFF RECOMMENDATION: Staff recommends approval of the PD amendment request subject to the revised PD site plan. In addition, Staff recommends the installation of two additional 2"-3" caliper inch, 65 gallon oak species trees along the SH 317 street frontage in order to conform to the previously approved Planned Development and the completion of the 6-ft. sidewalk on the original plan.

FISCAL IMPACT: Not Applicable

ATTACHMENTS:

[Aerial, Thoroughfare Plan Map and Trails Plan Map](#)

[PD Site Plan](#)

[Storage Unit Elevations](#)

[Notice Map](#)

[Response Letters](#)



Z-FY-12-23

Johnson One Star Properties Addition - Amy's Attic
Planned Development PD-NS 85 Amendment

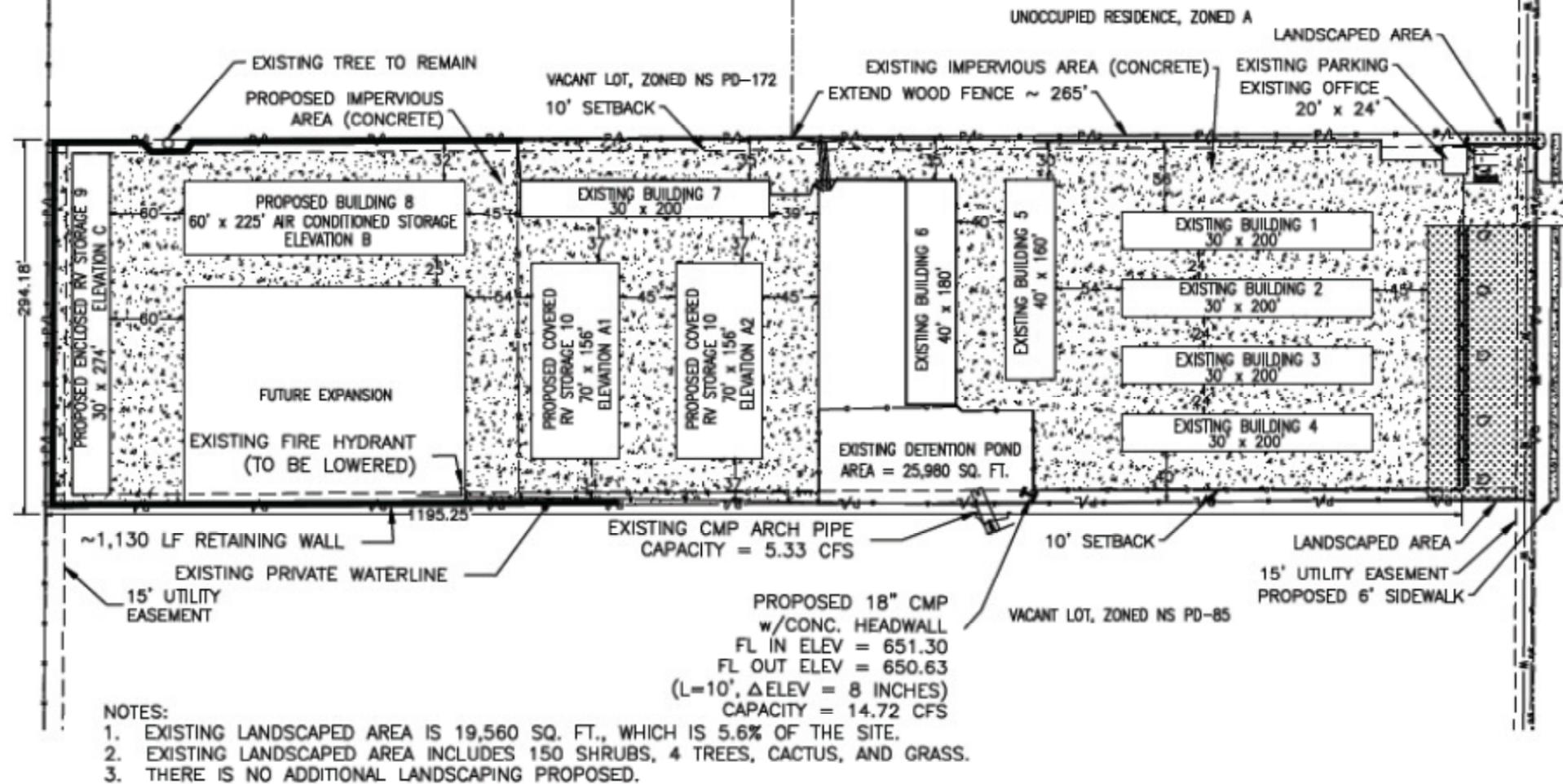
7950 N. S.H. 317



2010 Bell County Aerial Case Z-FY-12-23
Major Arterial Proposed Local Connector Trail

Feet 0 100 200 300
LMatlock 1.11.12

EXISTING FLOOR AREA: 43,600 SQ. FT.
 PROPOSED FLOOR AREA: 21,720 SQ. FT.
 INCREASE: 49.8%
 PROPOSED COVERED RV AREA: 21,840 SQ. FT.

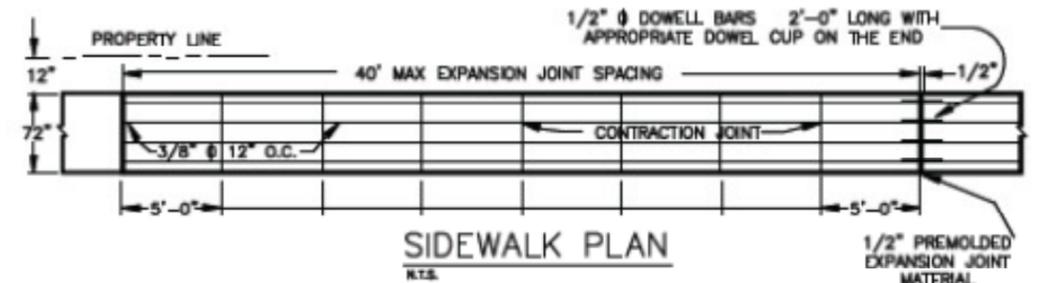
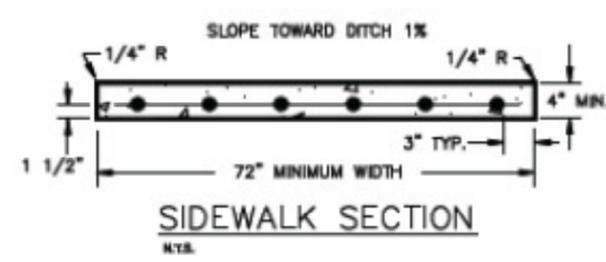


LEGEND

- Chain Link Fence ————
- Easement - - - - -
- Electric Line — o/e —
- Property Line — P/L —
- Water Line — W —
- Wood Fence ————
- Wrought Iron Fence ————

- NOTES:
- EXISTING LANDSCAPED AREA IS 19,560 SQ. FT., WHICH IS 5.6% OF THE SITE.
 - EXISTING LANDSCAPED AREA INCLUDES 150 SHRUBS, 4 TREES, CACTUS, AND GRASS.
 - THERE IS NO ADDITIONAL LANDSCAPING PROPOSED.

- SIDEWALK NOTES:
- CONCRETE FOR ALL ITEMS ON THIS SHEET SHALL BE CLASS "A", 5 SACK, 3000 P.S.I. CONCRETE AT 28 DAYS UNLESS OTHERWISE SPECIFIED ON THE PLANS OR SPECIFICATIONS.
 - ALL CONCRETE SHALL BE GIVEN A BROOM FINISH UNLESS OTHERWISE SPECIFIED. ALL REINFORCING SHALL HAVE 2" MIN. COVER, 3" MIN. IF PLACED AGAINST EARTH FORM.
 - SIDEWALK, WIRE MESH OF #10 WIRE AT 6" O-C'S MAY BE USED IN LIEU OF #3 φ BARS, FOR REINFORCING.
 - ALL EXPOSED CORNERS TO BE TOOLED TO A 1/4" RADIUS.
 - EXPANSION JOINTS SHALL BE INSTALLED A MAX. OF EVERY 40' FOR ALL CONCRETE DETAILS.
 - MAXIMUM CROSS SLOPE OF SIDEWALK SHALL BE 2.00000%.



Comprehensive Engineering Solutions, Inc.
 Registered Engineering Firm, State of Texas, No. 1071
 319 South First St., Suite A ♦ Temple, Texas 76504
 Voice: (254) 742-2050 ♦ Fax: (254) 742-2055

- REVISIONS:
- Added concrete to both proposed and existing impervious notes.
 - Extended wood fence on north side of property line.
 - Removed notes 1 and 2 about sidewalk and renumbered notes.
 - Added 6' sidewalk across front of lot.
 - Added sidewalk detail and notes.



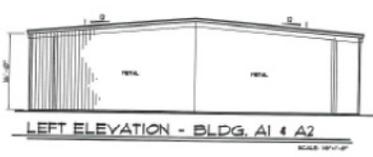
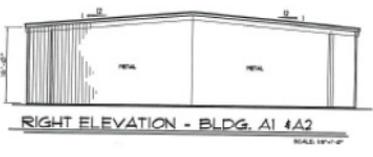
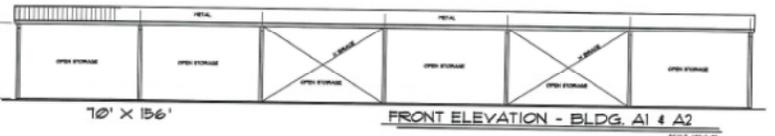
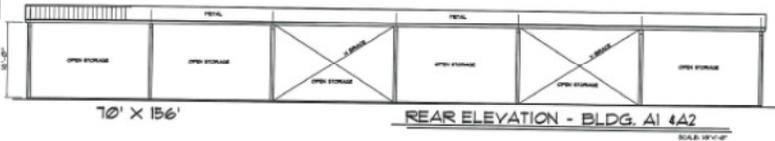
SITE PLAN FOR DRC MEETING
 CITY OF TEMPLE
 Bell County, Texas

Vertical Scale: 1" = 50'
 Horizontal Scale: 1" = 50'
 Plot Name: SITS2885
 Plot Date: 1/26/12
 Drawn By: JSA
 Project No.: 11-1118
 Designed By: JSA
 SHEET 1 OF 1

Elevations of Proposed Buildings

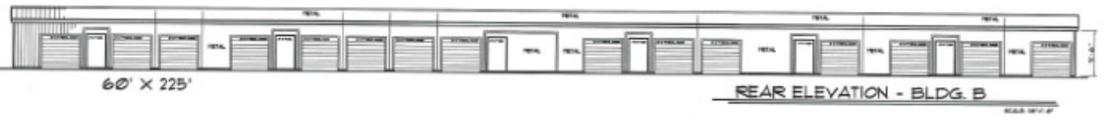
Page 1 of 2

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



Building A1 & A2

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



Building B

Miscato Building Services, Inc.
 J. Doyle Spigener
 254-699-1376
 Mobile: 254-770-7830

R.D. Chaplin
 and Associates
 1814 N. Loop L. Suite 1000
 Dallas, Texas 75210
 Phone: (214) 770-3000
 Mobile: (214) 770-4600
 Fax: (214) 770-3000

Proposed New Building
 Army's Attic
 Belton, Texas
 Date: 10/26/11

1

Miscato Building Services, Inc.
 J. Doyle Spigener
 254-699-1376
 Mobile: 254-770-7830

R.D. Chaplin
 and Associates
 1814 N. Loop L. Suite 1000
 Dallas, Texas 75210
 Phone: (214) 770-3000
 Mobile: (214) 770-4600
 Fax: (214) 770-3000

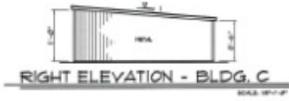
Proposed New Building
 Army's Attic
 Belton, Texas
 Date: 11/06/11

1

Elevations of Proposed Buildings

Page 2 of 2

1. All elevations are shown in black ink on white paper. The drawings are not to be used for construction purposes without the approval of the architect. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are not to be used for any other purpose without the written consent of the architect.



Building C

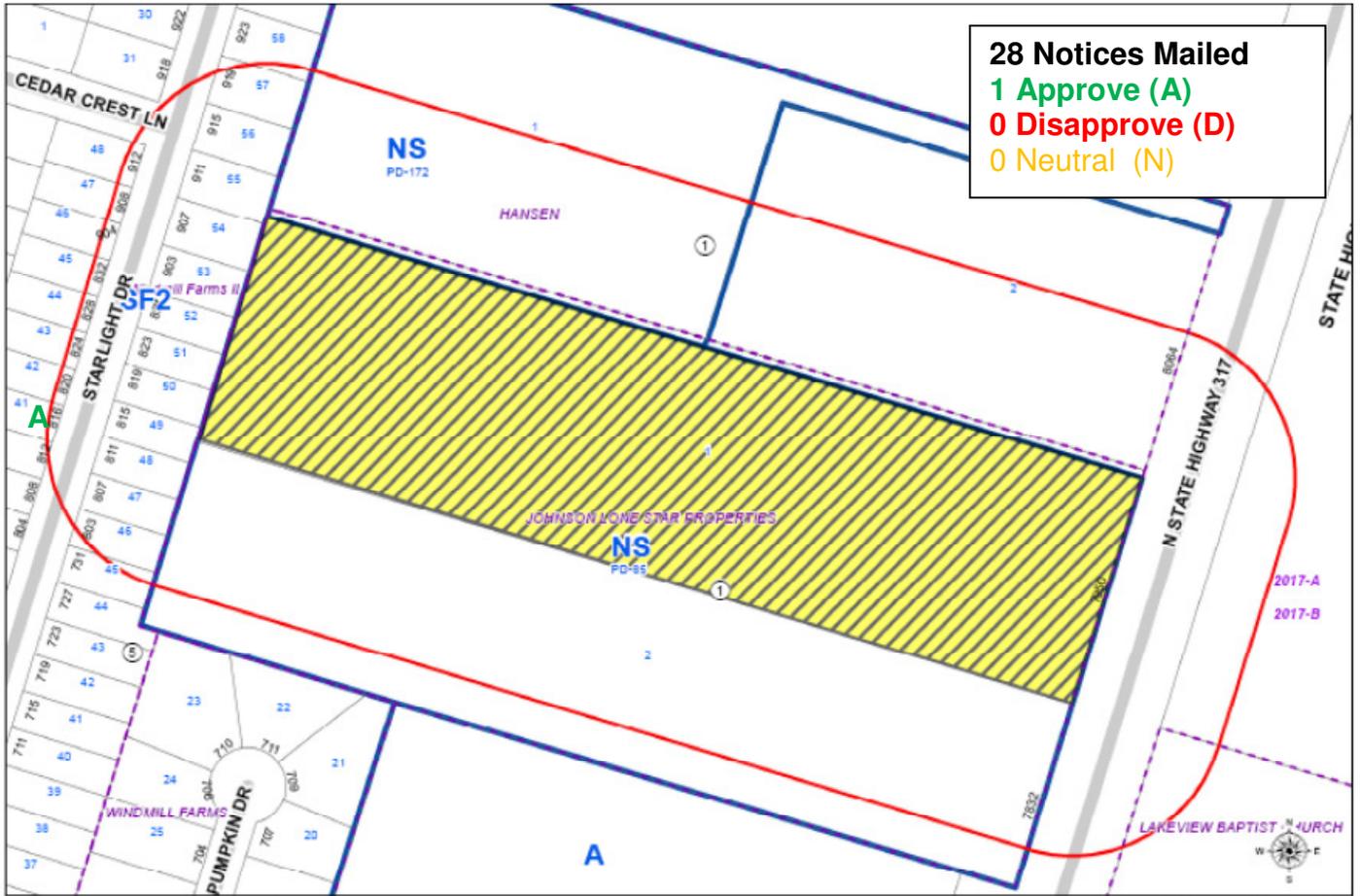
Midstate Building Services, Inc. J. Doyle Spigener 506-633-1376 Mobile: 254-772-1830
<i>R.D. Chaplin</i> and Associates P.L.L.C. 1000 N. Loop West, Suite 1000 Dallas, Texas 75207 Office: 214-772-8888 Fax: 214-772-8888 Email: rdchaplin@rdchaplin.com
Proposed New Building Amy's Attic Bolton, Texas Sheet 1 of 1
1



Z-FY-12-23

Johnson One Star Properties Addition - Amy's Attic
Planned Development PD-NS 85 Amendment

7950 N. S.H. 317



— 200 ft notification buffer ZFY 12-23
1234 Addresses Subgate V Subdivisions

Feet 0 100 200 300
 LMatlock 1.10.12



**RESPONSE TO PROPOSED
PLANNED DEVELOPMENT AMENDMENT
REQUEST
CITY OF TEMPLE**

James & Catherine Stanco
816 Starlight Drive
Temple, Texas 76502

Zoning Application Number: Z-FY-12-23

Project Manager: Leslie Matlock

Location: 7590 North State Highway 317

The proposed amendment to allow additional storage units and covered RV parking is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval () denial of this request.

Comments:

WE ARE All For Free Enterprise - Creating Jobs.


Signature

James M. Stanco
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than February 6, 2012

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

RECEIVED
JAN 30 2012
City of Temple
Planning & Development

Number of Notices Mailed: 28

Date Mailed: January 26, 2012



PLANNING AND ZONING COMMISSION AGENDA ITEM

2/06/12
Item 4
Regular Agenda
Page 1 of 4

APPLICANT / DEVELOPMENT: Patrick Guillen for Oak Park Methodist Church

CASE MANAGER: Tammy Lyerly, Planner

ITEM DESCRIPTION: Z-FY-12-24 Hold a public hearing to discuss and recommend action on a rezoning from General Retail District to Planned Development-Multiple Family One (PD-MF1) on Lot 10, Block 1, Elmwood Addition, located at 4011 Brooklawn Drive.

BACKGROUND: The applicant requests this Planned Development-Multiple Family One District (PD-MF1) to allow the development of three residential structures consisting of six dwelling units on this vacant property. The property's current General Retail District (GR) allows one duplex on a lot, but not a group of residential structures such as the those proposed on a single lot. The applicant's proposal to build three such structures, essentially six dwelling units, is considered a small multiple family development.

Although the current General Retail District allows a maximum height of three stories and allows retail uses, restaurants, and offices, it does not allow multiple family development (apartments). Therefore, the applicant's requested Planned Development District will have a "base zoning" of MF1 and requires a Planned Development site plan and building elevations. The required PD site plan and elevations were reviewed by DRC on January 23, 2012 and are attached to this report. They will be exhibited to the ordinance for this PD if it is approved by City Council.

SURROUNDING PROPERTY AND USES:

The following table shows the subject property, existing zoning and current land uses:

Direction	Zoning	Current Land Use	Photo
Subject Property	GR	Vacant Land	

Direction	Zoning	Current Land Use	Photo
North	GR	Single-Family Residential	
South	GR	Single-Family Residential	 
East	GR	Single-Family Residential	

Direction	Zoning	Current Land Use	Photo
West	GR	Single-Family Residential and Vacant Land	

COMPREHENSIVE PLAN COMPLIANCE:

The proposed Planned Development relates to the following goals, objectives or maps of the Comprehensive Plan and Sidewalk and Trails Plan:

Document	Policy, Goal, Objective or Map	Compliance?
CP	Map 3.1 - Future Land Use and Character	Yes
CP	Map 5.2 - Thoroughfare Plan	Yes
CP	Goal 4.1 - Growth and development patterns should be consistent with the City's infrastructure and public service capacities.	Yes
CP	Land Use Policy 9 – New development or redevelopment on infill parcels in developed areas should maintain compatibility with existing uses and the prevailing land use pattern in the area.	Yes

CP = Comprehensive Plan STP = Sidewalk and Trails Plan

Future Land Use and Character (Cp Map 3.1)

The Future Land Use and Character Map designates the subject property as Neighborhood Conservation. While the request is residential in nature, it is more dense than its surroundings. Several nearby homes are on quarter-acre lots, resulting in four units per acre. This PD proposes six units on a half-acre lot, or 12 units per acre. With enhanced landscaping and preserved trees, the architect for the project has worked to design the site to be as unobtrusive as possible with its surroundings.

Thoroughfare Plan (CP Map 5.2)

The Thoroughfare Plan classifies Brooklawn Drive as a local street. Local streets are appropriate for single-family, two-family, and multiple family developments. The applicant's portion of Brooklawn Drive does not have curb and gutter, but it will need to be installed to the City's standards during the construction process for the proposed development.

Availability of Public Facilities (CP Goal 4.1)

A 6-inch water line runs across the street along Brooklawn Drive. There is a 6-inch sewer line along the rear property line.

PLANNED DEVELOPMENT SITE PLAN REVIEW:

The proposed Planned Development –MF1 (PD-MF1) would allow the development as shown on the attached Planned Development site plan. The MF1 base zoning district allows duplexes, triplexes, as

well as single-family attached and detached dwellings. Patio homes, manufactured homes, and non-residential uses are not allowed in MF1 Districts.

In general, the MF1 District, without the guidance of a Planned Development, permits typical garden apartment development of one to two stories, allowing approximately 15 units per acre and is intended to be located near, and reasonably accessible to, collectors and arterials, due to the traffic generating capacity of lower density multiple family dwellings.

Since the applicant's request is for a Planned Development District, development would be limited to three residential structures with two units each as shown on the attached Planned Development site plan, if approved by City Council. This proposal would reduce the density allowed by right, resulting in traffic generation more suitable for a local street such as Brooklawn Drive.

The proposed site plan proposes three two-story buildings with garages, as well as sprinkler systems in the two rear structures designated as buildings #2 and #3. The site plan also reflects a 24-foot wide drive aisle with a hammer-head turn-around for emergency vehicles. The site plan also includes 6-foot tall privacy fences and landscaping for buffering adjacent to existing residential uses. The site plan has a crushed granite path along the south property line to give its potential residents access to the street for solid waste collection days.

PUBLIC NOTICE:

Staff mailed notices of the Planning and Zoning Commission's public hearing to the nineteen property owners within the 200-foot radius surrounding the rezoning site. As of Friday, February 3, 2012 at 8:00 AM, two notices were returned in favor of the request and six notices were returned in opposition to the request. The newspaper printed notice of the Planning and Zoning Commission public hearing on January 26, 2012 in accordance with state law and local ordinance.

STAFF RECOMMENDATION:

Staff recommends approval of the requested rezoning from General Retail District to Planned Development Multiple Family One District (PD-MF1) for the following reasons:

1. The request is compatible with the Future Land Use and Character Map;
2. The request complies with the Thoroughfare Plan Map; and
3. Public facilities are available to serve the property.

All development on the property must comply with the attached Planned Development site plan and elevations, as Exhibit A of the Ordinance.

FISCAL IMPACT: Not Applicable

ATTACHMENTS:

[Aerial, Thoroughfare Plan Map and Trails Plan Map](#)

[PD Site Plan](#)

[Building Elevations](#)

[Building Floor Plans](#)

[Notice Map](#)

[Response Letters](#)



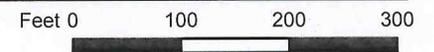
Z-FY-12-24

GR to PD MF-1
Oak Park United Methodist Church

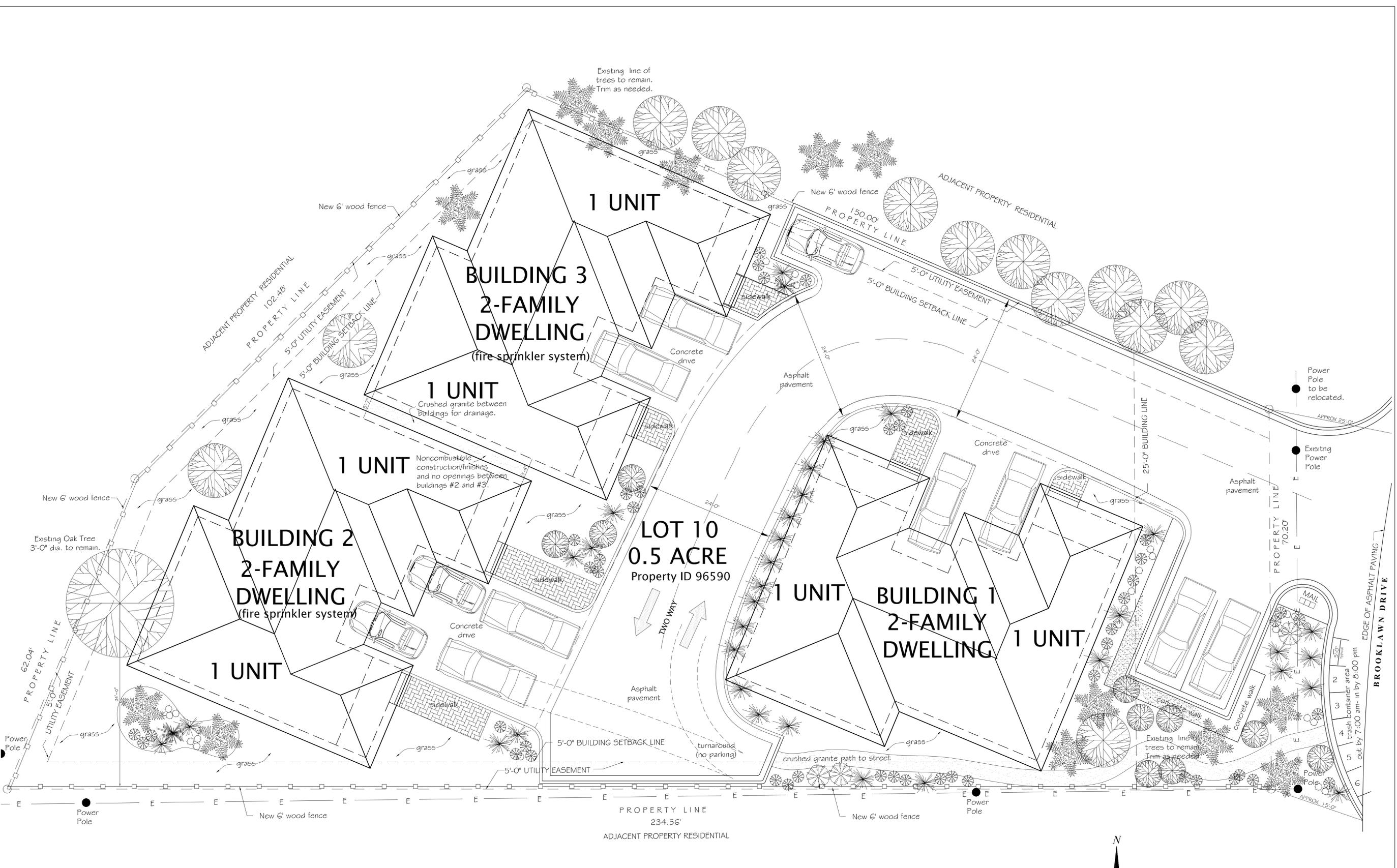
4011 Brooklawn Drive



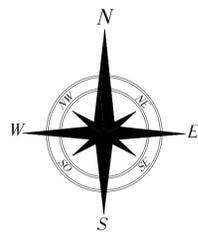
- Existing Expressway
- Existing Collector
- ZFY 12-24



LMatlock 3501.18.12



1 SITE PLAN
A2.1 SCALE: 1/8" = 1'



PLANNING AND ZONING
REVIEW DOCUMENTS
NOT FOR
BIDDING OR
CONSTRUCTION

New Duplex Units CASE #:Z-FY-12-24
Brooklawn Drive
Temple, Texas

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2928 Avenue P
Galveston, Texas 77550
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Belton, Texas 76513
tel. 254.760.4774
www.lewisdesigngroup.biz

FILE NAME:
DRAWN BY:
GPL, SMC, ER
DATE:
January 27, 2012
REVISIONS:

SHEET No.
A2.1



Schematic Front Elevation

CITY OF TEMPLE ZONING ORDINANCES

CURRENT ZONING - GR - GENERAL RETAIL
 PROPOSED ZONING - MF-1-PD - PLANNED DEVELOPMENT

LOT COVERAGE CALCULATIONS

TOTAL SITE AREA..... 21,247 SF

LOT COVERAGE:

MAXIMUM BUILDING COVERAGE per Section 5.3.3
 MAXIMUM ALLOWED - 40% 8,499 SF
 PROPOSED BUILDING COVERAGE:
 BUILDINGS 1, 2, 3 GRD FLOOR 6,930 SF = 32.6% OF TOTAL SITE
 (EACH UNIT 2,310 SF - INCLUDES FRONT PORCH)

DRIVES/PARKING..... 7,144 SF
 CONCRETE SIDE WALKS/BACK PORCHES..... 682 SF
 7,826 SF = 36.8% OF TOTAL SITE

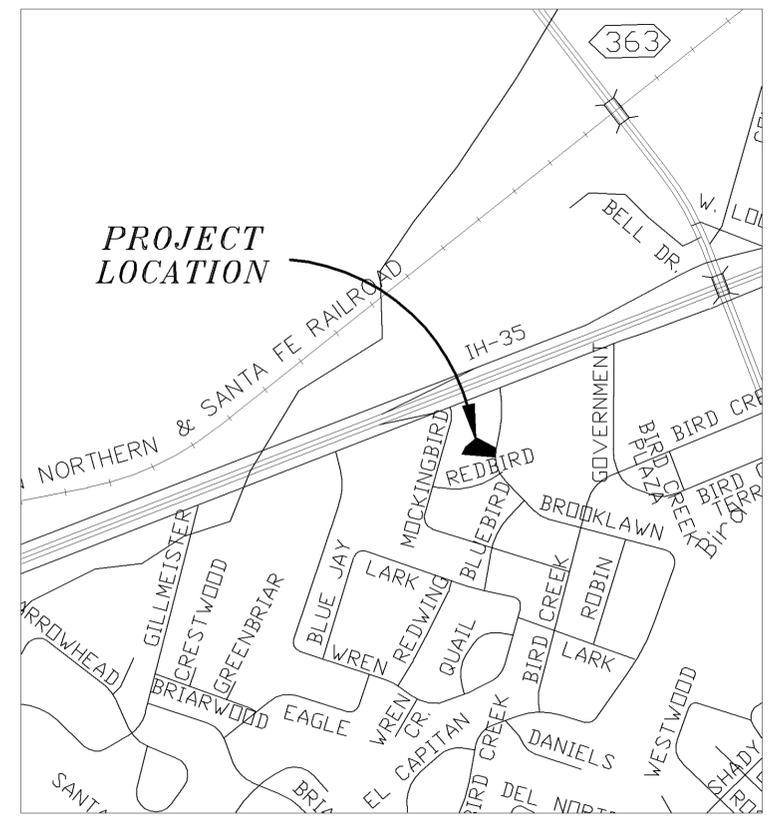
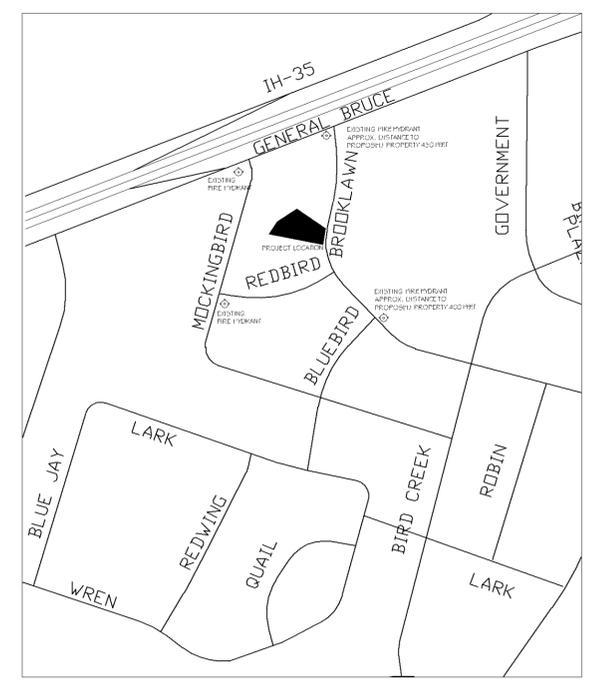
LANDSCAPED AREA per Section 7.3.4
 MINIMUM REQUIRED - 5%
 GRASS 4,291 SF
 PLANTING AREAS 843 SF
 5,134 SF = 24% OF TOTAL SITE

BUILDING SETBACKS

PER TABLE 4.5.5:
 MINIMUM FRONT YARD SETBACK = 25'
 MINIMUM REAR YARD SETBACK = 10'

PER SECTION 5.3.3-A:
 MINIMUM SIDE YARD SETBACK = 10'
 (Building face or wall does not exceed 35 feet in length)

2
 A2.0 SCALE: none



1
 A2.0 SCALE: none

PLANNING AND ZONING
 REVIEW DOCUMENTS
 NOT FOR
 BIDDING OR
 CONSTRUCTION

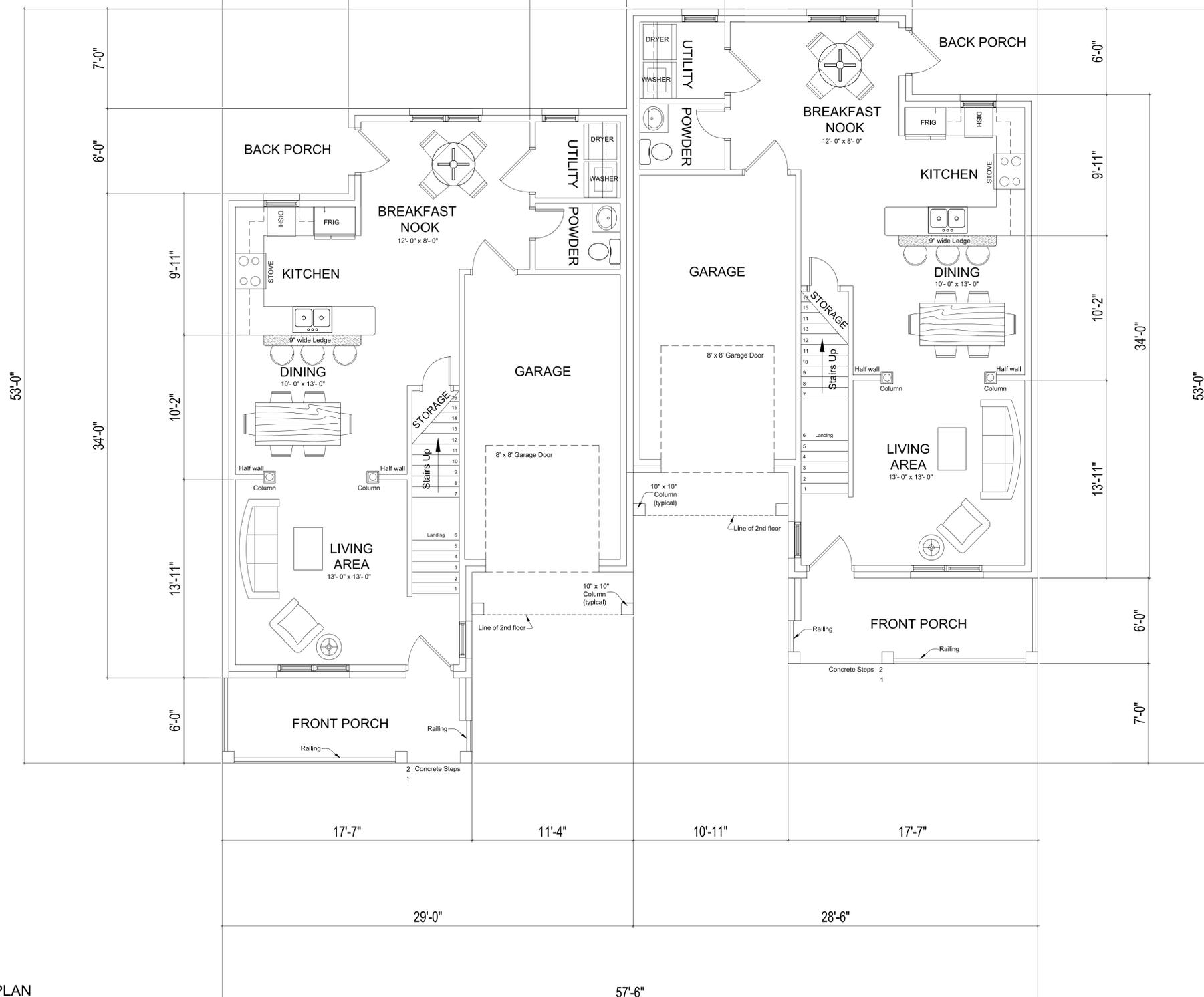
New Duplex Units CASE #:Z-FY-12-24
 Brooklawn Drive
 Temple, Texas

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 www.lewisdesigngroup.biz

FILE NAME:
 DRAWN BY:
 GPL, SMC, ER
 DATE:
 January 27, 2012
 REVISIONS:

SHEET No.
A2.0



1 1 ST FLOOR PLAN
 A3.0 SCALE: 1/4" = 1'

PLANNING AND ZONING
 REVIEW DOCUMENTS
 NOT FOR
 BIDDING OR
 CONSTRUCTION

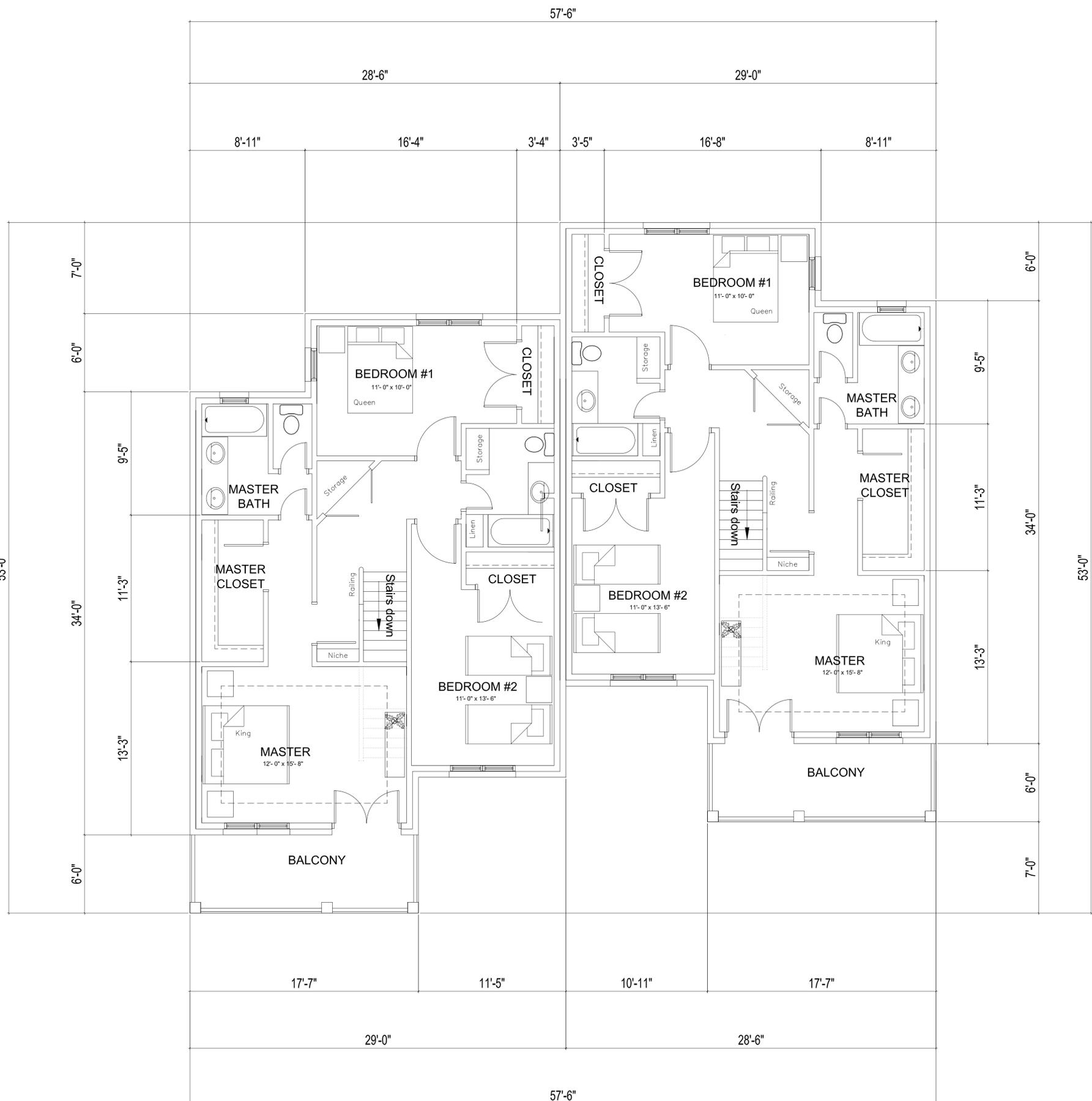
New Duplex Units CASE #:Z-FY-12-24
 Brooklawn Drive
 Temple, Texas

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FILE NAME:
 DRAWN BY:
 GPL, SMC, ER
 DATE:
 January 27, 2012
 REVISIONS:

SHEET No.
A3.0



1 2 ND FLOOR PLAN
 A3.1 SCALE: 1/4" = 1'

PLANNING AND ZONING
 REVIEW DOCUMENTS
 NOT FOR
 BIDDING OR
 CONSTRUCTION

New Duplex Units CASE #:Z-FY-12-24
 Brooklawn Drive
 Temple, Texas

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FILE NAME:
 DRAWN BY:
 GPL, SMC, ER
 DATE:
 January 27, 2012
 REVISIONS:

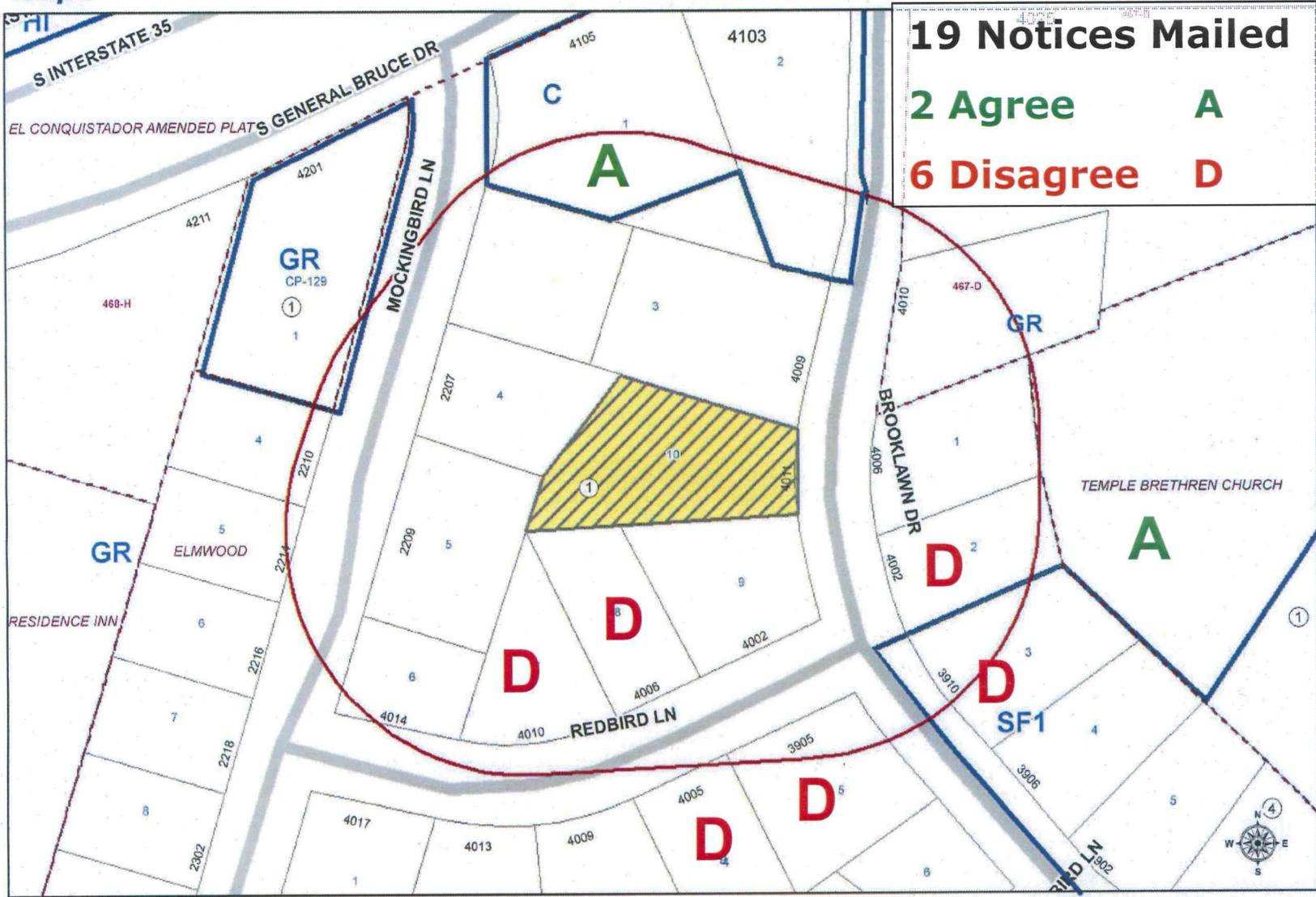
SHEET No.
A3.1



Z-FY-12-24

GR to PD MF-1
Oak Park United Methodist Church

4011 Brooklawn Drive



19 Notices Mailed

2 Agree A

6 Disagree D

— 200 ft notification buffer
 ZFY 1224, GR
 — Zoning District
 1234 Addresses Subgate V Subdivisions

Feet 0 100 200 300

LMatlock 01.18.12



**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Central Texas Properties Ltd
P.O. Box 3819
Bryan, Texas 77805-3819

Zoning Application Number: Z-FY-12-24

Project Manager: Tammy Lyerly

Location: 4011 Brooklawn Drive

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend approval () denial of this request.

Comments:


Signature

DONALD H. BROAD
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than February 6, 2012

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

RECEIVED
JAN 30 2012
City of Temple
Planning & Development

Number of Notices Mailed: 19

Date Mailed: January 26, 2012



**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Temple Brethren Church
2202 Birdcreek Drive
Temple, Texas 76502

Zoning Application Number: Z-FY-12-24 **Project Manager:** Tammy Lyerly

Location: 4011 Brooklawn Drive

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend approval () denial of this request.

Comments:


Signature 2-3-12

JOSEPH J. BERAN
Print Name
BOARD V.A.

Please mail or hand-deliver this comment form to the address shown below, no later than February 6, 2012

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

RECEIVED
FEB 03 2012
City of Temple
Planning & Development

Number of Notices Mailed: 19

Date Mailed: January 26, 2012



**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Asa & Nora Hall
4006 Redbird Lane
Temple, Texas 76502

Zoning Application Number: Z-FY-12-24 **Project Manager:** Tammy Lyerly

Location: 4011 Brooklawn Drive

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval (X) denial of this request.

Comments:

Any Multiple Family Dwelling would have to be two stories high, which would cause a problem with privacy as being so close anyone could look directly into my house from any second story. There is also a question on the sewer system and if it could handle multiple family dwellings, any back-up would be directly into my house. I bought this house because it was an established older neighborhood with many residents near my age, any multi family dwelling would cause an

Asa Hall
Signature

ASA HALL
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than February 6, 2012

City of Temple
Planning Department
Room 201
Municipal Building
Temple, Texas 76501

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Date Mailed: January 26, 2012

added concern of noise and security. Having a Multi family dwelling literally in my back yard could cause my house insurance to go up and my property value to go down. My house is already less than I paid for it. Any thoughts of selling in the future with a multiple family Dwelling so close and I would be at a substantial loss in value, although I do not intend to sell as the community is what we were looking for.

I strongly request denial of rezoning of this area as the lot is small and any multi family dwelling would be a blemish on the neighborhood.

Thankyou

Asa Hall 4006 Redbird Ln
Temple TX 76502



**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Robert L. Ranly
4010 Redbird Lane
Temple, Texas 76502

Zoning Application Number: Z-FY-12-24

Project Manager: Tammy Lyerly

Location: 4011 Brooklawn Drive

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval

denial of this request.

Comments:

I am against this area being rezoned to general retail multifamily. I purchased my property in 1963 and built my home in 1964. This area was all zoned SFI at that time. This will reduce the value of my property in this area. We now have one house in the area with multiple families living in it. (It has been reported many times & nothing done by the city to date). There has been sewage problems in this area. More housing will not help the problem. Brooklawn is really congested on that end.

Signature

Print Name

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**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Joe, Jr. & Josie Vargas
4005 Redbird Lane
Temple, Texas 76502

Zoning Application Number: Z-FY-12-24 **Project Manager:** Tammy Lyerly

Location: 4011 Brooklawn Drive

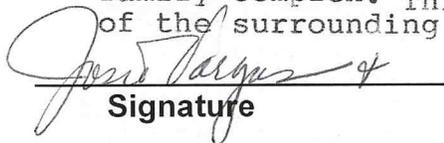
The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

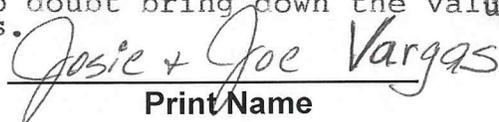
I recommend () approval denial of this request.

Comments:

The addition of these duplexes would add to the already traffic issues and parking issues in this one particular area. Already the Enterprise employees have no place to park and actually park in the grassy medium across from the business and some have even asked if they can park their cars in front of our homes.

This along with ^{the} property being a very dense area to add three duplexes, would make it seem almost impossible that all three could fit in this one area and there be sufficient parking for a multi-family complex. This addition would no doubt bring down the value of the surrounding single family homes.


Signature


Print Name

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**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Charles M. Crocker
4002 Brooklawn Drive
Temple, Texas 76502

Zoning Application Number: Z-FY-12-24 **Project Manager:** Tammy Lyerly

Location: 4011 Brooklawn Drive

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval (✓) denial of this request.

Comments:

Charles M Crocker
Signature

CHARLES CROCKER
Print Name

Please mail or hand-deliver this comment form to the address shown below, no later than February 6, 2012

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**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Angela M. Vasicek
3910 Brooklawn Drive
Temple, Texas 76502

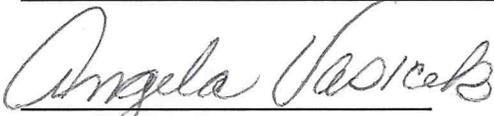
Zoning Application Number: Z-FY-12-24 **Project Manager:** Tammy Lyerly

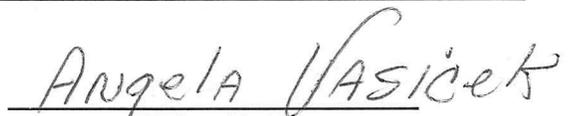
Location: 4011 Brooklawn Drive

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I recommend () approval denial of this request.

Comments:


Signature


Print Name

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**RESPONSE TO PROPOSED
REZONING REQUEST
CITY OF TEMPLE**

Betty Jean Willi
3905 Redbird Lane
Temple, Texas 76502

Zoning Application Number: Z-FY-12-24

Project Manager: Tammy Lyerly

Location: 4011 Brooklawn Drive

The proposed rezoning is the area shown in hatched marking on the attached map. Because you own property within 200 feet of the requested change, your opinions are welcomed. Please use this form to indicate whether you are in favor of the possible rezoning of the property described on the attached notice, and provide any additional comments you may have.

I recommend () approval denial of this request.

Comments:

Betty Jean Willi
Signature

Betty Jean Willi
Print Name

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PLANNING AND ZONING COMMISSION AGENDA ITEM

2/06/12
Item #5
Regular Agenda
Page 1 of 2

APPLICANT: Planning & Zoning Commission

CASE MANAGER: Brian Mabry, Planning Director

ITEM DESCRIPTION: Receive and discuss the Planning Director’s Report containing items for future meetings regarding subdivision plats, zoning cases, conditional use permits, annexations, and proposed text amendments to the Unified Development Code (UDC).

BACKGROUND: The Planning & Zoning Commission will consider several items at future meetings which may also require City Council review for a final decision, shown on the following table.

Future Commission Projects	Status	Comments
Z-FY-12-28 - Amendment to Ordinance No. 2001-2778, originally approved July 5, 2001, PD-O1 District, located at 3802 South 5th Street.	PZC 2/21/12	Previous site of Nan Vaden’s Temple Temps. Applicant wants to add a screened area for contractor storage
Z-FY-12-27 - Rezoning from AG to C District located at 13271 FM 2305.	PZC 2/21/12 (applicant may change request)	Rezoning required in order to expand boat storage facility
Z-FY-12-26 - Amendment to Ordinance No. 2003-3908, originally approved June 19, 2003, PD-C District with a CUP to allow the sale of alcoholic beverages for on-premises alcohol consumption where the gross revenue from the sale of alcoholic beverages is more than 75% of the total gross revenue for a proposed dance hall and restaurant located at 4984 West FM 93.	PZC 2/21/12	Former Ranch restaurant. New location for Bo’s Barn in Salado. Current CUP allows less than 75% of revenue in alcohol sales. Applicant requests more than 75% revenue.
Z-FY-12-25 - Rezoning from 2F to GR District (GR) located at 2102 Scott Boulevard.	PZC 2/21/12	City initiated as part of land swap.

City Council Final Decisions	Status
<p>Z-FY-12-05(B) – UDC clean up to:</p> <ul style="list-style-type: none"> • add a time limit to the approval of a Conditional Use Permit; • add “Transitional Shelter” and “Emergency Shelter” as Conditional Uses in the use table; • increase the setbacks for street trees in the TMED zoning district; • amend sidewalk and sign requirements in the Interstate 35 Corridor Overlay zoning district; and • to establish definitions related to such standards. 	<p>APPROVED on 2nd Reading (<i>except signs portion</i>)</p>
<p>P-FY-12-05 - Final Plat of Lake Pointe Phase II, with a developer’s requested exception to Unified Development Code, Section 8.2.4, regarding utility easements, located southeast of S.H. 317 and Prairie View Road.</p>	<p>Approved on 1st and final reading with public utility easement exception not approved.</p>
<p>P-FY-12-03 - Final Plat of Westfield Development Phase VIII, with developer’s requested exception to Unified Development Code Section 8.2.3 requiring sidewalks, located at the southeast corner of Stonehollow Drive and North Pea Ridge Road.</p>	<p>Approved on 1st and final reading with alternative sidewalk alignment.</p>



**PLANNING AND ZONING COMMISSION
MEETING EVALUATION
February 6, 2012**

Rating Scale

Excellent Average Poor

- 1. What is your overall rating of the P & ZC's Meeting?
- 2. How would you rate the content of the staff's reports?
- 3. How would you rate the clarity of the meeting agenda?
- 4. How would you rate the staff presentation?

Excellent	Average	Poor

5. In what ways did tonight's meeting meet (or not meet) your expectations?

6. Please provide any comments and suggestions that you feel would be useful for the next meeting (content, speakers, materials, resources, etc.).

P&Z COMMISSION ATTENDANCE

2012															
	Jan 3	Jan 17	Feb 6	Feb 21	Mar 5	Mar 19	Apr 2	Apr 16	May 7	May 21	June 4	June 18	P	A	
James Staats	P	P											2		
Mike Pilkington	P	P											2		
Allan Talley	P	P											2		
Derek Martin	P	P											2		
Will Sears	P	P											2		
Greg Rhoads	A	A												2	
David Jones	P	P											2		

	July 2	July 16	Aug 6	Aug 20	Sept 4	Sept 17	Oct 1	Oct 15	Nov 5	Nov 19	Dec 4	Dec 17	P	A
James Staats														
Mike Pilkington														
Allan Talley														
Derek Martin														
Will Sears														
Greg Rhoads														
David Jones														

not a Board member